

COUNCIL MEETING

Municipal Building
175-5th Street North
Second Floor Council Chamber

CITY OF ST. PETERSBURG

October 17, 2013
2:00 PM

Welcome to the City of St. Petersburg City Council meeting. To assist the City Council in conducting the City's business, we ask that you observe the following:

1. If you are speaking under the Public Hearings, Appeals or Open Forum sections of the agenda, please observe the time limits indicated on the agenda.
2. Placards and posters are not permitted in the Chamber. Applause is not permitted except in connection with Awards and Presentations.
3. Please do not address Council from your seat. If asked by Council to speak to an issue, please do so from the podium.
4. Please do not pass notes to Council during the meeting.
5. Please be courteous to other members of the audience by keeping side conversations to a minimum.
6. The Fire Code prohibits anyone from standing in the aisles or in the back of the room.
7. If other seating is available, please do not occupy the seats reserved for individuals who are deaf/hard of hearing.

GENERAL AGENDA INFORMATION

For your convenience, a copy of the agenda material is available for your review at the Main Library, 3745 Ninth Avenue North, and at the City Clerk's Office, 1st Floor, City Hall, 175 Fifth Street North, on the Monday preceding the regularly scheduled Council meeting. *The agenda and backup material is also posted on the City's website at www.stpete.org and generally electronically updated the Friday preceding the meeting and again the day preceding the meeting. The updated agenda and backup material can be viewed at all St. Petersburg libraries.* An updated copy is also available on the podium outside Council Chamber at the start of the Council meeting.

If you are deaf/hard of hearing and require the services of an interpreter, please contact the City Clerk, 893-7448, or call our TDD Number, 892-5259, at least 24 hours prior to the meeting and we will provide that service for you.

A. Meeting Called to Order and Roll Call.

Invocation and Pledge to the Flag of the United States of America.

B. Approval of Agenda with Additions and Deletions.

Open Forum

*If you wish to address City Council on subjects other than **public hearing or quasi-judicial items listed on this agenda**, please sign up with the Clerk prior to the meeting. Only the individual wishing to speak may sign the Open Forum sheet and only City residents, owners of property in the City, owners of businesses in the City or their employees may speak. All issues discussed under Open Forum must be limited to issues related to the City of St. Petersburg government.*

Speakers will be called to address Council according to the order in which they sign the Open Forum sheet. In order to provide an opportunity for all citizens to address Council, each individual will be given three (3) minutes. The nature of the speakers' comments will determine the manner in which the response will be provided. The response will be provided by City staff and may be in the form of a letter or a follow-up phone call depending on the request.

C. Consent Agenda (see attached)

D. Awards and Presentations

1. [Presentation recognizing the 11th Annual Teen BBQ Cook-Off Winners: Campbell Park Recreation Center, 1st Place; Gladden Park Recreation Center, 2nd Place; and Willis S. Johns Recreation Center, 3rd Place. \[To be heard at 5:30 p.m.\]](#)
2. [Successes Unlimited 10th Annual Law Fest - October 26, 2013](#)

E. New Ordinances - (First Reading of Title and Setting of Public Hearing)

F. Reports

1. [University of South Florida-St. Pete Update - Chancellor Sophia Wisniewska.](#)
2. [Tampa Bay Regional Planning Council. \(Councilmember Newton\) \(Oral\)](#)
3. [Tourist Development Council. \(Councilmember Curran\) \(Oral\)](#)
4. [Awarding a contract to Pospiech Contracting, Inc. in the amount of \\$5,958,060.60 for the Dr. Martin Luther King Jr. Street North, Part 2, Storm Drainage Improvements Project. \(Engineering Project No. 11023-110R; Oracle No. 12859\)](#)
5. [Pier Update. \(Oral\)](#)
6. [Weeki Wachee - Rahall Property Appraisal Update.](#)
7. [Pinellas Planning Council. \(Councilmember Kennedy\)](#)

8. [Update on Metropolitan Planning Organization \(MPO\) and Pinellas Suncoast Transit Authority \(PSTA\) Advisory Committee for Pinellas Transportation. \(Councilmember Kennedy\) \(Oral\)](#)

G. New Business

1. [Referring to the Committee of the Whole for consideration, expending \\$300,000 in Weeki Wachee funds to purchase and relocate the cycad collection to the Gizella Kopsick Palm Arboretum and to Sunken Gardens. \(Councilmember Dudley\)](#)
2. [Requesting City Council have a Management Evaluation Study done for any and all City of St. Petersburg fleet take home vehicles. \(Councilmember Newton\)](#)
3. [Requesting Members of City Council to designate a voting and alternate delegate for the National League of Cities Annual Conference, November 2013 in Seattle, Washington. \(Chair Nurse\)](#)

H. Council Committee Reports

1. [Budget, Finance & Taxation Committee. \(10/10/13\)](#)
2. [Public Services & Infrastructure Committee. \(10/10/13\)](#)

I. Legal - 2:00 PM

1. [Proposed settlement of Dylan Leach v. City of St. Petersburg.](#)
2. [An Attorney-Client Session, pursuant to Florida Statute 286.011\(8\), to be heard at 2:00 p.m., or as soon thereafter as the same may be heard, in conjunction with the lawsuit styled Bradley Westphal v. City of St. Petersburg/City of St. Petersburg Risk Management & State of Florida, Workers' Compensation No. 10-019508SLR and First District Court of Appeal No. 1D12-3563.](#)

J. Public Hearings and Quasi-Judicial Proceedings - 6:00 P.M.

Public Hearings

*NOTE: The following Public Hearing items have been submitted for **consideration** by the City Council. If you wish to speak on any of the Public Hearing items, please obtain one of the YELLOW cards from the containers on the wall outside of Council Chamber, fill it out as directed, and present it to the Clerk. You will be given 3 minutes **ONLY** to state your position on any item but may address more than one item.*

1. [Confirming the preliminary assessment for Lot Clearing Numbers 1523 and 1524.](#)
2. [Confirming the preliminary assessment for Building Securing Number 1181.](#)
3. [Confirming the preliminary assessment for Building Demolition Number 408.](#)
4. [Ordinance 1050-V approving the vacations of: 1\) Arlington Avenue North between 13th and 14th Streets North; 2\) 14th Street North between Arlington Avenue North and 2nd Avenue North; and 3\) the east-west alley south of 2nd Avenue North between 13th and 14th Streets North. \(City File 13-33000006\)](#)

5. [Ordinance 1051-V approving the vacation of the 20-foot wide east-west easement for utilities and passageway between 6010 and 6016 Dr. Martin Luther King Jr. Street North and between 5935 and 6001 - 10th Street North. \(City File 13-33000008\)](#)
6. [Ordinance 1052-V approving the vacation of the street radius easement at the northeast corner of 4th Avenue South and 10th Street South. \(City File 13-33000009\)](#)
7. [Ordinance 93-H amending Section 27-607\(a\) of the St. Petersburg City Code to clarify the requirements for private collectors; and amending Sections 27-497\(i\) and 27-610 of the St. Petersburg City Code to clarify the insurance requirements for recovered materials dealers and private collectors.](#)

K. Open Forum

L. Adjournment

1. [On Thursday, October 17, 2013 at 2:00 p.m. or as soon thereafter as the same may be heard, an attorney-client session, pursuant to Florida Statute 286.011\(8\), will be held in conjunction with the lawsuit styled Bradley Westphal v. City of St. Petersburg/City of St. Petersburg Risk Management & State of Florida, Workers' Compensation No. 10-019508SLR and First District Court of Appeal No. 1D12-3563 Any or all of the following persons will be attending: Karl Nurse, Chair, Bill Dudley, Vice Chair, Charles Gerdes, James Kennedy, Steve Kornell, Leslie Curran, Jeff Danner, Wengay "Newt" Newton, Mayor Bill Foster; John C. Wolfe, City Attorney, Mark A. Winn, Chief Assistant City Attorney, Joseph P. Patner, Assistant City Attorney, and Kimberly Proano, Assistant City Attorney. The session will commence in City Council Chambers, 175 Fifth Street North, St. Petersburg, Florida. After the commencement of the session at the public meeting, the session will be closed and only those persons described above together with a certified court reporter will be allowed to be present. The subject matter of the meeting shall be confined to settlement negotiations and/or strategy related to litigation expenditures. At the conclusion of the session the meeting will be re-opened and the session will be terminated.](#)

St. Petersburg
Community Redevelopment Agency (CRA)
October 17, 2013

1. [City Council convenes as Community Redevelopment Agency.](#)
2. [Resolution of the St. Petersburg Community Redevelopment Agency \(CRA\) finding the proposed 485-space parking garage addition to the southern side of the Urban Style Flats apartment building, located at 305 Dr. Martin Luther King, Jr. Street South, consistent with the Intown Redevelopment Plan, as reviewed in CRA report IRP 13-10a.](#)
3. [Adjourn Community Redevelopment Agency.](#)

CONSENT



AGENDA

COUNCIL MEETING

CITY OF ST. PETERSBURG

**Consent Agenda A
October 17, 2013**

NOTE: Business items listed on the yellow Consent Agenda cost more than one-half million dollars while the blue Consent Agenda includes routine business items costing less than that amount.

(Purchasing)

1. [Awarding a contract to Pospiech Contracting, Inc. in the amount of \\$5,958,060.60 for the Dr. Martin Luther King Jr. Street North, Part 2, Storm Drainage Improvements Project. \(Engineering Project No. 11023-110R; Oracle No. 12859\) \[MOVED to Reports as F-4\]](#)
2. [Renewing agreements with Humana Medical Plan, Inc. for the Medicare + Choice Health Management Organization \(HMO\) plan; and Humana Insurance Company for the Preferred Provider Organization \(PPO\) plan at an estimated annual premium of \\$552,108. Both companies are wholly owned subsidiaries of Humana, Inc.](#)

CONSENT



AGENDA

COUNCIL MEETING

CITY OF ST. PETERSBURG

Consent Agenda B October 17, 2013

NOTE: The Consent Agenda contains normal, routine business items that are very likely to be approved by the City Council by a single motion. Council questions on these items were answered prior to the meeting. Each Councilmember may, however, defer any item for added discussion at a later time.

(Purchasing)

1. [Awarding a contract to All American Concrete, Inc. in the amount of \\$179,500 for the construction of the Crisp Park Boat Ramp Improvement Project \(Engineering Project No. 11236-117; Oracle Project No. 13181\); authorizing the Mayor or his designee to accept a Florida Fish and Wildlife Conservation Commission \("FFWCC"\) Grant \("Grant"\) from the Florida Boating Improvement Program, Boating and Waterways Section for the Crisp Park Boat Ramp Project \("Project"\) at a total maximum reimbursement amount of \\$55,000; to execute the Florida Boating Improvement Program Grant Agreement for the Project site with the FFWCC; and to execute all other documents necessary to effectuate the Grant; approving a supplemental appropriation in the amount of \\$55,000 from the increase in the unappropriated balance of the General Capital Improvement Fund \(3001\), resulting from these additional revenues, to the Boat Ramp Facility Improvements Project \(13181\).](#)
2. [Awarding a contract to Tampa Bay Marine, Inc., in the amount of \\$137,466 for the construction of the Coffee Pot Park Boat Ramp Improvement Project \(Engineering Project No. 11236-517; Oracle Project No. 13181\); authorizing the Mayor or his designee to accept a Florida Fish and Wildlife Conservation Commission \("FFWCC"\) Grant \("Grant"\) from the Florida Boating Improvement Program, Boating and Waterways Section for the Coffee Pot Park Boat Ramp Project \("Project"\) at a total maximum reimbursement amount of \\$38,750; to execute the Florida Boating Improvement Program Grant Agreement for the Project site with the FFWCC; and to execute all other documents necessary to effectuate the Grant; approving a supplemental appropriation in the amount of \\$38,750 from the increase in the unappropriated balance of the General Capital Improvement Fund \(3001\), resulting from these additional revenues, to the Boat Ramp Facility Improvements Project \(13181\).](#)
3. [Approving a second amendment to the Equipment Lease Agreement \("Agreement"\) dated March 28, 2012 between the City and Schwing Bioset, Inc. \("Schwing"\), a sole source supplier, to extend the term of the Agreement through March 31, 2015, for a biosolids treatment system for the Water Resources Department at an estimated annual cost of \\$120,000.](#)

(City Development)

4. [Approving a plat of NAC Group, generally located at 1001 - 16th Street North. \(City File 10-20000010\)](#)

5. [Approving a plat of Crescent View Townhomes, generally located at 1052 - 6th Street North. \(City File 13-20000001\)](#)
6. [Approving a plat of Crescent Lake Townhomes-Phase II, generally located at 1901 - 5th Street North. \(City File 13-20000003\)](#)
7. [Approving a plat of Delmar Townhomes, generally located at 433 - 3rd Street South. \(City File 13-20000004\)](#)
8. [Authorizing the Mayor or his designee to execute a Lease Agreement with Coastal Sweets, LLC, a Florida limited liability company, d/b/a The Sweet Spot, to operate a customized ice cream retail store and uses ancillary thereto for a term of five \(5\) years with one \(1\) five-year option to renew, for space in the historic main building of Sunken Gardens located at 1961 4th Street North, St. Petersburg, Florida, and to terminate the current lease agreement with Comas Enterprises, Inc., a Florida corporation, currently operating a Cold Stone Creamery franchise at the same location.](#)

(Leisure & Community Services)

9. [Authorizing the Mayor or his designee to sign the Local Government Verification of Contribution loan form for the amount of \\$90,000 of HOME Program funding for each of the seven developments requesting local contributions as part of their application under the Florida Housing Finance Corporation \(“FHFC”\) Request For Application number 2013-002; providing that the loan closing will be subject to the developer\(s\) obtaining the recommendation for approval of FHFC administered 9% Low Income Housing Tax Credit funding, final site plan approval, receipt of an approved HUD environmental review, and closing on the financing of the development by June 30, 2014; and authorizing the Mayor or his designee to execute all documents necessary to effectuate this transaction.](#)
10. [Authorizing the Mayor or his designee to negotiate and provide a 0% interest acquisition and development loan in the amount of \\$110,000 from the Home Investment Partnership \(HOME\) Affordable Multi-Family Rental Program to Pinellas Affordable Living, Inc. for construction of Phase IV of the Broadwater Place Apartments; authorizing the Mayor or his designee to execute all documents necessary to effectuate this resolution.](#)

(

(Miscellaneous)

11. [Body Armor for the Police Department:](#)
 - (a) Approving an increase to the allocation for annual agreements for body armor to Signal 15, Inc. and two other vendors in the amount of \$60,000, which increases the total combined contract amount to \$170,000.
 - (b) Awarding a blanket purchase agreement to Point Blank Enterprises, Inc. for body armor for the Police Department at an estimated annual cost of \$40,000.
12. [Authorizing the Mayor or his designee to accept Assistance Funding \(“Order”\) from the Florida Fish and Wildlife Conservation Commission \(“FFWCC”\) Gopher Tortoise Habitat Management Program for a Gopher Tortoise Habitat Management Plan Phase II Project at](#)

Boyd Hill Nature Preserve at a maximum reimbursement amount of \$15,000; and to execute all other documents necessary to effectuate the Order; approving a supplemental appropriation in the amount of \$15,000 from the increase in the unappropriated balance of the General Fund (0001), resulting from these additional revenues, to the Parks & Recreation Boyd Hill Nature Trail (1902389) Gopher Tortoise Habitat Management Plan Phase II Project (TBD).

13. Ratifying the proposed labor agreement between the City of St. Petersburg and the Suncoast Police Benevolent Association (PBA) for the Police Sergeants and Lieutenants collective bargaining unit covering the job classifications within this bargaining unit effective October 1, 2013 through September 30, 2016.
14. Approving a plat of Cove at Loggerhead Marina, generally located at 5950 - 34th Street South. (City file 13-20000006)
15. Approving a plat of Allendale Court, generally located at the southwest corner of 34th Avenue North and 7th Street North (City File No. 12-20000002)

MEETING AGENDA

CITY OF ST. PETERSBURG

Note: An abbreviated listing of upcoming City Council meetings.

Budget, Finance & Taxation Committee

Thursday, October 10, 2013, 8:-00 a.m., Room 100

Public Services & Infrastructure Committee

Thursday, October 10, 2013, 9:15 a.m., Room 100

CRA/Agenda Review & Administrative Updates

Thursday, October 10, 2013, 1:-30 p.m., Room 100

Youth Services Committee

Thursday, October 17, 2013, 8:-30 a.m., Room 100

City Council Workshop - St. Petersburg Chamber of Commerce Economic Development Opportunities

Thursday, November 7, 2013, immediately following City Council Meeting, Room 100

CITY OF ST. PETERSBURG
Board and Commission Vacancies



PROCEDURES TO BE FOLLOWED FOR QUASI-JUDICIAL PROCEEDINGS:

1. **Anyone wishing to speak must fill out a yellow card and present the card to the Clerk. All speakers must be sworn prior to presenting testimony. No cards may be submitted after the close of the Public Hearing. Each party and speaker is limited to the time limits set forth herein and may not give their time to another speaker or party.**
2. At any time during the proceeding, City Council members may ask questions of any speaker or party. The time consumed by Council questions and answers to such questions shall not count against the time frames allowed herein. Burden of proof: in all appeals, the Appellant bears the burden of proof; in variance application cases, the Applicant bears the burden of proof; in rezoning and Comprehensive Plan land use cases, the Owner bears the burden of proof except in cases initiated by the City Administration, in which event the City Administration bears the burden of proof. Waiver of Objection: at any time during this proceeding Council Members may leave the Council Chamber for short periods of time. At such times they continue to hear testimony because the audio portion of the hearing is transmitted throughout City Hall by speakers. If any party has an objection to a Council Member leaving the Chamber during the hearing, such objection must be made at the start of the hearing. If an objection is not made as required herein it shall be deemed to have been waived.
3. Initial Presentation. Each party shall be allowed ten (10) minutes for their initial presentation.
 - a. Presentation by City Administration.
 - b. Presentation by Applicant and/or Appellant. If Appellant and Applicant are different entities then each is allowed the allotted time for each part of these procedures. The Appellant shall speak before the Applicant. In connection with land use and zoning ordinances where the City is the applicant, the land owner(s) shall be given the time normally reserved for the Applicant/Appellant, unless the land owner is the Appellant.
 - c. Presentation by Opponent. If anyone wishes to utilize the initial presentation time provided for an Opponent, said individual shall register with the City Clerk at least one week prior to the scheduled public hearing.
4. Public Hearing. A Public Hearing will be conducted during which anyone may speak for 3 minutes. Speakers should limit their testimony to information relevant to the ordinance or application and criteria for review.
5. Cross Examination. Each party shall be allowed five (5) minutes for cross examination. All questions shall be addressed to the Chair and then (at the discretion of the Chair) asked either by the Chair or by the party conducting the cross examination of the speaker or of the appropriate representative of the party being cross examined. One (1) representative of each party shall conduct the cross examination. If anyone wishes to utilize the time provided for cross examination and rebuttal as an Opponent, and no one has previously registered with the Clerk, said individual shall notify the City Clerk prior to the conclusion of the Public Hearing. If no one gives such notice, there shall be no cross examination or rebuttal by Opponent(s). If more than one person wishes to utilize the time provided for Opponent(s), the City Council shall by motion determine who shall represent Opponent(s).
 - a. Cross examination by Opponents.
 - b. Cross examination by City Administration.
 - c. Cross examination by Appellant followed by Applicant, if different.
6. Rebuttal/Closing. Each party shall have five (5) minutes to provide a closing argument or rebuttal.
 - a. Rebuttal by Opponents.
 - b. Rebuttal by City Administration.
 - c. Rebuttal by Appellant followed by the Applicant, if different.

Attached documents for item Presentation recognizing the 11th Annual Teen BBQ Cook-Off
Winners: Campbell Park Recreation Center, 1st Place; Gladden Park Recreation Center, 2nd Place;
and Willis S. Johns Recreation Center, 3rd Place. [To be heard at 5:30 p.m.]

CITY COUNCIL AGENDA PRESENTATION

October 1, 2013

TO: The Honorable Members of City Council

SUBJECT: Recognition of the 11th Annual Teen BBQ Cook-Off Winners
Campbell Park Recreation Center, 1st Place
Gladden Park Recreation Center, 2nd Place
Willis S. Johns Recreation Center, 3rd Place

PRESENTER: Wengay Newton

SCHEDULE FOR COUNCIL ON:
Agenda of October 17, 2013
Time certain at 5:30 pm

Wengay Newton
Council Member

Attached documents for item Successes Unlimited 10th Annual Law Fest - October 26, 2013

**CITY COUNCIL AGENDA
PRESENTATION**

October 11, 2013

TO: *Members of City Council*

SUBJECT:

**Successes Unlimited
10th Annual Law Fest
October 26, 2013**

PRESENTER:

Bill Foster, Mayor

SCHEDULE FOR COUNCIL ON:

October 17, 2013

Attached documents for item University of South Florida-St. Pete Update - Chancellor Sophia Wisniewska.

Attached documents for item Tampa Bay Regional Planning Council. (Councilmember Newton)
(Oral)

Attached documents for item Tourist Development Council. (Councilmember Curran) (Oral)

Attached documents for item Awarding a contract to Pospiech Contracting, Inc. in the amount of \$5,958,060.60 for the Dr. Martin Luther King Jr. Street North, Part 2, Storm Drainage Improvements Project. (Engineering Project No. 11023-110R; Oracle No. 12859)

ST. PETERSBURG CITY COUNCIL
Consent Agenda
Meeting of October 17, 2013

To: The Honorable Karl Nurse, Chair and Members of City Council

Subject: Awarding a contract to Pospiech Contracting, Inc. in the amount of \$5,958,060.60 for the Dr. Martin Luther King Jr. Street North, Part 2, Storm Drainage Improvements Project (Engineering Project No. 11023-110R; Oracle No. 12859).

Explanation: The Procurement Department received five bids for the Dr. Martin Luther King Jr. Street North, Part 2, Storm Drainage Improvements Project (see below).

The work consists of furnishing all labor, services, materials, and equipment necessary for construction of the following approximate quantities: 2,640 LF (linear feet) of RCP (reinforced concrete pipe) ranging in sizes from 18" to 48"; 696 LF of ERCP (elliptical concrete pipe) ranging in sizes from 14" x 23" to 38" x 60"; 1,712 LF of box culvert ranging in sizes from 8' x 4' to double 8' x 6'; 56 manholes; 54 catch basins; two large baffle boxes; 650 LF of pressure pipe sizes 2" through 24"; restoration of 20,310 SY of heavy-duty roadways; 6,050 LF of curbing; miscellaneous sanitary sewer replacement; reclaimed water main adjustment; potable water main adjustment; 20,040 SY of asphaltic concrete, surface; and 96,000 SF of sodding.

The Part 2 project provides for a new larger capacity box culvert drainage system upgrade to replace and enhance existing aged and undersized piping serving Dr. Martin Luther King Jr. Street North, from 83rd Avenue to 89th Avenue North, and the surrounding 67 acre drainage basin. The project will connect to box culverts, previously constructed under Part 1 of the project, from 77th Avenue to 83rd Avenue North. A SWFWMD Cooperative Funding Agreement, approved by City Council on December 16, 2010, provides for reimbursement of 50% of eligible project construction costs. The project includes two nutrient separating baffle boxes to provide water quality benefits for the receiving waters including Sawgrass Canal, at 77th Avenue North, and Riviera Bay.

The contractor will begin work approximately ten (10) days from Notice to Proceed and is scheduled to complete the work within four hundred twenty five (425) consecutive calendar days thereafter. Bids were opened on September 12, 2013 and are tabulated as follows:

<u>Bidder</u>	<u>Total</u>
Pospiech Contracting, Inc. (Inverness, FL)	\$5,958,060.60
Steve's Excavating & Paving Inc., d/b/a Sarnago & Sons (Dunedin, FL)	\$6,246,997.00
Kammaing & Roodvoets, Inc. (Tampa, FL)	\$6,479,920.50
Woodruff & Sons, Inc. (Bradenton, FL)	\$6,998,939.26
Westra Construction Corp. (Palmetto, FL)	\$8,611,468.75

The bids were reviewed for compliance with the contract requirements, terms and conditions. The lowest responsive responsible bidder, Pospiech Contracting, Inc. has met the specifications, terms and conditions for Bid No. 7379A dated August 1, 2013, and has satisfactorily performed similar work for the City of Tampa, Pasco County, and Charlotte County. Principals of the firm are Richard Pospiech, President/Treasurer/Secretary and, Carl West, Vice President/Assistant Secretary.

Administration recommends awarding this Contract to Pospiech Contracting, Inc. in the amount of \$5,958,060.60.

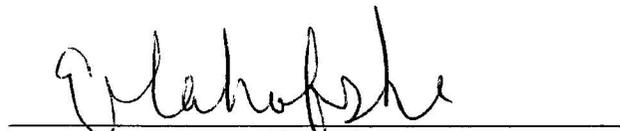
A-1

Cost/Funding/Assessment Information: Funds are available in the Stormwater Drainage Capital Projects Fund (4013) and the Neighborhood and Citywide Infrastructure CIP Fund (3027), MLK & Gateway Mall SDI Project (12859).

Attachments: Project Map
Resolution

Approvals:


for Administrative


Budget

A RESOLUTION ACCEPTING THE BID AND APPROVING THE AWARD OF AN AGREEMENT TO POSPIECH CONTRACTING, INC. IN AN AMOUNT NOT TO EXCEED \$5,958,060.60 FOR THE DR. MARTIN LUTHER KING JR. STREET NORTH, PART 2, STORM DRAINAGE IMPROVEMENTS PROJECT (11023-110R); AUTHORIZING THE MAYOR OR MAYOR'S DESIGNEE TO DESIGNEE TO EXECUTE ALL DOCUMENTS NECESSARY TO EFFECTUATE THIS TRANSACTION; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Procurement & Supply Management Department received five bids for the Dr. Martin Luther King Jr. Street North, Part 2 Storm Drainage Improvements Project (11023-110R) pursuant to Bid No. 7379A dated August 1, 2013; and

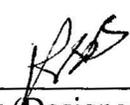
WHEREAS, Pospiech Contracting, Inc. has met the specifications, terms and conditions of Bid No. 7379A; and

WHEREAS, the Administration recommends approval of this award.

NOW THEREFORE, BE IT RESOLVED by the City Council of the City of St. Petersburg, Florida, that the bid and the award of an agreement to Pospiech Contracting, Inc. in an amount not to exceed \$5,958,060.60 for the Dr. Martin Luther King Jr. Street North, Part 2, Storm Drainage Improvements Project (11023-110R) is hereby approved and the Mayor or Mayor's designee is authorized to execute all documents necessary to effectuate this transaction.

This Resolution shall become effective immediately upon its adoption.

Approved as to Form and Substance:



City Attorney (Designee)

Attached documents for item Pier Update. (Oral)

Attached documents for item Weeki Wachee - Rahall Property Appraisal Update.

CITY OF ST. PETERSBURG
MEMORANDUM

TO: The Honorable Karl Nurse, Chair and Members of City Council

FROM: Bruce E. Grimes, Director, Real Estate & Property Management 

DATE: City Council Meeting of October 17, 2013

SUBJECT: Weekie Wachee – Rahall Appraisal Update

On August 22, 2013, City Council approved Resolution No. 2013-330 authorizing the transfer and use of money from the Weekie Wachee Operating Fund to fund appraisals related to the proposed Rahall property purchase in order to obtain additional information "*necessary to determine whether City Council wishes to purchase this property.*"

Real Estate and Property Management contracted with two real estate appraisers to prepare appraisal reports for the subject property. Due to the size of the reports, only the salient data from each report is attached. A full copy of each report will be provided to the office of City Council if you would prefer to review the reports in their entirety. A copy of each report is also being provided to the City Clerk's office for public access.

Attachments: Resolution No. 2013-330
Pages from Appraisal 1
Pages from Appraisal 2

cc: Eva Andujar, City Clerk
Tish Elston, City Administrator
Rick Mussett, City Development Senior Administrator

Resolution No. 2013-330

A RESOLUTION OF THE CITY COUNCIL PROVIDING FOR THE WAIVER OF SECTION 21-120 (f) OF THE CITY CODE RELATING TO APPROVAL OF PROJECTS AND ALLOCATION OF MONIES FROM THE WEEKI WACHEE OPERATING FUND; APPROVING A TRANSFER IN THE AMOUNT OF \$12,000 FROM THE UNAPPROPRIATED BALANCE OF THE WEEKI WACHEE OPERATING FUND (1041) TO THE WEEKI WACHEE CAPITAL PROJECTS FUND (3041); AND A SUPPLEMENTAL APPROPRIATION IN THE AMOUNT OF \$12,000 FROM THE INCREASE IN THE UNAPPROPRIATED BALANCE OF THE WEEKI WACHEE CAPITAL PROJECTS FUND RESULTING FROM THIS TRANSFER TO THE RAHALL PROPERTY PURCHASE PROJECT; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, Council adopted Article IV, Chapter 21, which created procedures and criteria for the use of principal and interest proceeds from the sale of the Weeki Wachee property; and

WHEREAS, as required by Section 21-120(a) of the City Code, certain improvements to City parks related to the Rahall property purchase project ("Project") have been recommended in writing to City Council by a City Council Member or the Mayor; and

WHEREAS, more information is necessary to determine whether City Council wishes to purchase this property; and

WHEREAS, as required by Section 21-120(c) of the City Code, the fund allocation process for this Project has been undertaken by City Council sitting as the Committee of the Whole which has recommended that City Council approve funding to obtain additional information for the Project before considering whether to move forward with the Project; and

WHEREAS, the City Council wishes to use money from the Weeki Wachee Operating Fund to fund appraisals of the Project and therefore a transfer of funds is needed; and

WHEREAS, Section 21-120(f) of the City Code requires that "City Council shall approve projects and allocations of monies from the Weeki Wachee Operating Fund on a two-year cycle corresponding to the updating and extension of the City's capital improvement program (CIP);" and

WHEREAS, Section 21-119(i) of the City Code provides that "...the requirement contained in Section 21-120(f) may be waived upon approval of a resolution receiving an affirmative vote of at least six members of City Council;" and

WHEREAS, this Council wishes to waive the requirement of Section 21-120(f) of the City Code; and

WHEREAS, the funds needed to acquire this additional information for the PROJECT are estimated to cost the City up to \$12,000.

NOW THEREFORE BE IT RESOLVED THAT THE City Council of the City of St. Petersburg, Florida finds that:

- the Project is a new capital project in the "parks" Referendum Category.
- only Interest Income will be expended for this phase of the Project.
- the Project is a City-owned project and will be constructed on City controlled land.

BE IT FURTHER RESOLVED that there is hereby approved the following transfer from the unappropriated balance of the Weeki Wachee Operating Fund to the Weeki Wachee Capital Projects Fund and a supplemental appropriation from the unappropriated balance of the Weeki Wachee Capital Projects Fund for Fiscal Year 2013:

<u>Weeki Wachee Operating Fund (aka Weeki Wachee Fund) (1041)</u>	
Transfer to: Weeki Wachee Capital Projects Fund (3041)	\$12,000
<u>Weeki Wachee Capital Projects Fund (3041)</u>	
Transfer to: Rahall Property Purchase Project (TBD)	\$12,000

BE IT FURTHER RESOLVED that discussions will take place with the property owner regarding sharing the costs of the appraisals or paying for the appraisals and that this item should come back to City Council by October 17, 2013.

This resolution shall become effective immediately upon its adoption.

Adopted at a regular session of the City Council held on the 22nd day of August, 2013.



Karl Nurse Chair-Councilmember
Presiding Officer of the City Council

ATTEST:


Eva Andujar City Clerk

PAGES FROM

APPRAISAL 1



APPRAISAL DEVELOPMENT INTERNATIONAL, INC

PO Box 1212, Tampa FL 33601
Tel: Pinellas (727) 726-8811 Hillsborough (813) 258-5827
Toll Free 1-888-683-7538 Fax: (813) 258-5902

www.appraisaldevelopment.com

**SUMMARY
APPRAISAL REPORT
of
4251 42nd AVE S
ST. PETERSBURG, FL 33711
PINELLAS COUNTY**



FOR:
CITY OF ST. PETERSBURG
St. Petersburg, FL

DATE OF VALUATION
September 11th, 2013



APPRAISAL DEVELOPMENT INTERNATIONAL, INC

PO Box 1212, Tampa FL 33601
Tel: Pinellas (727) 726-8811 Hillsborough (813) 258-5827
Toll Free 1-888-683-7538 Fax: (813) 258-5902

www.appraisaldevelopment.com

October 1st, 2013

Mr. Bruce Grimes, Director
Real Estate and Property Management
City of St. Petersburg
P.O. Box 2842
St. Petersburg, FL 33731

RE: 4251 42nd AVE S, ST. PETERSBURG, FL 33711

OUR FILE # 1345

Dear Mr. Grimes,

Thank you for the opportunity to provide appraisal services for the real property referenced above. It is my understanding that I am appraising the "As Is" Market Value in Fee Simple Interest of the subject real estate as a whole, and the value of the southern parcel as divided as proposed as of the day of my inspection on September 11th, 2013.

Please find enclosed a Complete Appraisal in a Summary Report format performed according to the Uniform Standards of Professional Appraisal Practice, 2012-2013 Edition.

Please read the attached valuation in its entirety and if you have any questions concerning the contents or methodology please contact me at my office.

Sincerely,

Paul T. Willies
State-Certified General Appraiser #RZ2762

TABLE OF CONTENTS

	Page
Declaration of Value	4-5
Appraisers Certification	6
Executive Summary	7-8
General Assumptions & Limiting Conditions.....	9-10
USPAP Summary Appraisal Report Minimum Requirements	11
The Valuation Process Chart	12
Scope of Work	13
Type of Appraisal	14
Competency of the Appraiser	14
Disclosure of Previous Interest	14
Effective Date	14
Intended User/Use.....	14
Extraordinary Assumptions & Hypothetical Conditions	14
Definitions	15
REAL ESTATE APPRAISED.....	16-19
Location	16
Site Description	16
Zoning.....	17
Land Use	17
Utilities.....	17
Ingress/Egress	17
Topographical Features/Influences	17
Frontage	17
Flood Zone.....	17
Census Tract	17
Easements, Encroachments, and Use Restrictions	18
Environmental Concerns.....	18
Improvements	18
Ownership.....	18
Sales History and Analysis	18
Legal Description	19
Assessment & Taxes	19
Marketability	19
Concurrency.....	19
Pinellas County Market Area	20-26
Regional Map.....	27
Area Map	28
Neighborhood Map	29
Neighborhood	30-35
Market statistics	36
Photographs of Property	37-87
Highest and Best Use	88-89
VALUATION.....	90-116
Appraisal Method	92
Sales Comparison Approach	93-116
RECONCILIATION AND FINAL VALUE ESTIMATE	117
ADDENDA	118-142



APPRAISAL DEVELOPMENT INTERNATIONAL, INC

PO Box 1212, Tampa FL 33601
Tel: Pinellas (727) 726-8811 Hillsborough (813) 258-5827
Toll Free 1-888-683-7538 Fax: (813) 258-5902

www.appraisaldevelopment.com

October 1st, 2013

Mr. Bruce Grimes, Director
Real Estate and Property Management
City of St. Petersburg
P.O. Box 2842
St. Petersburg, FL 33731

RE: 4251 42nd AVE S, ST. PETERSBURG, FL 33711

OUR FILE # 1345

Dear Mr. Grimes,

I hereby certify that I have appraised the real property identified as 4251 42nd Ave S, St. Petersburg, FL for the purpose of estimating the "As Is" Market Value in Fee Simple Interest of the subject real estate as of September 11th, 2013 in its entirety, and as divided by the principle residence and adjoining vacant land.

The overall property consists of a single parcel of 203,840 sq. ft. (4.68 acres) with 355 +/- feet frontage on Boca Ciega Bay. The parcel is approximately 374 feet deep and is slightly irregular in shape at the north end. The overall parcel is fenced and lushly landscaped with oak trees and foliage.

The property is improved with a two story 6 bed, 9 bath single family home originally built in 1959 of wood frame and brick construction with a gross square footage of 10,247 sf (8,214 esf). The residence is in average to good condition – as such I have assigned an average age of 20 years. The overall square footage also encompasses an adjoining "carriage house" built of wood frame that is in poor condition.

For the purposes of this report, we have divided the subject into two views. Parcel 1, would be the entire property with 202,118 sf (4.64 acres) encompassing the main residence, and then Parcel 2, divided off with 76,296 sq. ft. (1.75 acres) – with 204 feet frontage on Boca Ciega Bay.

A legal description of the property is located in the body of the report. Please note the assumptions, limiting conditions, and extraordinary assumptions as they may have a bearing on the report and the value conclusions.

To the best of my knowledge and belief, the statements contained in this report are true and correct and neither our employment to prepare this appraisal nor our compensation is contingent

upon the value reported. It is assumed the property is free and clear of all encumbrances. We have inspected the property and the neighborhood. All data gathered in my investigation is from sources deemed reliable.

This appraisal was made in accordance with the Uniform Standards of Professional Practice 2012-2013 edition adopted by the Appraisal Standards Board of the Appraisal Foundation.

This is a *Summary Appraisal*. It does *not* include discussions of all the data, reasoning, and analyses that were used in the appraisal process to develop the appraiser's opinion of value. Supporting documentation is in the appraisers' files and the information contained in this report is specific to the needs of the client and for the intended use stated in this report. The Appraiser is not responsible for unauthorized use of this report.

This letter must remain attached to the report in order for the value opinion set forth to be considered valid.

Therefore after careful consideration, it is my opinion that the "As Is" Market Value in Fee Simple Interest of the subject real estate as of September 11th, 2013 was:

<p>Reconciled and rounded to: Overall property "As Is" THREE MILLION, TWO HUNDRED & TWENTY FIVE THOUSAND DOLLARS ^(R) (\$3,250,000)</p> <p>Divided 1.75 acres (Proposed parcel 2) ONE MILLION, EIGHT HUNDRED THOUSAND DOLLARS ^(R) (\$1,800,000)</p>
--

Sincerely,

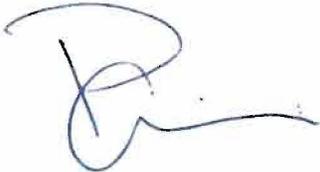


Paul T. Willies
State-Certified General Real Estate Appraiser #RZ2762

Certification

I certify, to the best of my knowledge and belief that:

- the statements of fact contained in this report are true and correct.
- the reported analysis, opinions and conclusions are limited only by the reported assumptions and limiting conditions and are my personal, impartial unbiased professional analyses, opinions and conclusions.
- I have no present or prospective interest in the property that is the subject of this report and I have no personal interest or bias with respect to the parties involved.
- I have performed no services, as an appraiser or in any other capacity, regarding the property that is the subject of this report within the three-year period immediately preceding acceptance of this assignment
- I have no bias with respect to the property that is the subject of this report or to the parties involved with this assignment.
- my engagement in this assignment was not contingent upon developing or reporting predetermined results.
- my compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result or the occurrence of a subsequent event directly related to the intended use of this appraisal.
- my analyses, opinions and conclusions were developed, and this report has been prepared, in conformity with the requirements of the Code of Professional Ethics and Standards of Professional Appraisal Practice of the Appraisal Institute and the *Uniform Standards of Professional Appraisal Practice*.
- I have made a personal inspection of the property that is the subject of this report.
- No one provided significant appraisal, appraisal review, or appraising consulting assistance to the person signing this certification.



Paul T Willies
State-Certified General Real Estate Appraiser #RZ2762

Executive Summary

Date of Value: September 11th, 2013
Date of Inspection: September 11th, 2013
Date of Report: October 1st, 2013

Location: 4251 42nd Ave S.,
St. Petersburg, FL 33711

Pinellas County ID: 03-32-16-00000-210-0300

Owner of record: Sam G Rahall
4251 42nd Ave S
St. Petersburg, FL 33711

Interest Appraised: Fee Simple.

Intended Use of the Appraisal: Estimate the "As Is" Market Value in Fee Simple Interest of the subject real estate for potential purchase as a whole, and as proposed division.

Intended Users: City of St. Petersburg
P.O. Box 2842
St. Petersburg, FL 33731

Property Description: The overall property consists of a single parcel of 203,840 sq. ft. (4.68 acres) with 355 +/- feet frontage on Boca Ciega Bay. The parcel is approximately 374 feet deep and is slightly irregular in shape at the north end. The overall parcel is fenced and lushly landscaped with oak trees and foliage.

For the purposes of this report, we have divided the subject into two views. Parcel 1, would be the entire property with 202,118 sf (4.64 acres) encompassing the main residence, and then Parcel 2, divided off with 76,296 sq. ft. (1.75 acres) – with 204 feet frontage on Boca Ciega Bay. Parcel 2 has potential ingress/egress from 42nd Avenue South – midway along the southern boundary.

Improvements: The following is a brief description of the improvements, please see the photographs, floor plans and county records in the addenda for a more complete description.

The property is improved with a two story 6 bed, 9 bath single family home originally built in 1959 of wood frame and brick construction with a gross square footage of 10,247 sf (8,214 esf). The residence is in average to good condition – as such I have assigned an average age of 20 years. The overall square

footage also encompasses an adjoining “carriage house” built of wood frame that is in poor condition.

Neighborhood: Broadwater Neighborhood, South St. Petersburg

Zoning: NS-1 Neighborhood Suburban Single Family

Land Use: Multi-Family (less than 10 per acre)

Flood Zone: Zone AE (EI 13) – FIRM Map Number 12103C0277G,
Effective Date: September 3, 2003

Highest and Best Use:

As Vacant: Subdivide into residential waterfront lots
As Improved: Single Family Mansion

Exposure Time: 9-12 months
Marketing Time: 9-12 months

Value Indications as of September 11th, 2013:

Reconciled and rounded to:
Overall property “As Is”
THREE MILLION, TWO HUNDRED & TWENTY FIVE THOUSAND DOLLARS ^(R)
(\$3,250,000)

Divided 1.75 acres (Proposed parcel 2)
ONE MILLION, EIGHT HUNDRED THOUSAND DOLLARS ^(R)
(\$1,800,000)

General Assumptions and Limiting Conditions

This report has been prepared under the following general assumptions and limiting conditions:

1. Information furnished by others is assumed to be true, factually correct and reliable. No effort has been made to verify such information and I assume no responsibility for its accuracy. Should there be any material error in the information provided to me; the results of this report are subject to review and revision.
2. All mortgages, liens and encumbrances have been disregarded unless specified within this report. The subject property is analyzed as though under responsible ownership and competent management. It is assumed in this analysis that there were no hidden or unapparent conditions of the property, subsoil or structures, including hazardous waste conditions, which would render it more or less valuable. No responsibility is assumed for such conditions or for engineering that may be required to discover them. No responsibility is assumed for legal matters existing or pending, nor is opinion rendered as to title, which is assumed to be good.
3. We have assumed that no hazardous waste exists on or in the subject property unless otherwise stated in this report. We did not observe the existence of hazardous material, which may or may not be present on the property. I have no knowledge of the existence of such materials on or in the subject property. We however, are not qualified to detect such substance or detrimental environmental conditions. The value estimate rendered in this report is predicated upon the assumption that there is no such material on or affecting the property that would cause a diminution in value. we assume no responsibility or environmental engineering knowledge required to discover it. You urged to retain an expert in the field if so desired
4. It is assumed that there is full compliance with all applicable federal, state and local environmental regulation and laws unless non-compliance is noted.
5. The Americans with Disabilities Act (ADA) became effective January 26, 1992. We have not made a specific compliance survey and or analysis of this property to determine whether or not it is in conformity with the various detailed requirements of the ADA. It is possible that a compliance survey of the property together with a detailed analysis of the requirements of the ADA could reveal that the property is not in compliance with one or more elements of the ADA. If so, this fact could have a negative effect upon the value of the property. Since we have no direct evidence relating to this issue, I did not consider possible noncompliance with the requirements of the ADA in estimating the value of the subject property.
6. It is assumed that all applicable zoning and use regulations and restrictions have been complied with, unless nonconformity has been stated, defined and considered in the analysis.
7. It is assumed that all required licenses, consents or other legislative or administrative authority from any local, state or national governmental or private entity or organization have been or can be obtained or renewed for any use on which the value estimated contained in this report is based.

8. Possession of this report, or a copy thereof, does not carry with it the right of publication. Neither all nor any part of the contents of this report (especially on conclusions as to value, our identity or the identity of the firm with which I am connected) shall be disseminated to the public through advertising, public relations, news, sales or other media without my prior written consent and approval. This appraisal report is intended for use in its entirety. Individual pages or sections of the report should not be used separately from the rest of the report.
9. Unless prior arrangements have been made, we, by reason of this report, are not required to give further consultation or testimony, or to be in attendance in court with reference to the property that is the subject of this report without prior financial arrangements.
10. This report constitutes a Complete Appraisal presented in a Summary Report.
11. We have made no legal survey nor have we commissioned one to be prepared. Therefore, reference to a sketch, plat, diagram or previous survey appearing in the report is only for the purpose of assisting the reader to visualize the property.
12. The Bylaws and Regulations of the Appraisal Institute cover disclosure of the contents of this report.
13. The authentic copies of this report are signed in ink and are printed on white paper. Electronic signatures may also be utilized in this report. The Uniform Standards Board state that electronically affixing a signature to a report carries the same level of authenticity and responsibility as an ink signature on a paper report (the term "Written Records" includes information stored on electronic, magnetic or other media). Any copy that does not have the above is unauthorized and may have been altered.
14. No responsibility is assumed for the legal description provided or for matters pertaining to legal or title considerations. Title to the property is assumed to be good and marketable unless otherwise noted.
15. The property is appraised as if free and clear of any or all liens or encumbrances unless otherwise stated.
16. Responsible ownership and competent property management are assumed.
17. It is assumed that the use of the land and improvements are confined within the boundaries or property lines of the property described and that there is no encroachment or trespass unless noted in the report.
18. By the receipt and implied acceptance of this report, the addressee recognizes the obligation for timely remittance of associated professional fees in full. Furthermore, any claims against me, for whatever reason, are limited to the amount of said fees. Our responsibility is limited to **City of St. Petersburg** and does not extend to any third party.

Scope of Work

The scope of work applied to this specific appraisal assignment is summarized below.

In the preparation of this report, the appraisal problem was identified; that being the client, intended use, intended users, type and definition of value opinion, effective date of the opinion and conclusion, subject of the assignment and relevant characteristics about that subject, and the assignment conditions. A solution to the appraisal problem (scope of work) was planned, and then implemented so as to arrive at a credible result.

In preparation for this appraisal I have:

- Contracted with Mr. Bruce Grimes, City of St. Petersburg to prepare a Summary Appraisal
- Inspected the subject September 11th, 2013
- Took extensive photographs reflecting the condition of the land.
- Analyzed the division of 1.75 acres (the southern portion of the subject)
- Reviewed several data bases for similar submerged land sales.
- Reviewed assessor records in Pinellas County.
- Confirmed zoning and permissible uses.
- Reviewed State publications and recent forecasts for economic growth for the Tampa Bay area and Pinellas County.
- Reviewed market conditions and current listings and comparable sales similar to the subject, and attempted to confirm data of the selected comparables used for direct comparison to the subject with principals or county records in each transaction.
- Prepared the Sales (Market) Approach to valuation.
- Reviewed and made flood plan determination and census tract information.
- Compiled the report, and reconciled the approaches utilized.

Type of Appraisal

This appraisal is a Summary Appraisal Report as prescribed by the Appraisal Standards Board in the 2012-2013 Edition of Uniform Standards of Professional Appraisal Practice.

Competency of the Appraiser(s)

The Appraisers' specific qualifications are included within this report. These qualifications serve as evidence of their competence for the completion of this appraisal assignment in compliance with the competency provision in USPAP. The appraisers' knowledge and experience, combined with their professional qualifications, are commensurate with the complexity of the assignment. The appraiser has previously provided consultation and value estimates for properties similar to the subject in Hillsborough, Pinellas and Pasco counties.

Disclosure of previous interest (if any) in the prior three years

I have no present or prospective interest in the property that is the subject of this report and I have no personal interest with respect to the parties involved.

I have performed no other services, as an appraiser or in any other capacity, regarding the property that is the subject of this report within the three-year period immediately preceding acceptance of this assignment.

I have no bias with respect to the property that is the subject of this report or to the parties involved with this assignment.

Effective Date of this Appraisal

The effective date of this appraisal is September 11th, 2013.

Intended Use and User

The *Use* of this appraisal is limited to my client City of St. Petersburg for establishing the "As Is" Market Value in Fee Simple Interest of the subject real estate as of September 11th, 2013. My responsibility is limited to my client and does not extend to a third party. In addition, any claims against me for any reason whatsoever are limited to the amount of fees paid for this appraisal assignment. Neither the value estimate nor any of the contents of this appraisal may be disclosed to or relied upon by third parties.

Extraordinary Assumptions

An assumption, directly related to a specific assignment, as of the effective date of the assignment results, which, if found to be false, could alter the appraiser's opinions or conclusions.⁽¹⁾

None.

Hypothetical Conditions

A condition, directly related to a specific assignment, which is contrary to what is known by the appraiser to exist on the effective date of the assignment results, but is used for the purpose of analysis.⁽²⁾

None.

^{1,2} *Uniform Standards of Professional Appraisal Practice, 2012-2013 Edition*

Real Estate Appraised

Location:

4251 42nd Ave S., St. Petersburg, FL 33711

Pinellas County ID: 03-32-16-00000-210-0300

Site Description:



The overall property consists of a single parcel of 203,840 sq. ft. (4.68 acres) with 355 +/- feet frontage on Boca Ciega Bay. The parcel is approximately 374 feet deep and is slightly irregular in shape at the north end. The overall parcel is fenced and lushly landscaped with oak trees, grass and foliage.

For the purposes of this report, we have divided the subject into two views. Parcel 1, would be the entire property with 202,118 sf (4.64 acres) encompassing the main residence, and then Parcel 2, divided off with 76,296 sq. ft. (1.75 acres) – with 204 feet frontage on Boca Ciega Bay. Parcel 2 has potential ingress/egress from 42nd Avenue South – midway along the southern boundary.

Easements, Encroachments, and Use Restrictions

Utility easements on east and south boundaries.

Environmental Concerns

At the time of our inspection there were no apparent stained soil areas, improperly disposed drums or petroleum containers or stressed vegetation that would be cause for concern. There were no apparent fill or vent pipes for underground storage tanks. Interested parties are hereby notified that we are not a trained environmental inspector and concerned interested parties are advised to employ the services of a trained, licensed and professional environmental inspector for a more reliable determination of environmental issues.

Improvements

The following is a brief description of the improvements, please see the photographs, floor plans, and county records in the addenda for a more complete description.

The property is improved with a two story 6 bed, 9 bath single family home originally built in 1959 of wood frame and brick construction with a gross square footage of 10,247 sf (8,214 esf). The residence is in average to good condition – as such I have assigned an average age of 20 years. The overall square footage also encompasses an adjoining “carriage house” built of wood frame that is in poor condition.

Ownership

According to Pinellas County records the property is owned by:

Sam G Rahall
4251 42nd Ave S, St. Petersburg, FL 33711

Sales History and Analyses

There have been no recorded sales in the past five years.

The property is currently listed for sale with Anne Rogers of Keller Williams Realty Suncoast (MLS U7580588) – divided by The Residence and 127,500 sq. ft. (2.93 acres) of land listed for \$2.6 million and has been on the market since April 29th, 2013. The remaining 76,340 sq. ft. (1.75 acres) is listed for \$2 million as vacant land (MLS U7580558).

Previously the overall property was originally listed for sale with with Jeff Joyner of Keller Williams St. Pete Realty June 15, 2011 for \$3,500,00 and then subsequently reduced to \$3,295,000 – then \$3,000,000 on June 19, 2012. The listing expired Jan 10, 2013.

Legal Description

See full legal in the addenda to this report.

Assessment & Taxes

According to Pinellas County Appraisers office the 2009-13 assessed values are:
Parcel ID: 03/32/16/00000/210/0300

	2013*	2012	2011	2010	2009
Market Value:	\$1,784,812	\$1,671,650	\$1,725,120	\$1,824,099	\$2,047,791
Assessed Value:	\$949,554	\$933,681	\$806,486	\$893,090	\$869,611
Annual Taxes:	\$20,969.88	\$20,619.34	\$19,044.26	\$18,511.81	\$18,064.20
Taxes Due:	na	Paid	Paid	Paid	Paid

*estimated

The residence is homesteaded, resulting in a reduction in assessment, that on sale will revert back to the full market value.

Marketability

It is anticipated a 9-12 month period would be required to fully market the property.

Concurrency

Concurrency laws are in effect in Pinellas County and the City of St. Petersburg. It is presumed the existing property conforms to the concurrence laws currently in effect, if any.

SALES COMPARISON APPROACH

The valuation of land and improvements is most appropriately processed through the application of the Sales Comparison Approach (market approach). The rationale being that the Principle of Substitution suggests that an informed and prudent purchaser will pay no more for a property than the cost of acquiring a substitute with the same amenities and potential uses.

In the application of the Sales Comparison Approach and reflective of the Principle of Substitution, recent sales of comparable or competitive transactions that have taken place in the open market are employed as a guide to a most probable value. It is for this reason that a search has been made through authoritative and knowledgeable sources for data relating to recent sales activity of sufficiently similar properties to provide a market derived foundation for the value estimate. Market derived indicators are then compared to the characteristics of the subject in an adjustment process wherein various elements of value including physical characteristics might be reflected upon and adjusted if and when appropriate and to an appropriate degree.

For purposes of comparison the appraiser has the option of several alternative units of comparison. These include the direct overall parcel to parcel comparison or "unit of comparisons" such as price per front foot, price per square foot or price per acre, etc. The selection of the unit of comparison is dependent on the character of the property and the observed actions of the market participants, i.e. buyers and sellers.

As a basic fundamental to the procedure, it must be emphasized that an accurate understanding of the characteristics of the property in question, both subject and sales, are a highly necessary ingredient as they provide the factual foundation upon which the adjustment process is applied and conclusions reached.

SUMMARY OF SALES APPROACH
& RECONCILIATION

In valuing the subject property, I have found similar sized luxury residences that have sold within the past seven months and have adjusted for the market conditions, age, construction, and for the overall size of the property.

I found, after adjustments, that the sales ranged from a high of \$516.85 esf to a low of \$261.95 – with an average mean adjusted value of \$392.82 resulting in an overall average value of \$3,226,623.48 – rounded to \$3,250,000.

In all cases, I have reverted to the effective square feet – to take into consideration the various variances in non-air space within the subject and the comparables. Also utilized the average sale value to reflect the overall general condition of the property.

In dividing off the proposed 1.75 acres as detailed in this report, we have looked at the development potential of the site, and compared with other similar land sales with direct water frontage and have adjusted for size, and location.

In careful consideration, and based on the Sales Approach to valuation, it is my opinion that the Market Value in Fee Simple of the subject as of September 11th 2013, was:

Reconciled and rounded to:
Overall property "As Is"
THREE MILLION, TWO HUNDRED & TWENTY FIVE THOUSAND DOLLARS ^(R)
(\$3,250,000)

Divided 1.75 acres (Proposed parcel 2)
ONE MILLION, EIGHT HUNDRED THOUSAND DOLLARS ^(R)
(\$1,800,000)

PAGES FROM

APPRAISAL 2

SUMMARY APPRAISAL REPORT
THE RAHALL ESTATE
A Waterfront Residential Property

Located At
4251-42nd Ave., South
St. Petersburg, Pinellas County, Florida

For
City of St. Petersburg
Mr. Bruce E. Grimes, Director
Real Estate & Property Management

Fogarty & Finch, Inc.
Assignment Number
A-19,256

Fogarty & Finch, Inc.

REAL ESTATE APPRAISERS AND CONSULTANTS

525 First Avenue North, St. Petersburg, Florida 33701-3701

Phone: 727-822-4343 • Fax: 727-894-4087 • E-mail: CFinch@FogartyandFinch.com



Chris A. Finch, MAI, SRA
President
State-Certified General
Real Estate Appraiser RZ 1001

Established 1924
Incorporated 1974

October 4, 2013

City of St. Petersburg
Mr. Bruce E. Grimes, Director
Real Estate & Property Management
PO Box 2842
St. Petersburg Florida, 33731 – 2842

In Re: Summary Appraisal Report
THE RAHALL ESTATE
A Waterfront Residential Property
Located At 4251-42nd Ave., South
St. Petersburg, Pinellas County, Florida 33711

Dear Mr. Grimes:

In compliance with your request, an inspection and “as is” market value appraisal has been made of the above referenced property. As requested this appraisal includes both a separate value of the South 1.75 acres of vacant land and a value of the whole property as improved. For ease of identification within this report they will be referred to as Premise No. 1 and Premise No. 2 as shown below. The date of this appraisal report is October 4, 2013. The date of valuation is September 13, 2013, the last date of inspection.

Premise No. 1 As Is Market Value of South 1.75 Acres of Vacant Land

Premise No. 2 As Is Market Value of the Whole Property, 4.68 Acres

The properties appraised are legally described in the attached report under “IDENTIFICATION OF PROPERTY.”

October 4, 2013
Mr. Bruce E Grimes, Director
City of St. Petersburg
Page Two

This is a Summary Appraisal Report which is intended to comply with the reporting requirements set forth under Standards Rule 2-2 (b) of the Uniform Standards of Professional Appraisal Practice (U.S.P.A.P.) for a Summary Appraisal Report. As such, it presents only summary discussions of the data, reasoning and analyses that were used in the appraisal process to develop the appraiser's opinion of value. The depth of discussion contained in this report is specific to the needs of the City of St. Petersburg, our client and the intended user of this report. The intended use of this report is for the sole purpose of assisting our client with an estimate of market value to assist with the possible acquisition of the subject property. The appraiser is not responsible for the unauthorized use of this report.

As will be discussed in the appraisal report the subject property contains a total of 4.68 acres of land and is improved with a very large two story single-family dwelling with an additional detached garage, guest quarters and site improvements. This residence was built in 1959 and thus is 54 years old. Overall it appears to be well maintained however the interior is original and dated. This residence has always been, and still is an over improvement for the neighborhood. As will be explained in the report section titled Highest & Best Use, the subject improvements are considered to represent a short term interim use with neither a positive or negative contributory value. The cost to remove the improvements has not been deducted from the value of the whole site as estimated in Premise No. 2.

Adequate land sales were available for a direct comparison to the subject. Therefore the Sales Comparison Approach to Value has been utilized. The valuation analysis used has produced a credible assignment result.

This appraisal is of the real property only and does not include equipment or personal property.

This appraisal is subject to the General Assumptions and Limiting Conditions set forth on a following page at the beginning of this report, those general assumptions if any discussed within this report and those Extraordinary Assumptions and Hypothetical Conditions if any, as set forth within this letter of transmittal.

Hypothetical Conditions - None

Extraordinary Assumptions

This appraisal is based on the Extraordinary Assumption that there are no hazardous materials or contamination on or in the subject property. The appraiser is not qualified to detect said substances and or materials. An expert specializing in environmental audits should be consulted if an opinion is desired. There is an above ground 400 gallon fuel oil tank used for the home heating system.

October 4, 2013
Mr. Bruce E Grimes, Director
City of St. Petersburg
Page Three

Extraordinary Assumptions - Continued

Located between the residence and the guest house there is a small pet cemetery. According to the listing Broker, Ms. Ann Rogers, Keller Williams Realty Gulf Coast, no decision has been made regarding how to handle the pets buried at the site. This appraisal is based on the Extraordinary Assumption that the seller of the property would resolve this issue at their expense.

The survey provided shows a strip of submerged land along the western edge of the entire site. Some of the "labeled" submerged land has been filled, is now upland and lies east (land side) of the seawall. There are also two small areas that are not labeled as submerged land but they are in the water and lie west of the seawall. These are at the middle-western edge of the site and the boat basin area at the north end of the seawall. The portion of the gross site area that appears to still be in the water is roughly scaled and estimated by the appraiser to equal approximately 2,500 square feet more or less. A survey is needed for verification. No information was available to the appraiser as to whether the submerged land that was filled was done with a permit or if one was needed. This may have occurred when the seawalls were installed. This appraisal is based on the Extraordinary Assumption that it was legally allowed and can remain.

Premise No. 1 (South 1.75 Acres Vacant Land)

It is the appraiser's opinion, after careful consideration of the various factors entering into this appraisal that the "as is" market value of the fee simple title to the herein described property, on, September 13, 2013, the last date of inspection, was:

***ONE MILLION THREE HUNDRED SIXTY THOUSAND DOLLARS
(\$1,360,000)***

This is equivalent to \$17.81 per square foot based on a total site area of 76,359 square feet.

October 4, 2013
Mr. Bruce E Grimes, Director
City of St. Petersburg
Page Four

Premise No. 2 (Whole Property)

It is the appraiser's opinion, after careful consideration of the various factors entering into this appraisal that the "as is" market value of the fee simple title to the herein described property, on, September 13, 2013, the last date of inspection, was:

TWO MILLION FIVE HUNDRED NINETY FIVE THOUSAND DOLLARS
(\$2,595,000)

This is equivalent to \$12.73 per square foot based on a total site area of 203,859 square feet.

Data supporting this opinion is contained in the attached report. Thank you for the opportunity to be of service.

Respectfully submitted,
FOGARTY & FINCH, INC.



Chris A. Finch, MAI, SRA
President
State-Certified General
Real Estate Appraiser RZ 1001

CAF; A-19,256

Table of Contents

<i>DEFINITION OF MARKET VALUE AND CERTIFICATION</i>	<i>Page</i>	<i>1</i>
<i>GENERAL ASSUMPTIONS AND LIMITING CONDITIONS</i>	<i>Page</i>	<i>2</i>
<i>SUMMARY OF CONCLUSIONS</i>	<i>Page</i>	<i>4</i>
<i>LOCATION MAP</i>	<i>Page</i>	<i>6</i>
<i>SITE MAP</i>	<i>Page</i>	<i>7</i>
<i>AERIAL PHOTOGRAPHS</i>	<i>Page</i>	<i>8</i>
<i>SURVEY</i>	<i>Page</i>	<i>9</i>
<i>GROUND PHOTOGRAPHS</i>	<i>Page</i>	<i>10</i>
<i>IMPROVEMENT SKETCHES</i>	<i>Page</i>	<i>29</i>
<i>SCOPE OF WORK</i>	<i>Page</i>	<i>32</i>
<i>IDENTIFICATION OF PROPERTY</i>	<i>Page</i>	<i>33</i>
<i>MARKET AREA AND NEIGHBORHOOD DATA</i>	<i>Page</i>	<i>34</i>
<i>SITE DATA</i>	<i>Page</i>	<i>37</i>
<i>ZONING & LAND USE PLAN</i>	<i>Page</i>	<i>40</i>
<i>DESCRIPTION OF IMPROVEMENTS</i>	<i>Page</i>	<i>42</i>
<i>HISTORY OF PROPERTY</i>	<i>Page</i>	<i>47</i>
<i>TAX DATA</i>	<i>Page</i>	<i>48</i>
<i>REASONABLE EXPOSURE TIME</i>	<i>Page</i>	<i>49</i>
<i>HIGHEST AND BEST USE</i>	<i>Page</i>	<i>50</i>
<i>METHOD OF APPRAISAL</i>	<i>Page</i>	<i>54</i>
<i>SALES COMPARISON APPROACH</i>	<i>Page</i>	<i>55</i>
<i>CONCLUSION</i>	<i>Page</i>	<i>68</i>
<i>ADDENDA</i>		
<i>Appraisers' Qualifications</i>	<i>Page</i>	<i>71</i>

Definition Of Market Value

Market value is defined in Chapter 12, Code of Federal Regulation, Part 34.42(f) as:

The most probable price which a property should bring in competitive and open market under all conditions requisite to a fair sale, the buyer and seller each acting prudently and knowledgeably, and assuming the price is not affected by undue stimulus. Implicit in this definition are the consummation of a sale as of a specified date and the passing of title from seller to buyer under conditions whereby:

1. Buyer and seller are typically motivated;
2. Both parties are well informed or well advised, and each is acting in what they consider their best interest;
3. A reasonable time is allowed for exposure in the open market;
4. Payment is made in terms of cash in U.S. dollars or in terms of financial arrangements comparable thereto; and
5. The price represents the normal consideration for the property sold unaffected by special or creative financing or sales concessions granted by anyone associated with the sale.

Appraisal Certification

I certify that, to the best of my knowledge and belief:

- The statements of fact contained in this report are true and correct.
- The reported analyses, opinions and conclusions are limited only by the reported assumptions and limiting conditions, and is my personal, impartial and unbiased professional analyses, opinions and conclusions.
- I have no present or prospective interest in the property that is the subject of this report, and no personal interest with respect to the parties involved.
- I have no bias with respect to the property that is the subject of this report or to the parties involved with this assignment.
- My engagement in this assignment was not contingent upon developing or reporting predetermined results.
- My compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal.
- My analyses, opinions and conclusions were developed and this report has been prepared in conformity with the Uniform Standards of Professional Appraisal Practice.
- The degree to which each appraiser inspected the subject property is noted below their respective signature.
- No one provided significant real property appraisal assistance to the person signing this certificate.
- The reported analyses, opinions and conclusions were developed, and this report has been prepared, in conformity with the requirements of the Code of Professional Ethics and the Standards of Professional Appraisal Practice of the Appraisal Institute.
- The use of this report is subject to the requirements of the Appraisal Institute relating to review by its duly authorized representatives.
- I have provided no service regarding the subject property within the three years prior to this assignment.

The Appraisal Institute conducts a voluntary program of continuing education for the certification of its designated members. As of the date of this report, Chris A. Finch has completed the requirements of the continuing education program of the Appraisal Institute.



Chris A. Finch, MAI, SRA
President
State-Certified General
Real Estate Appraiser RZ 1001
(X) On-Site Inspection

Rev.2013

General Assumptions And Limiting Conditions
(Summary Appraisal Report)

The certification of the appraiser appearing in the appraisal report is subject to the following general assumptions and to such other specific and limiting conditions, Hypothetical Conditions and Extraordinary Assumptions as are set forth by the Appraiser in the Letter of Transmittal and the body of this report.

1. The legal description furnished is assumed to be correct. The Appraiser assumes no responsibilities for matters of a legal nature affecting the property appraised or the title thereto, nor does the Appraiser render any opinion as to the title, which is assumed to be good and marketable.
2. The property is appraised as though under responsible ownership, competent management and as though free and clear of mortgage indebtedness, assessments, or liens of any sort.
3. Any sketch or exhibit in this report may show approximate dimensions and are included to assist a reader in visualizing the property. The Appraiser has made no survey of the property.
4. The Appraiser is not required to give testimony or appear in court because of having made the appraisal with reference to the property in question, unless arrangements have been previously made.
5. Any distribution of the valuation in the report between land and improvements (if any exist) applies only under the existing program of utilization. The separate valuations for land and building must not be used in conjunction with any other appraisal and are invalid if so used.
6. Unless stated otherwise in this report, the Appraiser assumes that there are no hidden or unapparent conditions of the soil or subsoil which would render the property more or less valuable. If any improvements remain on the site the appraiser assumes that there are no hidden or unapparent conditions such as, but not limited to, termite infestation and/or damage, urea formaldehyde foam insulation, radon gas, asbestos, toxic waste, lead paint, mold, mildew spores or other similar growth, hazardous materials, etc. which would render it more or less valuable. The Appraiser is not qualified to detect such substances and assumes no responsibility for such conditions or for engineering/forensic knowledge and expense which might be required to discover such factors. The client is urged to retain an expert in these fields if desired. The appraiser has only viewed those areas of the property that are readily observable. Dense vegetation or land features may have prevented the appraiser from accessing or viewing all areas of the property. The value estimate is predicated on the assumption that there are no unidentified property conditions that would cause a loss in value.
7. Information, estimates and opinion furnished to the Appraiser by others, and contained in this report, were obtained from sources considered reliable and believed to be true and correct. However, no warranty is given for its accuracy.
8. Disclosure of the contents of this Appraisal report is governed by the By-laws and Regulations of the Appraisal Institute.
9. Neither all nor any part of the contents of this report (especially any conclusions as to value, the identity of the Appraiser, or firm with which he or she is connected, or any reference to the Appraisal Institute or to the MAI, RM or SRA designations) shall be disseminated to the public by any means of communication without the prior written consent and approval of the Appraiser. Possession of this report, or a copy thereof, does not carry with it the right of publication.
10. If a fractional interest, i.e. less than the whole fee simple estate has been estimated herein, the value reported relates only to the fractional interest estimated and the combined values of the fractional interest and all other fractional interest may or may not equal the value of the fee simple estate.

General Assumptions And Limiting Conditions - Continued
(Summary Appraisal Report)

11. It is assumed that the property is in full compliance with all applicable federal, state, and local environmental regulations and laws unless the lack of compliance is stated, described, and considered in the appraisal report.
12. It is assumed that the property conforms to all applicable zoning and use regulations and restrictions unless a nonconformity has been identified, described and considered in the appraisal report.
13. It is assumed that all required licenses, certificates of occupancy, consents, and other legislative or administrative authority from any local, state or national government or private entity or organization have been or can be obtained or renewed for any use on which the value estimate contained in this report is based.
14. It is assumed that the use of the property is confined within the boundaries or property lines of the property described and that there is no encroachment or trespass unless noted in the report.
15. All forecasts, projections, or operating estimates contained herein are based on current market conditions, anticipated short-term supply and demand factors, and a continued stable economy. These forecasts are, therefore, subject to changes with future conditions. Accordingly, actual results may vary from the projections given. The appraiser and Fogarty & Finch, Inc. make no promises, guarantees or warranties as to future or projected values or forecasts.
16. Unless specifically stated in this report, it is assumed that the property (and any improvements which might exist on the property) described is structurally sound and that all building systems (such as, but not limited to, foundation, roof, interior and exterior walls, floors, electrical, HVAC, elevator, plumbing, all mechanical systems, etc.) are in good working order with no major deferred maintenance or repair required. The physical features and condition of the property described in the appraisal is based on a limited visual inspection only. A detailed inspection is beyond the scope of this assignment and was not made. Fogarty & Finch, Inc.'s professionals are not construction, engineering, environmental, property inspection or legal experts. Any statements provided are to be used as a general guide for property valuation purposes only. Appropriate experts should be engaged if there is concern or a desired opinion about the condition, adequacy or existence of any item.
17. The age of any improvement (if any exist) discussed in this report is a rough estimate. If the exact age is desired additional research and investigation is advised.

Extraordinary Assumptions & Hypothetical Conditions

1. Those additional assumptions and/or conditions, if any, discussed in the Letter Of Transmittal.
2. This is a Summary Appraisal Report which is intended to comply with the reporting requirements set forth under Standard Rule 2-2(b) of the Uniform Standards of Professional Appraisal Practice for a Summary Appraisal Report. As such, it might not include full discussions of the data, reasoning and analyses that were used in the appraisal process to develop the Appraiser's opinion of value. Supporting documentation concerning the data, reasoning and analyses is retained in the Appraiser's file. The information contained in this report is specific to the needs of the client and for the intended use stated in this report. The Appraiser is not responsible for unauthorized use of this report.

Land/Rev. 2012

Summary of Conclusions

Property Location: 4251 - 42nd Ave. S., St. Petersburg, Pinellas Co., FL 33711

Type of Appraisal Report: Summary

Purpose of Appraisal: Estimate “As Is” Market Value Based on:
Premise No. 1-As Is Market Value of South 1.75 Acres of Vacant Land
Premise No. 2-As Is Market Value of the Whole Property

Use of Appraisal: Assistance with Possible Purchase Decision

Appraiser’s Client: City of St. Petersburg

Intended User of Appraisal: City of St. Petersburg

Property Rights Appraised: Fee Simple

Date of Valuation: September 13, 2013 The Last Date Of Inspection

Date of Appraisal Report: October 4, 2013

Property Use: Luxury Single-Family Estate Home

Site Shape & Size: Slightly Irregular; See Exhibits for Site Dimensions & Shape

Site Area, More or Less:

Premise No. 1	76,359 Sq. Ft.	1.75 Acres
Premise No. 2	203,859 Sq. Ft.	4.68 Acres

Zoning & City: NS-1, Neighborhood Suburban -1; St. Petersburg

Land Use Classification: RU, Residential Urban (Compatible with Zoning)

Improvement Type: Two Story Luxury Style Single Family Dwelling with Guest House, Additional Detached Garage & Associated Site Improvements

Summary of Conclusions - Continued

Tax Parcel Number: 3/32/16/00000/210/0300

**2012 Real Property
Assessment / Cap & Taxes:** \$1,671,650; \$38,612.77 (Maximum Tax)

**2013 Proposed Real Property
Assessment / Cap & Taxes:** \$1,784,812; \$41,254.32 (Maximum Tax)

Estimated "Marketing Time": 12 to 18 Months

Estimated "Exposure Time": 12 to 18 Months

**Highest & Best Use
As Improved:** **Premise No. 1** – Two single family home sites
Premise No. 2 - Redevelopment with new single family subdivision

Premise No. 1 (South 1.75 Acres of Vacant Land)

Estimated Market Value:	\$1,360,000
--------------------------------	--------------------

This Is Equivalent To \$17.81 Per Square Foot Based On A Total Site Area of 76,359 Square Feet.

Premise No. 2 (Whole Property)

Estimated Market Value:	\$2,595,000
--------------------------------	--------------------

This Is Equivalent To \$12.73 Per Square Foot Based On A Total Site Area of 203,859 Square Feet. As explained the improvements are considered to represent an interim use and do not have a positive or negative contributory value.

Extraordinary Assumptions: See Letter of Transmittal For a Full Explanation.

Hypothetical Conditions: None

Please See The Letter Of Transmittal And General Assumptions And Limiting Conditions Pages Regarding General Assumptions, Limiting Conditions, Hypothetical Conditions Or Extraordinary Assumptions Which Might Apply To This Appraisal And The Estimated Value.

Subject Aerial Photographs

(Flown Approximately 2009, Subject Parent Tract Outlined in Red)



Below Yellow Line is 1.75 Acres as Valued Under Premise No. 1



Scope of Work

The first step in the Scope of Work is to identify the problem to be solved in the appraisal assignment. This is achieved by defining and analyzing key assignment elements which generally include:

- Client
- Intended Users
- Intended use of the appraiser's opinions and conclusions
- Type of opinion or value
- Effective date of the appraiser's opinions and conclusions
- Relevant characteristics about the subject of the assignment
- Assignment conditions

The following research and analysis represents a scope of work that has provided credible assignment results. This appraisal is subject to the General Assumptions and Limiting Conditions set forth at the beginning of this appraisal report, those general assumptions, if any, discussed within this report and those Extraordinary Assumptions and Hypothetical Conditions as set forth by the appraiser in the Letter of Transmittal.

The subject was last inspected on September 13, 2013. An on-site inspection was made of the property appraised. Only those areas of the site that were readily observable were viewed.

Market research for this appraisal was gathered from the most reliable sources including, but not limited to, the following:

- Public Records and County Property Appraiser data files
- Selected planning and zoning departments
- LoopNet
- Florida Gulf Coast Commercial Association of Realtors, Inc. (FGCAR) & EarthPlat
- Multiple Listing Services (MLS)
- Local and national trade publications oriented to the real estate market
- Data files maintained by Fogarty & Finch, Inc.

This research concentrated on the subject neighborhood and similar regions of Pinellas County. The time period for which the market data was researched was from January 2010 through the date of last inspection.

The appraiser personally inspected each of the comparables utilized within this appraisal. One or more of the parties involved with each comparable were contacted to obtain relevant information and verify factual data. Subsequent to the collection and verification process described above, the appraiser prepared the Sales Comparison Approach to Value.

History of Property

The subject property has been under the same ownership since it was acquired by Mr. Rahall in approximately 1967. Therefore there have been no sales of the property in recent years.

In recent years the whole subject ownership of 4.68 acres was offered for sale commencing June 11, 2011 at an asking price of \$3,500,000. Based on the total land area of 203,859 square feet, this equals \$17.17 per square foot. The property was listed for sale by Mr. Jeff Joyner, Broker with Keller Williams St. Petersburg Realty. The property was extensively advertised in the local Multiple Listing Service, other publications and in web based services. The asking price was reduced on March 20, 2012, after 9 months marketing, to \$3,295,000 (\$16.16 PSF of land). After 3 more months the price was reduced to \$3,000,000 (\$14.72 PSF of land area) on June 19, 2012. It stayed at this asking price for 7 additional months until it was removed from the market on January 10, 2013. All total the property was offered for 19 months and did not sell. It was offered to both potential home owners and developers with conceptual plans for additional home sites.

After being removed from the market in January 2013 the property was relisted in the MLS on April 30, 2013 with Ms. Ann Rogers, Broker with Keller Williams Realty Suncoast. The property was not listed as a whole (4.68 acres) but rather as 2 pieces. The South 1.75 acres of the parcel, which is vacant, (Premise No. 1) was listed at an asking price of \$2,000,000. This equals \$26.19 per square foot based on 76,359 square feet. The remainder of the property comprising the North 2.93 acres of land and all improvements was listed for sale at the same time asking \$2,600,000 but with the seller offering \$300,000 back as a "remodeling allowance." Thus the effective asking price is \$2,300,000. Based on the land area of 127,500 square feet this equals \$18.04 per square foot inclusive of land and improvements. An asking price for the property as a whole (Premise No. 2) was not available. The sum of the 2 individual asking prices (\$2,000,000 + effective \$2,300,000) is \$4,300,000 (\$21.09 PSF of land area).

No information could be obtained from the property owner regarding the earlier attempts to sell the property when it was listed with Mr. Joyner. Obviously after an extended marketing time it did not sell. With regard to current marketing efforts with Ms. Rogers it was reported that two developers had expressed an interest in the whole property for redevelopment as a subdivision to include the removal of the existing improvements. Their offer was considered low and did not go to contract. One or both of the developers were in the process of due diligence when Mr. Rahall decided to offer the property to the City of St. Petersburg and thus negotiations with the developers were put on hold. Ms. Rogers stated that during the 5 months she has marketed the property she has received no interest in potential buyers for the use of the home and she has not shown the home to any potential buyers during the current five-month marketing.

The appraiser understands that the City of St. Petersburg is interested in the south 1.75 acres of the site or potentially the entire property for the purpose of creating a park. This effort is being promoted by the Broadwater Civic Association. Ms. Rogers stated that if the City were to only acquire the south 1.75 acres one of the prior developers is still interested in the north 2.93 acres. Both Ms. Rogers and Mr. Joyner are very active experienced Realtors.

Tax Data

The tax parcel number for the subject property is: 03/32/16/00000/210/0300.

Shown below is the maximum tax before any exemptions or discounts

2012 Assessed/Capped Value	2012 Gross Taxes	Maximum 4% Discount	2012 Net Taxes
\$1,671,650	\$38,612.77	\$1,544.51	\$37,068.26
2012 Millage Rate			\$23.0986

The proposed assessment for 2013 is \$1,784,812. Based on the proposed assessment and proposed millage rate of \$23.1141 the estimated taxes for 2013 are \$41,254.32.

The “Assessed/Capped Value” for the subject can potentially benefit from the “10% non-homestead assessment cap.” This cap started in 2009 and limits the increase in the assessment to a maximum of 10% per year unless qualifying changes are made to the property which triggers a reassessment.

Method of Appraisal

As requested the two values have been estimated. These are as follows.

<i>Premise No. 1</i>	As Is Market Value of South 1.75 Acres of Vacant Land
<i>Premise No. 2</i>	As Is Market Value of the Whole Property (4.68 Acres)

As discussed the subject improvements are considered to represent and interim use with neither a positive or negative contributory value. Consequently the valuation under both Premises will be of the underlying land as though vacant. Adequate sales and properties offered for sale were available for a direct comparison and thus the Sales Comparison Approach to Value has been used to estimate both values. Each of the sales and properties offered for sale are unique as is the subject. It is difficult to specifically quantify their differences by numerical adjustments. Consequently as will be seen the appraiser has compared the properties to the subject by use of a qualitative analysis rather than a quantitative (numerical adjustment) basis.

Conclusion

The subject property has a very good waterfront location fronting directly on Boca Ciega Bay. The effective frontage on the Bay is approximately 355 feet and most of it contains what appears to be, a newer seawall in good condition. The only exception is the small boat basin area which has an older seawall in poor condition. This property has good access with significant frontage on two paved streets and is situated in the desirable Broadwater subdivision which has a strong civic association. Interstate 275 and US Highway 19 are both located immediately east of the neighborhood enabling easy and quick access to employment centers, living conveniences, other nearby communities as well as entertainment and recreational opportunities. The Gulf Beach community of St. Pete Beach and the Fort DeSoto County Park are within a 10 minute drive via the Pinellas Bayway.

The subject site with numerous oak trees is very attractive and at a total size of 4.68 acres uncommon. The residence is also very attractive and of very good quality. As explained in detail, it is unfortunately, mostly original to its date of construction in 1959. Although it has been well maintained, it is very dated, suffers from functional inadequacies when measured against today's standards for a luxury home and it is an over improvement for the greater neighborhood. It's location near the mid-section of the site, makes it difficult to carve it out of the parent tract and leave a remainder parcel of vacant land that can be efficiently developed with additional home sites. As explained in the report section Highest & Best Use the improvements are considered to represent an interim use without a positive or negative contributory value. Consequently they have been given no value and their cost of demolition has not been deducted from the value of the site as though vacant. It is assumed that there would be salvage value to the improvements as well as impact fee credits that could be counted toward the cost of new improvements.

The Sales Comparison Approach to Value was used to value the property under both premises as there were adequate land sales and offerings for a direct comparison. As is typical, sites of this type are not common in Pinellas County and those that exist do not sell frequently. It is the appraiser's opinion that the use of comparable sales outside of Pinellas County would be difficult to compare to the property appraised given the unique characteristics of Pinellas such as its location relative to the Gulf of Mexico and its density which directly impacts values. Consequently no sales outside of Pinellas County were researched or considered.

Premise No. 1 (South 1.75 Acres Vacant Land)

It is the appraiser's opinion, after careful consideration of the various factors entering into this appraisal that the "as is" market value of the fee simple title to the herein described property, on, September 13, 2013, the last date of inspection, was:

ONE MILLION THREE HUNDRED SIXTY THOUSAND DOLLARS
(\$1,360,000)

This is equivalent to \$17.81 per square foot based on a total site area of 76,359 square feet.

Conclusion - Continued

Premise No. 2 (Whole Property)

It is the appraiser's opinion, after careful consideration of the various factors entering into this appraisal that the "as is" market value of the fee simple title to the herein described property, on, September 13, 2013, the last date of inspection, was:

TWO MILLION FIVE HUNDRED NINETY FIVE THOUSAND DOLLARS
(\$2,595,000)

This is equivalent to \$12.73 per square foot based on a total site area of 203,859 square feet.

Attached documents for item Pinellas Planning Council. (Councilmember Kennedy)

Attached documents for item Update on Metropolitan Planning Organization (MPO) and Pinellas Suncoast Transit Authority (PSTA) Advisory Committee for Pinellas Transportation.
(Councilmember Kennedy) (Oral)

Attached documents for item Referring to the Committee of the Whole for consideration, expending \$300,000 in Weeki Wachee funds to purchase and relocate the cycad collection to the Gizella Kopsick Palm Arboretum and to Sunken Gardens. (Councilmember Dudley)

COUNCIL AGENDA

NEW BUSINESS ITEM

TO: The Mayor and Members of City Council

DATE: October 4, 2013

COUNCIL

DATE: **October 17, 2013**

RE: Referral to Committee of the Whole

ACTION DESIRED:

Respectfully requesting a referral to the Committee of the Whole for consideration of expending \$300,000 in Weeki Wachee Funds to accomplish the following:

1. Purchase the cycad collection from the estate of the late Dr. U.A. Young of Tampa, Florida.
2. Relocate the cycad collection to the Gizella Kopsick Palm Arboretum and to Sunken Gardens.
3. Make the required hardscape improvements at the Gizella Kopsick Palm Arboretum and Sunken Gardens in preparation of receiving the cycad collection.
4. Install a security camera system at Gizella Kopsick Palm Arboretum.
5. Obtain expert consulting services for the relocation of the cycad collection.
6. Provide for 10 years of maintenance for the newly planted cycad collection.

RATIONALE:

The scope of this project was outlined to you in a presentation by Phillip J. Stager at the City Council meeting on 9/19/2013. Copies of the presentation were also given to you at this meeting.

As stated at the 09/19/13 City Council meeting, this project is time-sensitive and prompt action by the Committee of the Whole would be appreciated.

Bill Dudley, Vice Chair
City Council

A-1

Attached documents for item Requesting City Council have a Management Evaluation Study done for any and all City of St. Petersburg fleet take home vehicles. (Councilmember Newton)

COUNCIL AGENDA NEW BUSINESS ITEM

TO: **Members of City Council**

DATE: **October 11, 2013**

COUNCIL DATE: **October 17, 2013**

RE: ***Management Evaluation Study Request***

ACTION DESIRED:

Respectfully requesting City Council have a Management Evaluation Study done for any and all City of St. Petersburg FLEET TAKE HOME VEHICLES.

RATIONAL:

The Management Evaluation Study is a tool for City Council to get an independent outside audit of processes and resources. In 2011 voters passed Charter Amendment #5 (see below) giving City Council the power to do a Management Evaluation Study anytime, instead of every two years. There has NEVER been a Management Evaluation Study on City Fleet Take Home Vehicles. Finally, as elected officials, we have a fiduciary responsibility to be good stewards of the taxpayer's resources and money.

At the November 8, 2011 General Election, the voters approved the following proposed Charter Amendment #5:

Make Management Evaluation by City Council Optional Instead of Mandatory.

*Shall the City Charter be amended to require City Council to consider but not require a Management Evaluation every two years, **while preserving the right of City Council to conduct such a study any time?***

This Charter Amendment passed –

11,821 (yes)

10,014 (no)

Wengay Newton, Council Member
District 7

Attached documents for item Requesting Members of City Council to designate a voting and alternate delegate for the National League of Cities Annual Conference, November 2013 in Seattle, Washington. (Chair Nurse)

COUNCIL AGENDA NEW BUSINESS

To: The Honorable Members of City Council

Date: October 11, 2013

Council Date: October 17, 2013

RE: Appointments of Voting and Alternate Delegates for the
National League of Cities Annual Conference - 2013

Action Requested:

Respectfully requesting Members of City Council to designate a voting and alternate delegate for the National League of Cities Annual Conference, November 2013 in Seattle, Washington.

Karl Nurse, Chair
Member of City Council

Attached documents for item Budget, Finance & Taxation Committee. (10/10/13)

ST. PETERSBURG CITY COUNCIL BUDGET, FINANCE & TAXATION COMMITTEE

Committee Report for October 10, 2013

Members & Alternate: Budget, Finance & Taxation Committee: Chair James R. “Jim” Kennedy, Jr.; Vice-Chair Charles Gerdes; Karl Nurse; Leslie Curran and William Dudley (alternate).

Support Staff: Tom Hoffman, Controller, Finance Department
Angela Ramirez, Budget Analyst II, Budget Department

Call to Order
Approval of Agenda
Approval of Minutes - August 29, 2013 as amended.

1. New / Deferred Business

a. Management Evaluation Discussion

Brad Scott, Audit Services Director, provided to the Committee history of the Management Evaluation, reporting that Section 4.05(b)(1) of the City Charter states that “City Council, at any time, shall be permitted to conduct a management evaluation by a professional consultant of the administrative activities of the City, or any portion thereof, under the direction of City Council. At least once every two years the City Council shall discuss and make a decision as to whether or not any such audit is needed. The management evaluation and all reports and recommendations shall be directed to the Council”. In FY1999 city Council delegated the responsibility of evaluating alternative areas for the study to the Budget, Finance and Taxation Committee so that they may make recommendations to City Council for their consideration and approval. Further, Resolution 2012-0132 requires the Budget, Finance and Taxation Committee discuss potential Management Evaluations at their first October meeting each fiscal year. Mr. Scott’s involvement in the process is coordination of the RFP.

Included in the materials provided to the Committee was a list of management evaluations conducted since 1976 and a list of possible management evaluations.

Committee members discussed the budget for the management evaluation with administration responding that the FY13 budget amount of \$50,000 was unspent and could be re-appropriated and added to the \$50,000 FY14 budget amount.

Chair Kennedy stated the Committee had fulfilled their obligation with the discussion at the meeting and it was agreed by Committee members to defer any action at this time. The next Management Evaluation discussion will be scheduled for the first BF&T Committee meeting in October 2014.

b. FY2013 Increased Enterprise Fund Subsidies Report

Tom Greene, Budget Director, provided to the Committee a report of the FY13 Third Quarter Expenditure Subsidy Variances for nine Enterprise Funds, comparing the FY Estimated

subsidies to both the FY12 Actual Subsidies and the FY13 Budget Subsidies. Based on the actual results of the funds through June 30, 2013, it is projected the total subsidies for the funds included in the report will exceed the FY13 Budget by \$646,000 and be \$131,480 less than the FY12 Actual amount. Mr. Greene noted that both the Mahaffey Theater and Sunken Garden Funds are projected to have subsidies less than the budget amounts; the Airport, Golf Course and Jamestown Funds each have loans from the General Fund which will be repaid from future earnings.

Issues discussed regarding the need for increased subsidy to the Golf Course included higher than average rainfall during the year which reduced green fees and an overall downturn in the golf industry. A write-off of Airport accounts receivable of \$112,000 was a significant factor contributing the increase in the Airport Fund subsidy and a changing economy has impacted the shipping industry, reducing Port revenues and necessitating an increase in the subsidy to the Port.

2. New Business Item Referrals – None

- a. Report from City Administration relative to a review of the Port Model to presented on either a January or February BF&T Committee meeting.
- b. Report from City administration relative to the actual performance of Big Three Management against the performance criteria included in the RFP for the management of the Mahaffey Theater to be presented at a future BF&T Committee meeting.

3. Continued Business / Deferred Business – None

4. Reports - None

5. Upcoming Meetings Agenda Tentative Issues

Note – Chair Kennedy canceled the October 31, 2013 meeting.

1. November 18, 2013

- a. 4th Quarter Financial Report (Anne Fritz)
- b. FY13 Budget Cleanup (Tom Greene)

2. November 25, 2013

- a. Draft Procedure to Encourage and Utilize Outside Grant Applications (John Wolfe, Louis Moore)
- b. Legal Update Report – 3rd Quarter Delinquent Lease Items (Lynn Gordon)
- c. 4th Quarter Grants Report (Shrimatee Ojah-Maharaj)

3. December 19, 2013

- a. Report of the December 10, 2013 Investment Oversight Committee Meeting (Anne Fritz)
- b. Health Insurance Rates for Next Year (Gary Cornwell)

6. Adjournment – Meeting adjourned at 8:58.

Attached documents for item Public Services & Infrastructure Committee. (10/10/13)

City of St. Petersburg
Public Services & Infrastructure Committee
Meeting of October 10, 2013 – 9:15 a.m.
City Hall, Room 100

Members: Chair Bill Dudley; Vice-Chair Jeff Danner (absent)
Council Members: Steve Kornell and Wengay Newton

Alternate(s): Karl Nurse

Support Staff: David Dickerson, primary staff support; Ken Betz, backup staff support

Others Present: Councilmember Gerdes, Tish Elston, Mike Connors, Mark Winn, and Amelia Preston

A. Call to Order and Roll Call: - 9:22 a.m.

B. Approval of Agenda: (4 - 0)

C. Approval of Minutes

1. Minutes of September 26, 2013: (4 - 0)

D. New Business

1. City Vehicle Use Mike Connors

Opening Discussion and Presentation

Chair Dudley introduced the item and Mike Connors to the committee. Mr. Connors distributed to the committee the administrative policy concerning take home vehicles and the list of non police/fire vehicles that are designated as take home vehicles. Mr. Connors discussed the guidelines of the take home vehicle policy and also highlighted the justification for each of the vehicles on the list.

Committee and Staff Discussion

The committee had general discussion on the presentation. The consensus was the take home vehicle policy was necessary, including those for Police and Fire. The discussion focused on the ability to track fuel costs, accident data, and the cost/benefit component of the policy.

A motion was made to recommend to the Budget, Finance, and Taxation Committee adoption of a motion to conduct a management study on take home city vehicle use. The motion failed (1 – 3).

E. Next Meeting: October 31, 2013

1. Sidewalk Cafes (Philip Lazzara)

2. Historic Uptown and Old Southeast Neighborhood Plans (Susan Ajoc)

F. Adjournment. Meeting Adjourned at: 10:10 a.m.

Attached documents for item Proposed settlement of Dylan Leach v. City of St. Petersburg.

Attached documents for item An Attorney-Client Session, pursuant to Florida Statute 286.011(8), to be heard at 2:00 p.m., or as soon thereafter as the same may be heard, in conjunction with the lawsuit styled Bradley Westphal v. City of St. Petersburg/City of St. Petersburg Risk Man

Attached documents for item Confirming the preliminary assessment for Lot Clearing Numbers 1523 and 1524.

ST. PETERSBURG CITY COUNCIL

MEETING OF: October 17, 2013

TO: COUNCIL CHAIR AND MEMBERS OF CITY COUNCIL

SUBJECT: Confirming Preliminary Assessment for
Lot Clearing Number LCA 1523

EXPLANATION: The Sanitation Department has cleared the following number of properties under Chapter 16, Article XIII, of the St. Petersburg City Code. The interest rate is **12%** per annum on the unpaid balance.

LCA:	<u>1523</u>
NUMBER OF STRUCTURES:	<u>169</u>
ASSESSABLE AMOUNT:	<u>\$32,473.21</u>

According to the City Code, these assessments constitute a lien on each property. It is recommended that the assessments be confirmed.

COST/FUNDING/ASSESSMENT INFORMATION:

The total assessable amount of **\$32,473.21** will be fully assessable to the property owners.

ATTACHMENTS:

MAYOR: _____

COUNCIL ACTION: _____

FOLLOW-UP: _____

AGENDA NO. _____

9/20/13
15:05:07

CITY OF ST. PETERSBURG, FLORIDA
OWNERS NAME AND ADDRESS LISTING
LCA - LOT CLEARING

PAGE: 1
SASONA1P

PROJECT	RELATED PARTY NAME	PROPERTY ADDRESS	ASSESS AMOUNT
1523	ALUMNI PARTNERS II LLC	2168 23RD AVE N	184.38
	ALUMNI PARTNERS II LLC	3530 2ND AVE S	184.38
	AMERICAN HOME MTG	1565 13TH ST S	184.38
	ANDERSON, NATALIE E	2754 2ND AVE S	224.47
	ARCERI, ANTONINO	4350 IRIS ST N	184.38
	ATLANTIC CAPITAL/MARCO BANK	805 14TH ST S	224.47
	ATSI, LUCA ANGELUCCI	3600 2ND AVE S	184.38
	BANK OF AMERICA	1013 54TH AVE N	184.38
	BOHMS, ALAN	201 28TH ST S	224.47
	BOUIE, PAULA LYNNETTE	2930 VALENCIA WAY S	184.38
	BOURQUE, ROBERT R JR	1710 28TH AVE N	184.38
	BRADBURY, PATSY EST	2540 18TH AVE N	184.38
	BROOKS, DAVID MICHAEL	6742 15TH ST N	184.38
	BROWN, JACQUELINE	1675 13TH AVE S	184.38
	BROWN, JUNE	3735 QUEENSBORO AVE S	184.38
	BURGESS, DESMOND H	4643 19TH AVE S	184.38
	BURNS, ISABELLE	4627 10TH AVE S	184.38
	CAHALL, CHARLES V JR	4616 9TH AVE S	184.38
	CAMACHO, MARIO A EST	2427 14TH AVE N	184.38
	CARIERE-JONES, ROXIE	1247 13TH ST N	184.38
	CARLOCK, THOMAS G	955 28TH AVE S	184.38
	CAUDILL, JAMES C III	601 60TH ST S	184.38
	CELTIC ASSOCIATES INC	1537 42ND ST S	184.38
	CHAVOUS, MATTIE M EST	4601 QUEENSBORO AVE S	264.56
	CHOMICK, MICHAEL	870 14TH AVE S	184.38
	COLE, WAYNE A	6520 19TH WAY N	184.38

9/20/13
15:05:07

CITY OF ST. PETERSBURG, FLORIDA
OWNERS NAME AND ADDRESS LISTING
LCA - LOT CLEARING

PAGE: 2
SASONALP

PROJECT	RELATED PARTY NAME	PROPERTY ADDRESS	ASSESS AMOUNT
	CVS EGL CENTRAL PETERSBURG FL	4901 CENTRAL AVE	344.74
	DALLAND PROPERTIES LP	316 29TH ST S	184.38
	DALLAND PROPERTIES LP	721 26TH AVE S	204.43
	DALLAND PROPERTIES LP	1200 HIGHLAND ST S	184.38
	DALLAND PROPERTIES LP	4519 14TH AVE S	224.47
	DALLAND PROPERTIES LP	4740 17TH AVE S	184.38
	DE LUCA, LINSEY M	6830 GEORGE M LYNCH DR	184.38
	DEAN, DAVID ALAN	860 14TH AVE S	184.38
	DEMPS, KAREN A	725 21ST AVE S	184.38
	DICK, ERIC A	6890 GEORGE M LYNCH DR	184.38
	EASTMAN BUILDERS LLC	1018 7TH AVE S	184.38
	EGGLETON, ANDRE	1716 21ST AVE S	184.38
	EMES, BRETT L IRA	755 15TH AVE S	184.38
	EQUIALT FUND LLC	1035 15TH AVE S	204.43
	ESCANO, GRACE	2148 9TH AVE S	184.38
	EUROPA-TRANS LLC	3830 16TH AVE S	224.47
	EVANS, DAVID E	801 18TH AVE S	184.38
	FINKEL, RONALD	1901 26TH AVE S	264.56
	FLOWERS, MORRIS JR	2710 1ST AVE S	184.38
	FOREMAN, FRERE G T	1044 34TH AVE N	184.38
	FULLER-GAINEY, ANTONISHIA L	4700 11TH AVE S	184.38
	GENERAL HOME DEV CORP OF PINEL	718 30TH AVE N	184.38
	GENERAL HOME DEVELOPMENT CORP	4521 13TH AVE S	184.38
	GIGO LLC	982 8TH AVE S	184.38
	GILCHRIST, THURZA	967 22ND AVE S	264.56
	GINN, HAROLD S	3610 14TH AVE S	184.38

9/20/13
15:05:07

CITY OF ST. PETERSBURG, FLORIDA
OWNERS NAME AND ADDRESS LISTING
LCA - LOT CLEARING

PAGE: 3
SASONA1P

PROJECT	RELATED PARTY NAME	PROPERTY ADDRESS	ASSESS AMOUNT
	GONZALEZ, MARGARITA	1146 54TH AVE N	184.38
	GRAY, GARY L	4665 QUEENSBORO AVE S	184.38
	GREENWADE, ROBERT F	4353 16TH AVE S	184.38
	GREGORY, ADAM M L	3119 QUEENSBORO AVE S	224.47
	HAGAN, STEPHEN J	4722 18TH AVE N	184.38
	HARRIS, JOHN III	4609 FAIRFIELD AVE S	184.38
	HASTINGS, DAVID L	1400 83RD AVE N	184.38
	HESTAD, JOSHUA	1826 7TH AVE S	204.43
	HEYWOOD, CODY STAR	527 25TH AVE S	184.38
	HUYNH, LINDA	1121 12TH ST S	184.38
	HUYNH, LINDA	1211 12TH AVE S	184.38
	HUYNH, LINDA	1221 12TH AVE S	184.38
	INDYMAC BANK	1843 QUINCY ST S	184.38
	J P MORGAN CHASE BANK	1745 13TH AVE S	224.47
	JENKINS, BARBARA	2700 PINELLAS POINT DR S	204.43
	JIBSON, SUE C	6770 15TH AVE N	184.38
	JOHNSON, NORRIS STEVEN	3805 14TH AVE S	184.38
	JONES, MAURICE	4643 QUEENSBORO AVE S	184.38
	KANE, RAFAEL A ROMAN	4009 17TH ST N	184.38
	KERSHNER, PAUL D JR	174 LINCOLN CIR N	184.38
	KOBROSKY, AL	920 20TH AVE S	224.47
	KORTENHAUS, CAROLE M	4667 QUEENSBORO AVE S	184.38
	LARA LLC	4801 15TH AVE S	184.38
	LATTIMER, VIOLA	1759 YALE ST S	184.38
	LE GAGNEUR, RICHARD	520 27TH ST S	184.38
	LEFEBVRE, EILEEN M	601 64TH AVE S	184.38

9/20/13
15:05:07

CITY OF ST. PETERSBURG, FLORIDA
OWNERS NAME AND ADDRESS LISTING
LCA - LOT CLEARING

PAGE: 4
SASONA1P

PROJECT	RELATED PARTY NAME	PROPERTY ADDRESS	ASSESS AMOUNT
	LENDERS DIRECT CAPITAL CORP	4613 YARMOUTH AVE S	184.38
	LENDHOLDERS TRUST LLC	1861 12TH ST S	184.38
	LENNARD, AMY B	8020 RIVERSIDE DR N	184.38
	LEREBOURS, CARLOS	3900 7TH AVE N	184.38
	LERET, HERBERT	1002 15TH AVE S	204.43
	LESTER, WINSTON EST	2762 1ST AVE S	184.38
	LEWIS, PATRICIA	1931 43RD ST S	184.38
	LONGANECKER, JULIE J EST	1530 44TH ST S	184.38
	LONTOC, DOMINIC	4657 13TH AVE S	184.38
	LOREVIL LAND TRUST AGM NO 7	4640 QUEENSBORO AVE S	184.38
	LOREVIL LAND TRUST AGM NO 8	4100 18TH AVE S	184.38
	LUCK, JAMES R TRUST	1821 27TH ST S	184.38
	LUM, JOHN	3629 QUEENSBORO AVE S	184.38
	M A C W C P II LLC	2030 13TH AVE S	184.38
	MAC DONALD, CARL J EST	169 80TH AVE N	184.38
	MC CAMMACK, ELEANOR EST	5745 2ND AVE N	184.38
	MC DONALD, MARVETTA EST	4815 YARMOUTH AVE S	184.38
	MC KINLAY, DAVID	4545 22ND ST N	184.38
	MC MINN, PATRICIA E EST	1137 55TH AVE N	184.38
	MEADS, DEBRA	6818 12TH ST N	184.38
	MEGILL, SCOTT W	827 19TH AVE S	214.45
	MEOLI, DINA	823 59TH AVE NE	184.38
	MERCURY 1 LLC	1216 19TH ST S	184.38
	MESSINA, THOMAS	5010 30TH AVE N	184.38
	MIDFIRST BANK	3731 ITHACA ST N	184.38
	MILLER, MORRIS D	3132 21ST AVE S	184.38

9/20/13
15:05:07

CITY OF ST. PETERSBURG, FLORIDA
OWNERS NAME AND ADDRESS LISTING
LCA - LOT CLEARING

PAGE: 5
SASONA1P

PROJECT	RELATED PARTY NAME	PROPERTY ADDRESS	ASSESS AMOUNT
	MURRAY, RICHARD	1500 20TH AVE S	184.38
	MUSE, SAMUEL M JR	762 15TH AVE S	214.45
	MUSTO, CHRISTOPHER	1600 28TH ST N	184.38
	M2 INTERNATIONAL INC	4443 16TH AVE S	184.38
	NAPIER, BETTY B	247 81ST AVE N	184.38
	NEELEY, DOROTHY A	3811 14TH AVE S	184.38
	NEW CITY HOMES LLC	2851 5TH AVE S	184.38
	NEWKIRK, LOUISE EST	1827 13TH AVE S	204.43
	NEWTON, SHEILA R	1819 48TH ST S	184.38
	NU TAX GROUP GP	1406 14TH AVE S	184.38
	OMNI NATL BANK	4611 19TH AVE S	184.38
	OMNI VENTURES INC	3800 9TH AVE S	184.38
	OSBORN, JOHN K	6354 EMERSON AVE S	224.47
	PARKER, GARY	1320 45TH ST N	184.38
	PIZZUTO, C MICHAEL EST	6217 2ND AVE N	184.38
	QUINETTE, GARY A	4926 DR. ML KING JR ST N	184.38
	RAFFO, JAMES LEWIS	3963 1ST AVE S	184.38
	RAMEY, BETTY J EST	4350 19TH ST N	184.38
	REID, FREDDIE M	718 15TH ST S	184.38
	RENT TO OWN LAND TRUST	4670 21ST AVE S	184.38
	RICH, NATHANIEL JR	1919 QUINCY ST S	184.38
	RICHARD, DARICE	2024 7TH AVE S	184.38
	RICHARDSON, APRIL N	4690 14TH AVE S	224.47
	RIDDICK, MARQUES A	1443 40TH ST S	224.47
	RIVERA, MELVIN O	5838 8TH ST S	184.38
	ROSE HALL INVESTMENT GROUP LP	1810 7TH AVE S	224.47

9/20/13
15:05:07

CITY OF ST. PETERSBURG, FLORIDA
OWNERS NAME AND ADDRESS LISTING
LCA - LOT CLEARING

PAGE: 6
SASONA1P

PROJECT	RELATED PARTY NAME	PROPERTY ADDRESS	ASSESS AMOUNT
	ROSE, SHARON M	2931 7TH ST N	184.38
	RUCKER, MATTIE	1806 9TH AVE S	184.38
	RUNGE, PAUL C	4430 18TH ST N	184.38
	RUSS, MAGGIE C EST	4226 13TH AVE S	184.38
	SAINT PETE LOTS LLC	2136 9TH AVE S	184.38
	SANOOK PROPERTIES LLC	1451 12TH ST S	184.38
	SCHOPF, ERIC	4500 18TH AVE S	184.38
	SHARMA, SEWNARINE	1036 NEWTON AVE S	184.38
	SIMS, LEE E	2570 11TH AVE S	184.38
	SLATER, DAVID M	716 15TH AVE S	184.38
	SMITH, MARTIN	4313 22ND ST N	184.38
	SMITH, RAYMOND	2035 18TH AVE S	184.38
	ST PETE RENTAL PROPERTIES.COM	4324 16TH AVE S	184.38
	STALLION HOMES LLC	1067 8TH AVE S	184.38
	STARRETT, SARA J FAMILY TRUST	1055 19TH AVE S	214.45
	SUNCOAST LAND TRUST # 4649	4649 QUEENSBORO AVE S	184.38
	SUNCOAST PROPERTY PARTNERS LLC	1921 13TH ST S	184.38
	SWAIN, MARY F EST	767 15TH AVE S	204.43
	SWANSON, VIOLET LIVING TRUST	1156 37TH AVE N	184.38
	TARPON IV LLC	731 36TH AVE S	184.38
	TARPON IV LLC	3855 1ST AVE S	184.38
	TAYLOR, QUINTIN A	1761 13TH AVE S	184.38
	TITAN DEVELOPMENT GROUP LLC	1200 12TH AVE S	184.38
	TRAN, ALAN C	2001 12TH ST S	184.38
	TRUST # 1066	1066 8TH AVE S	184.38
	TRUST NO 4361	4361 16TH AVE S	184.38

9/20/13
15:05:07

CITY OF ST. PETERSBURG, FLORIDA
OWNERS NAME AND ADDRESS LISTING
LCA - LOT CLEARING

PAGE: 7
SASONA1P

PROJECT	RELATED PARTY NAME	PROPERTY ADDRESS	ASSESS AMOUNT
	TURNER, OLICIA	1440 27TH ST S	184.38
	USA VETERANS ADM	101 80TH AVE N	184.38
	VERONA V LLC	910 20TH AVE S	184.38
	VERONA V LLC	2021 8TH ST S	224.47
	VIDAL, TERESA L	7541 ORPINE DR N	184.38
	WAINWRIGHT, TIMOTHY SCOTT	1100 19TH ST S	184.38
	WALKER, LORRAINE	1221 9TH AVE S	184.38
	WILLIMAS, ADDIE I EST	2830 64TH TERR S	264.56
	WILSON, THOMAS S EST	844 26TH AVE N	184.38
	11TH AVE S FL LAND TRUST # 1	4701 11TH AVE S	184.38
	1820 7TH AVE S LAND TRUST	1820 7TH AVE S	184.38
	600 22ND STREET NORTH LAND TRU	600 22ND ST N	224.47
	9TH LANCASTER TRUST	935 9TH AVE S	224.47

9/20/13
15:05:07

CITY OF ST. PETERSBURG, FLORIDA
OWNERS NAME AND ADDRESS LISTING
LCA - LOT CLEARING

PAGE: 8
SASONA1P

PROJECT	RELATED PARTY NAME	PROPERTY ADDRESS	ASSESS AMOUNT
---------	--------------------	------------------	---------------

		PROJECT TOTAL	32,473.21
	*** END OF REPORT ***	GRAND TOTAL	32,473.21

LOT CLEARING NUMBER 1523
COST / FUNDING / ASSESSMENT INFORMATION

CATEGORY ASSESSED

AMOUNT TO BE ASSESSED

LOT CLEARING COST

\$ 21,488.21

ADMINISTRATIVE FEE

\$ 10,985.00

TOTAL:

\$ 32,473.21

ST. PETERSBURG CITY COUNCIL

MEETING OF: October 17, 2013

TO: COUNCIL CHAIR AND MEMBERS OF CITY COUNCIL

SUBJECT: Confirming Preliminary Assessment for
Lot Clearing Number LCA 1524

EXPLANATION: The Sanitation Department has cleared the following number of properties under Chapter 16, Article XIII, of the St. Petersburg City Code. The interest rate is **12%** per annum on the unpaid balance.

LCA:	<u>1524</u>
NUMBER OF STRUCTURES:	<u>166</u>
ASSESSABLE AMOUNT:	<u>\$32,573.09</u>

According to the City Code, these assessments constitute a lien on each property. It is recommended that the assessments be confirmed.

COST/FUNDING/ASSESSMENT INFORMATION:

The total assessable amount of **\$32,573.09** will be fully assessable to the property owners.

ATTACHMENTS:

MAYOR: _____

COUNCIL ACTION: _____

FOLLOW-UP: _____

AGENDA NO. _____

9/20/13
15:11:12

CITY OF ST. PETERSBURG, FLORIDA
OWNERS NAME AND ADDRESS LISTING
LCA - LOT CLEARING

PAGE: 1
SASONA1P

PROJECT	RELATED PARTY NAME	PROPERTY ADDRESS	ASSESS AMOUNT
1524	ABDOUDOU, ABDALLAH	7473 16TH ST N	184.38
	ABOOD, JOSEPH	4258 5TH AVE N	184.38
	ACKAWAY, ROBERTA A	4650 22ND ST N	184.38
	ADMIRE, HAZEL EST	850 44TH AVE N	184.38
	ALDRICH, MICHELLE	2881 30TH AVE N	184.38
	ALESSANDRINI, BERNARD	910 43RD ST S	184.38
	ALTHOFF, PAUL	1110 41ST AVE NE	184.38
	AMERINE, ARTHUR T	2500 19TH ST N	184.38
	AMES, MARGARET	1919 30TH AVE N	184.38
	ARMOUR, RAE	1725 PRESTON ST S	184.38
	ATLANTIC CAPITAL/MARCO BANK	3811 10TH AVE S	184.38
	AZIZE, GEORGE	530 29TH ST S	184.38
	BARTON, WINNIE L EST	2035 15TH AVE S	184.38
	BENSON, ROGER C	1826 42ND ST S	184.38
	BENSON, ROGER C	4130 18TH AVE S	184.38
	BOLING, TERRY	2363 5TH AVE S	184.38
	BRICKLEY, MICHAEL	4127 4TH AVE N	184.38
	BULLOCK, ADRANA	727 19TH ST S	184.38
	BUYI, NEWTON	2500 3RD AVE S	184.38
	CAMPBELL, ANNIE L EST	2133 22ND AVE S	184.38
	CARCARY, SHAUN	2627 18TH AVE S	184.38
	CHAMBURS, ROBERT E	453 73RD AVE N	184.38
	CHILDS, MICHAEL	6456 2ND AVE S	224.47
	CITIGROUP MTG LOAN TRUST INC	201 38TH AVE SE	184.38
	CONNOLLY, MICHAEL M EST	751 40TH AVE N	184.38
	CONOLLY-IVERSON, LAVERNE	2311 GROVE ST S	184.38

9/20/13
15:11:12

CITY OF ST. PETERSBURG, FLORIDA
OWNERS NAME AND ADDRESS LISTING
LCA - LOT CLEARING

PAGE: 2
SASONA1P

PROJECT	RELATED PARTY NAME	PROPERTY ADDRESS	ASSESS AMOUNT
	COWART, TAWANNA R	2830 24TH AVE S	184.38
	CREATURO, ROBIN G	3926 PORPOISE DR SE	184.38
	CURRY, ABRAHAM SR	2426 MADRID WAY S	184.38
	C1 BANK	2260 5TH AVE S	184.38
	DALLAND PROPERTIES LP	226 18TH AVE S	184.38
	DALLAND PROPERTIES LP	325 27TH ST S	184.38
	DALLAND PROPERTIES LP	3230 4TH AVE S	184.38
	DALLAND PROPERTIES LP	4340 14TH AVE S	184.38
	DALLAND PROPERTIES LP	4684 16TH AVE S	224.47
	DEMPERIO, THOMAS W	5521 4TH AVE N	184.38
	DESMOND, ELLEN MARY	520 83RD AVE N	184.38
	DILLON, DARYL	4148 2ND AVE N	184.38
	DOOGIE TRUST	735 17TH AVE S	184.38
	DRAIN, EDDIE	2911 26TH AVE S	184.38
	EDWARDS, SHELLEY S	4236 38TH AVE N	184.38
	EL AMIR, AQUIL	2814 FAIRFIELD AVE S	184.38
	EL, AMIR AQUIL	2826 FAIRFIELD AVE S	184.38
	EQUALT FUND LLC	5930 FAIRFIELD AVE S	184.38
	FISERV ISS & CO	400 24TH ST S	224.47
	FLINTOM, DAVID S	2645 BAYSIDE DR S	184.38
	FLOWER, BENJAMIN P EST	105 20TH AVE SE	244.52
	FOX & MYSIN INVESTMENTS LLC	4621 12TH AVE S	184.38
	G M A C MTG LLC	2027 16TH ST N	225.00
	GARCIA, MANUAL	1231 15TH AVE S	224.47
	GILPIN, REBEKAH A	7252 ONYX DR N	184.38
	GILYARD, BEN EST	*NONE	184.38

9/20/13
15:11:12

CITY OF ST. PETERSBURG, FLORIDA
OWNERS NAME AND ADDRESS LISTING
LCA - LOT CLEARING

PAGE: 3
SASONA1P

PROJECT	RELATED PARTY NAME	PROPERTY ADDRESS	ASSESS AMOUNT
	GRAYSTON MTG FUND	1625 4TH ST S	224.47
	GRAYSTON MTG FUND	1634 5TH ST S	344.74
	GREEN, EDDIE	3519 3RD AVE S	184.38
	HAGAN, STEPHEN J	4722 18TH AVE N	225.00
	HANNING, RICK G	3961 BEACH DR SE	194.40
	HARRIS, KERRY E	2710 30TH AVE N	184.38
	HERON, CHRISTOPHER	627 14TH AVE S	264.56
	HIRCOCK, JAMES	329 25TH ST S	184.38
	HIROCK, SHARI	3835 10TH AVE S	184.38
	HOOSALNALI, SHERMEEN M	4509 10TH AVE S	184.38
	HOPKINS, GEORGE H III	6878 22ND CIR N	184.38
	HORNE, NANCY A	1843 38TH ST S	184.38
	HRISTOPOULOS, ANDREAS	3450 1ST AVE S	214.45
	HUFF, AUSTIN M JR EST	7200 MEADOWLAWN DR N	350.00
	HUFF, AUSTIN M JR EST	7200 MEADOWLAWN DR N	184.38
	IGBAL, SAJIDA	5649 13TH AVE N	184.38
	JAEGER, WILLIAM	2150 46TH AVE N	184.38
	JONES, KATHLEEN ANN	2129 15TH AVE S	184.38
	JONES, NICK	1766 30TH AVE N	184.38
	K & K ENTERPRISES OF ST PETERS	2828 FAIRFIELD AVE S	184.38
	KEARNS, ELIZABETH M	6800 5TH AVE N	184.38
	KESEAD, JOANNE G EST	7149 18TH ST N	184.38
	KING, STEPHEN L	1449 13TH ST S	224.47
	KNOWLES, HOWARD	4134 13TH AVE S	184.38
	KUUSELA, LYNN M EST	2700 17TH ST N	184.38
	LEGANT, ALEXANDER W	3271 6TH AVE S	184.38

9/20/13
15:11:12

CITY OF ST. PETERSBURG, FLORIDA
OWNERS NAME AND ADDRESS LISTING
LCA - LOT CLEARING

PAGE: 4
SASONA1P

PROJECT	RELATED PARTY NAME	PROPERTY ADDRESS	ASSESS AMOUNT
	LINDLEY, JON N	795 PARIS AVE S	184.38
	LONTOC, DOMINIC	4043 15TH AVE S	184.38
	LOPEZ, TIENE	2827 29TH AVE N	184.38
	LOREVIL LAND TRUST AGM NO 12	1142 MELROSE AVE S	254.54
	LOREVIL LAND TRUST AGM NO 15	1520 SCRANTON ST S	204.43
	LOVE, AMY	3475 14TH AVE S	204.43
	LOVE, KEVIN	2736 DARTMOUTH AVE N	224.47
	LOVETT, JOSEPH	1740 15TH AVE S	184.38
	LUCK, JAMES R TRUST	2700 18TH AVE S	284.61
	LUKE, JAMES M	1509 28TH AVE S	184.38
	M TAMPA CORP	1925 37TH ST S	184.38
	MADSEN, WILLIAM	5622 DR. ML KING JR ST N	184.38
	MAIN, DAVID G	2034 28TH AVE N	184.38
	MALLE, ARGELIA	5540 KELLY DR N	184.38
	MATTHEWS, TARA J	1501 5TH ST S	184.38
	MAXWELL, ROBERT	2721 4TH AVE S	184.38
	MAZZA, ANA MARGARITA	730 35TH ST N	184.38
	MC CLELLAN, JOHN A	2447 4TH AVE S	184.38
	MC KEON, SEAN	2440 MELROSE AVE S	184.38
	MERCURY 1 LLC	1460 13TH ST S	184.38
	MERRITT, TRACY T	2690 FAIRWAY AVE S	184.38
	MILEY, PRIME JR ESTATE	3642 EMERSON AVE S	184.38
	MITCHELL, ANDREW HOLDINGS LLC	959 NEWTON AVE S	224.47
	MODERN HOME BUILDERS INC	1811 16TH AVE S	184.38
	MONDELLO, DANIEL ANDREW	4734 15TH AVE S	184.38
	MOORE, MARY	919 17TH ST N	184.38

9/20/13
15:11:12

CITY OF ST. PETERSBURG, FLORIDA
OWNERS NAME AND ADDRESS LISTING
LCA - LOT CLEARING

PAGE: 5
SASONA1P

PROJECT	RELATED PARTY NAME	PROPERTY ADDRESS	ASSESS AMOUNT
	MORAY, ZACHARY TAYLOR	1211 8TH ST CT S	184.38
	MORRIS, JOAN	336 20TH AVE S	214.45
	MULLIGAN, BRUCE	244 36TH AVE NE	184.38
	MYERS, MALLON R	7128 ONYX DR N	350.00
	MYRICK, NATASHA	970 20TH AVE S	184.38
	NGUYEN, TUAN D	1847 19TH ST S	194.40
	NOBIS SUBSIDIO 12 LLC	2010 13TH AVE S	184.38
	NORTHERN, WILBURN	4675 19TH AVE S	184.38
	O'DONNELL, PATRICIA K	4710 21ST ST N	184.38
	OMNI NATL BANK	4811 13TH AVE S	184.38
	PARTNERS IN CHARITY INC	1755 16TH AVE S	184.38
	PEMBERTON, NELLIE M	3819 38TH AVE N	184.38
	PETERSON, ANICE EST	2710 22ND ST S	184.38
	PIERAERT, EMMA	4011 24TH AVE N	184.38
	R M T VENTURES INC	4651 12TH AVE S	204.43
	R R S A 2 LLC	2802 FAIRFIELD AVE S	184.38
	RANEY, MICHAEL J	642 14TH AVE S	214.45
	REICK, DEBORAH	6160 30TH AVE N	184.38
	REM PROPERTIES IV INC	1800 DR. ML KING JR ST S	184.38
	ROBINSON, MICHAEL H	739 53RD AVE N	184.38
	ROWLES, PAUL E SR EST	3235 24TH ST N	184.38
	SAFE ASSET MANAGEMENT LLC	4210 DES MOINES ST NE	184.38
	SKELTON, ELLA	2325 KINGSTON ST S	184.38
	SMITH-WILLIAMS, MARY J	4751 FAIRFIELD AVE S	184.38
	SMITH, J HERSCHEL	6195 2ND AVE S	204.43
	SMITH, JODIE B	3316 YALE ST N	184.38

9/20/13
15:11:12

CITY OF ST. PETERSBURG, FLORIDA
OWNERS NAME AND ADDRESS LISTING
LCA - LOT CLEARING

PAGE: 6
SASONA1P

PROJECT	RELATED PARTY NAME	PROPERTY ADDRESS	ASSESS AMOUNT
	SMITH, QUINCY	4550 19TH AVE S	184.38
	SMITTY'S INVESTMENTS INC TRE	2348 2ND AVE S	184.38
	SPENCER, H CLAY TRUST	451 36TH AVE N	184.38
	STERLING, JAY	3400 COQUINA KEY DR SE	224.47
	SUN PALM INVESTMENTS CORP	1729 RUSSELL ST S	184.38
	SUNCOAST PROPERTY PARTNERS LLC	1449 5TH ST S	214.45
	SWISSY INC	6445 6TH AVE N	184.38
	TARPON IV LLC	719 10TH ST S	184.38
	TARPON IV LLC	1413 7TH ST S	184.38
	TARPON IV LLC	2501 11TH ST S	184.38
	TAVARES, JILLIAN L	2141 22ND AVE S	184.38
	THOMAS, HERTA	5200 22ND AVE N	184.38
	THOMPSON, EDNA A	235 35TH ST S	184.38
	THORPE, PAUL MICHAEL	2517 11TH ST S	184.38
	TITAN DEVELOPMENT GROUP LLC	3443 14TH AVE S	184.38
	TITAN DEVELOPMENT GROUP LLC	4659 QUEENSBORO AVE S	184.38
	TRUST # 4310 HELENA ST NE	4310 HELENA ST NE	184.38
	ULRICH, DEBORAH L EST	4519 BURLINGTON AVE N	184.38
	USA FED NATL MTG ASSN	915 35TH ST N	184.38
	VALDES, ORLANDO	1520 PRESCOTT ST S	184.38
	VAZQUEZ, HEATHER GUILD	918 43RD ST S	184.38
	VENTAS REALTY LTD PTNRSHIP	400 30TH AVE S	585.28
	WATSON, GARY	527 26TH ST S	184.38
	WELLS FARGO BANK	4033 15TH AVE S	224.47
	WESNER, CINDY	116 21ST AVE SE	184.38
	WEST FL WHOLESALE PROPERTIES L	3024 21ST ST N	184.38

9/20/13
15:11:12

CITY OF ST. PETERSBURG, FLORIDA
OWNERS NAME AND ADDRESS LISTING
LCA - LOT CLEARING

PAGE: 7
SASONA1P

PROJECT	RELATED PARTY NAME	PROPERTY ADDRESS	ASSESS AMOUNT
	WESTON, ALBERT	1617 RUSSELL ST S	224.47
	WIEGNER, JAMES R	3835 30TH AVE S	204.43
	WIEGNER, JAMES R	3847 30TH AVE S	184.38
	WIEGNER, JAMES R	3901 30TH AVE S	184.38
	WILLIAMS ASSET CONVERSION INC	4670 20TH AVE S	184.38
	WILSON, ALGINON A	515 15TH AVE S	184.38
	2045 43RD ST TRUST	2045 43RD ST S	184.38
	2304 11TH ST S LAND TRUST	2304 11TH ST S	184.38
	4642 19TH AVE S LAND TRUST	4642 19TH AVE S	184.38
	710 16TH AVE SOUTH LAND TRUST	710 16TH AVE S	184.38

9/20/13
15:11:12

CITY OF ST. PETERSBURG, FLORIDA
OWNERS NAME AND ADDRESS LISTING
LCA - LOT CLEARING

PAGE: 8
SASONA1P

PROJECT	RELATED PARTY NAME	PROPERTY ADDRESS	ASSESS AMOUNT
---------	--------------------	------------------	---------------

*** END OF REPORT ***		PROJECT TOTAL	32,573.09
		GRAND TOTAL	32,573.09

LOT CLEARING NUMBER 1524
COST / FUNDING / ASSESSMENT INFORMATION

<u>CATEGORY ASSESSED</u>	<u>AMOUNT TO BE ASSESSED</u>
LOT CLEARING COST	\$ 22,043.09
ADMINISTRATIVE FEE	\$ <u>10,530.00</u>
TOTAL:	\$ 32,573.09

A RESOLUTION CONFIRMING AND APPROVING
PRELIMINARY ASSESSMENT ROLLS FOR LOT
CLEARING NOS. 1523 AND 1524; PROVIDING FOR
AN INTEREST RATE ON UNPAID ASSESSMENTS;
AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, preliminary assessment rolls for Lot Clearing Nos. 1523 and 1524 has been submitted by the Mayor to the City Council pursuant to St. Petersburg Code Section 16.40.060.4.4; and

WHEREAS, notice of the public hearing was duly published in accordance with St. Petersburg City Code Section 16.40.060.4.4; and

WHEREAS, City Council did meet at the time and place specified in the notice and heard any and all complaints that any person affected by said proposed assessments wished to offer; and

WHEREAS, City Council has corrected any and all mistakes or errors appearing on said preliminary assessment rolls.

NOW, THEREFORE, BE IT RESOLVED By the City Council of the City of St. Petersburg, Florida, that the preliminary assessment rolls for Lot Clearing No. 1523 and 1524 is approved; and

BE IT FURTHER RESOLVED that the principal amount of all assessment liens levied and assessed herein shall bear interest at the rate of 12% per annum from the date this resolution.

This resolution shall become effective immediately upon its adoption.

Approved as to Form and Substance:



City Attorney (Designee)

Attached documents for item Confirming the preliminary assessment for Building Securing Number 1181.

ST. PETERSBURG CITY COUNCIL

MEETING OF: October 17, 2013

TO: COUNCIL CHAIR AND MEMBERS OF CITY COUNCIL

SUBJECT: Confirming Preliminary Assessment for Building Securing Number **SEC 1181**

EXPLANATION: Codes Compliance Assistance has secured the attached structures which were found to be unfit or unsafe under Chapter 8, Article VII, of the St. Petersburg City Code. The interest rate is 12% per annum on the unpaid balance.

SEC:	<u>1181</u>
NUMBER OF STRUCTURES	<u>42</u>
ASSESSABLE AMOUNT:	<u>\$6,619.64</u>

According to the City Code, these assessments constitute a lien on each property. It is recommended that the assessments be confirmed.

COST/FUNDING/ASSESSMENT INFORMATION:

The total assessable amount of **\$6,619.64** will be fully assessable to the property owners.

ATTACHMENTS:

MAYOR: _____

COUNCIL ACTION: _____

FOLLOW-UP: _____

AGENDA NO. _____

9/20/13
15:13:35

CITY OF ST. PETERSBURG, FLORIDA
OWNERS NAME AND ADDRESS LISTING
SEC - SECURING/SANITATION

PAGE: 1
SASONA1P

PROJECT	RELATED PARTY NAME	PROPERTY ADDRESS	ASSESS AMOUNT
1181	ACKAWAY, ROBERTA A	4650 22ND ST N	94.53
	BARRETT, THOMAS	1111 HIGHLAND ST S	97.53
	BHOLA, MARIE	4546 10TH AVE S	268.09
	BLACK GOLDEN LLC	1500 11TH AVE S	88.28
	CLAUSEN, KATHERINE J EST	3465 15TH AVE S	145.03
	CORREA, OTILLIA NICOLE	3330 16TH ST N	138.03
	COWART, TAWANNA R	2830 24TH AVE S	337.53
	DALLAND PROPERTIES LP	936 JAMES AVE S	184.53
	DALLAND PROPERTIES LP	2482 15TH AVE S	274.49
	DANG, VIET	5693 11TH ST S	220.49
	DEAN, DAVID ALAN	860 14TH AVE S	133.03
	FASSNACHT, MICHAEL	773 4TH AVE N	255.03
	FINKEL, RONALD	1901 26TH AVE S	141.99
	FOX FUND	836 14TH AVE S	471.49
	GAINER, BLOND	4143 12TH AVE S	212.53
	GRAY, LASHANDRA NICOLE	2826 4TH AVE S	88.28
	GREEN, LOTTIE B EST	928 MELROSE AVE S	190.28
	GREENWADE, ROBERT F	4353 16TH AVE S	67.09
	GULKIS, DENNIS	618 30TH AVE S	136.49
	HARRIS, KERRY E	2710 30TH AVE N	82.53
	HICKMAN, HELEN	1921 20TH ST S	102.59
	JURGENS, SHARON	866 22ND AVE N	136.03
	LENDERS DIRECT CAPITAL CORP	4613 YARMOUTH AVE S	207.99
	LOVETT, JOSEPH	1740 15TH AVE S	107.03
	MASSIMINI, MICHAEL P	2855 37TH AVE N	130.03
	M2 INTERNATIONAL INC	4443 16TH AVE S	67.09

9/20/13
15:13:35

CITY OF ST. PETERSBURG, FLORIDA
OWNERS NAME AND ADDRESS LISTING
SEC - SECURING/SANITATION

PAGE: 2
SASONA1P

PROJECT	RELATED PARTY NAME	PROPERTY ADDRESS	ASSESS AMOUNT
	NELSON, DEAN F	1060 9TH AVE N	367.03
	PATEL, DINESH	427 12TH AVE N	153.59
	PEREZ, ANDREA	2716 22ND AVE S	97.09
	PERRY, EUGENIE R	4753 EMERSON AVE S	99.99
	PRESTON, ANTONETTE	2226 22ND AVE S	208.78
	RAMKHELAWAR, AMY	2022 68TH AVE S	196.03
	REPPY, ROBERT	4105 12TH AVE S	88.28
	REYNOLDS, NIKKI	1350 66TH AVE S	154.53
	ROY, DENZIL K	4330 17TH ST N	97.53
	RUSS, COREY L	1811 9TH AVE S	97.09
	SMITH, JOSEPH	1348 30TH ST S	137.03
	TARPON IV LLC	1911 31ST ST S	148.28
	THOMPSON ENTERPRISES INC	740 21ST ST S	102.59
	WAINWRIGHT, TIMOTHY SCOTT	1100 19TH ST S	102.59
	WALKER, DAVID B	1900 19TH ST S	67.09
	1801 13TH AVE LAND TRUST	1801 13TH AVE S	124.09

9/20/13
15:13:35

CITY OF ST. PETERSBURG, FLORIDA
OWNERS NAME AND ADDRESS LISTING
SEC - SECURING/SANITATION

PAGE: 3
SASONA1P

PROJECT	RELATED PARTY NAME	PROPERTY ADDRESS	ASSESS AMOUNT
---------	--------------------	------------------	---------------

*** END OF REPORT ***		PROJECT TOTAL	6,619.64
		GRAND TOTAL	6,619.64

BUILDING SECURING NUMBER SEC 1181

COST/FUNDING/ASSESSMENT INFORMATION

<u>CATEGORY</u>	<u>AMOUNT TO BE ASSESSED</u>
SECURING COST	\$ 2,695.00
MATERIAL COST	\$ 1,258.50
LEGAL AD	\$ 776.14
ADMIN. FEE	\$ <u>1,890.00</u>
TOTAL:	\$ 6,619.64

A RESOLUTION ASSESSING THE COSTS OF SECURING LISTED ON SECURING BUILDING NO. 1181 ("SEC 1181") AS LIENS AGAINST THE RESPECTIVE REAL PROPERTY ON WHICH THE COSTS WERE INCURRED; PROVIDING THAT SAID LIENS HAVE A PRIORITY AS ESTABLISHED BY CITY CODE SECTION 8-270; PROVIDING FOR AN INTEREST RATE ON UNPAID BALANCES; AUTHORIZING THE MAYOR OR HIS DESIGNEE TO EXECUTE AND RECORD NOTICE(S) OF LIEN(S) IN THE PUBLIC RECORDS OF THE COUNTY; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of St. Petersburg has proceeded under the provision of Chapter 8, of the St. Petersburg City Code to secure certain properties; and

WHEREAS, the structures so secured are listed on Securing Building No. 1181 ("SEC 1181"); and

WHEREAS, Section 8-270 of the St. Petersburg City Code provides that the City Council shall assess the entire cost of such securing against the property on which the costs were incurred and that assessments shall become a lien upon the property superior to all others, except taxes; and

WHEREAS, the City Council has held a public hearing on October 17, 2013, to hear all persons who wished to be heard concerning this matter.

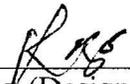
NOW THEREFORE, BE IT RESOLVED By the City Council of the City of St. Petersburg, Florida, that this Council assesses the costs of securing listed on Securing Building No. 1181 ("SEC 1181") as liens against the respective real property on which the costs were incurred and that pursuant to Section 8-270 of the St. Petersburg City Code said liens shall be superior in dignity to all other liens except taxes; and

BE IT FURTHER RESOLVED that the Mayor or his designee is authorized to execute and record notice(s) of the lien(s) provided for herein in the public records of the County.

BE IT FURTHER RESOLVED that the Special Assessment Certificates to be issued hereunder shall bear interest at the rate of 12% per annum on the unpaid balance from the date of the adoption of this resolution.

This resolution shall become effective immediately upon its adoption.

Approved as to Form and Substance:



City Attorney (Designee)

Attached documents for item Confirming the preliminary assessment for Building Demolition Number 408.

ST. PETERSBURG CITY COUNCIL

MEETING OF: October 17, 2013

TO: COUNCIL CHAIR AND MEMBERS OF CITY COUNCIL

SUBJECT: Confirming Preliminary Assessment for Building Demolition Number **DMO 408**

EXPLANATION: The privately owned structures on the attached list were condemned by the City in response to unfit or unsafe conditions as authorized under Chapter 8, Article VII of the St. Petersburg City Code. The City's Codes Compliance Assistance Department incurred costs of condemnation/securing/appeal/abatement/demolition and under the provisions of City Code Section 8-270, these costs are to be assessed to the property. The interest rate is 12% per annum on the unpaid balance.

DMO:	<u>408</u>
NUMBER OF STRUCTURES:	<u>2</u>
ASSESSABLE AMOUNT:	<u>\$43,597.93</u>

According to the City Code, these assessments constitute a lien on each property. It is recommended that the assessments be confirmed.

COST/FUNDING/ASSESSMENT INFORMATION:

The total assessable amount of **\$43,597.93** will be fully assessable to the property owners.

ATTACHMENTS:

MAYOR: _____

COUNCIL ACTION: _____

FOLLOW-UP: _____ **AGENDA NO.** _____

BUILDING DEMOLITION NUMBER DMO 408

OWNERS NAME AND ADDRESS LISTING

<u>RELATED PARTY NAME</u>	<u>PROPERTY ADDRESS</u>	<u>ASSESSMENT AMOUNT</u>
MURPHY, HELENA M.	7110 DARTMOUTH AVE. N.	\$ 36,110.75
VIVAS, ANA	1271 13 TH AVE. S.	\$ 7,487.18
TOTAL		\$ 43,597.93

BUILDING DEMOLITION NUMBER DMO 408
COST/FUNDING/ASSESSMENT INFORMATION

<u>CATEGORY</u>	<u>AMOUNT TO BE ASSESSED</u>
Demolition Cost	\$ 15,567.75
Asbestos Cost	\$ 26,610.00
Legal Ad	\$ 381.63
Engineer's Chg	\$ 350.00
Administrative Fee	\$ <u>688.55</u>
TOTAL:	\$ 43,597.93

A RESOLUTION ASSESSING THE COSTS OF DEMOLITION LISTED ON BUILDING DEMOLITION NO. 408 ("DMO 408") AS LIENS AGAINST THE RESPECTIVE REAL PROPERTY ON WHICH THE COSTS WERE INCURRED; PROVIDING THAT SAID LIENS HAVE A PRIORITY AS ESTABLISHED BY CITY CODE SECTION 8-270; PROVIDING FOR AN INTEREST RATE ON UNPAID BALANCES; AUTHORIZING THE MAYOR OR HIS DESIGNEE TO EXECUTE AND RECORD NOTICE(S) OF LIEN(S) IN THE PUBLIC RECORDS OF THE COUNTY; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of St. Petersburg has proceeded under the provision of Chapter 8, of the St. Petersburg City Code to demolish certain properties; and

WHEREAS, the structures so demolished are listed on Building Demolition No. 408 ("DMO 408"); and

WHEREAS, Section 8-270 of the St. Petersburg City Code provides that the City Council shall assess the entire cost of such demolition against the property on which the costs were incurred and that assessments shall become a lien upon the property superior to all others, except taxes; and

WHEREAS, the City Council has held a public hearing on October 17, 2013, to hear all persons who wished to be heard concerning this matter.

NOW THEREFORE, BE IT RESOLVED By the City Council of the City of St. Petersburg, Florida, that this Council assesses the costs of the demolition listed on Building Demolition No. 408 ("DMO 408") as liens against the respective real property on which the costs were incurred and that pursuant to Section 8-270 of the St. Petersburg City Code said liens shall be superior in dignity to all other liens except taxes; and

BE IT FURTHER RESOLVED that the Special Assessment Certificates to be issued hereunder shall bear interest at the rate of 12% per annum on the unpaid balance from the date of the adoption of this resolution.

BE IT FURTHER RESOLVED that the Mayor or his designee is authorized to execute and record notice(s) of the lien(s) provided for herein in the public records of the County.

This resolution shall become effective immediately upon its adoption.

Approved as to Form and Substance:



City Attorney (Designee)

Attached documents for item Ordinance 1050-V approving the vacations of: 1) Arlington Avenue North between 13th and 14th Streets North; 2) 14th Street North between Arlington Avenue North and 2nd Avenue North; and 3) the east-west alley south of 2nd Avenue North between 13th and 14t



SAINT PETERSBURG CITY COUNCIL

Meeting of October 17, 2013

TO: The Honorable Karl Nurse, Chair, and Members of City Council

SUBJECT: Ordinance approving the vacations of: 1) Arlington Avenue North between 13th and 14th Streets North; 2) 14th Street North between Arlington Avenue North and 2nd Avenue North; and 3) the east-west alley south of 2nd Avenue North, between 13th and 14th Streets North (Case No.: 13-33000006).

RECOMMENDATION: The Administration and the Development Review Commission recommend **APPROVAL**.

RECOMMENDED CITY COUNCIL ACTION:

- 1) Conduct the second reading and public hearing; and
- 2) Approve the proposed ordinance.

The Request: The applicant is the City of St. Petersburg. The areas proposed for vacation are depicted on the attached maps (Attachments "A" and "B"). The applicant's goal is to eliminate these rights-of-way and assemble them together with the adjacent lots for redevelopment as a new headquarters for the Police Department, which is currently located on the site to the south across 1st Avenue North.

Discussion: Staff finds that vacating the subject right-of-way would be consistent with the criteria in the City Code and the Intown West Redevelopment Plan (IWRP). Modification of the infrastructure and utilities will require appropriate easements, abandonment and/or relocation. These issues can be coordinated during the subsequent replatting process. The requested vacations are not anticipated to substantially impair access to any other lot of record, adversely impact the surrounding roadway network, substantially alter utilized public travel patterns or undermine the integrity of the surrounding street grid. The assembly of the abutting lots for a single redevelopment project eliminates the need for which the rights-of-way were originally dedicated. The Engineering and Transportation Planning Departments have reviewed

the proposed plan and agree that there is no present or future need for these areas to remain as public rights-of-way. The subject right-of-way and the abutting private properties are within the boundaries of the IWRP. Map 5 on page 15 of the IWRP specifically identifies these rights-of-way as appropriate for vacation to facilitate land assembly (Attachment "C").

Comments from Agencies and the Public: The application was routed to City departments and outside utility providers. The requested vacations can be supported, subject to compliance with the applicable requirements for protecting, rerouting and/or abandoning existing utilities within the areas proposed for vacation. The suggested special conditions of approval in this report have been designed to address the requirements. As of the date of this report, no questions or comments from the public have been received.

DRC Action/Public Comments: On July 17, 2013, the Development Review Commission (DRC) held a public hearing on the subject application. No person spoke in opposition to the request. After the public hearing, the DRC voted to recommend approval of the proposed vacation. In advance of this report, no additional comments or concerns were expressed to the author.

RECOMMENDATION:

The Administration recommends **APPROVAL** of the street and alley vacations, subject to the following conditions:

1. Prior to recording the vacation ordinance, the applicant shall:
 - a. Replat the vacated rights-of-way, together with the abutting private property.
 - b. Through the replatting process, any necessary modifications to existing public infrastructure or non-City utilities shall be coordinated, including, but not limited to, dedication of any necessary easements, abandonment or relocation.

AN ORDINANCE APPROVING THE VACATIONS OF ARLINGTON AVENUE NORTH BETWEEN 13TH AND 14TH STREETS NORTH, 14TH STREET NORTH BETWEEN ARLINGTON AVENUE NORTH AND 2ND AVENUE NORTH, AND THE EAST-WEST ALLEY SOUTH OF 2ND AVENUE NORTH, BETWEEN 13TH AND 14TH STREETS NORTH, SETTING FORTH CONDITIONS FOR THE VACATION TO BECOME EFFECTIVE; AND PROVIDING FOR AN EFFECTIVE DATE.

THE CITY OF ST. PETERSBURG DOES ORDAIN:

SECTION 1. The following right-of-way is hereby vacated as recommended by the Administration and the Development Review Commission:

See Exhibit "A"

SECTION 2. The above-mentioned right-of-way is not needed for public use or travel.

SECTION 3. The vacation is subject to and conditional upon the following:

1. Prior to recording the vacation ordinance, the applicant shall:
 - a. Replat the vacated rights-of-way, together with the abutting private property.
 - b. Through the replatting process, any necessary modifications to existing public infrastructure or non-City utilities shall be coordinated, including, but not limited to, dedication of any necessary easements, abandonment or relocation.

SECTION 4. In the event this ordinance is not vetoed by the Mayor in accordance with the City Charter, it shall become effective upon the expiration of the fifth business day after adoption unless the Mayor notifies the City Council through written notice filed with the City Clerk that the Mayor will not veto the ordinance, in which case the ordinance shall become effective immediately upon filing such written notice with the City Clerk. In the event this ordinance is vetoed by the Mayor in accordance with the City Charter, it shall not become effective unless and until the City Council overrides the veto in accordance with the City Charter, in which case it shall become effective immediately upon a successful vote to override the veto.

APPROVED AS TO FORM AND SUBSTANCE:

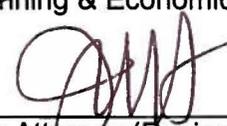
 _____ Planning & Economic Development Dept.	9-17-13 _____ Date
 _____ City Attorney (Designee)	9/17/13 _____ Date

Exhibit "A"

LEGAL DESCRIPTION

That portion of 14th Street North lying South of the South Right of Way of 2nd Avenue North and lying North of the South Right of Way of Arlington Avenue North (First Avenue North per REVISED PLAT OF JACKSON'S PARK, as recorded in Plat Book 3, Page 20, Public Records of Pinellas County, Florida)

Together with

That portion of Arlington Avenue North (First Avenue North per REVISED PLAT OF JACKSON'S PARK, as recorded in Plat Book 3, Page 20, Public Records of Pinellas County, Florida) lying East of the West Right of Way of 14th Street North and West of the West Right of Way of 13th Street North

Together with

The South seven and one-half (7-1/2) feet of Lot forty-seven (47) of Jackson Park Subdivision of the City of St. Petersburg, Florida, according to the map or plat thereof on file and of record in the office of the Clerk of the Circuit Court in the County of Pinellas, Florida, Plat Book 1, Page 25

Together with

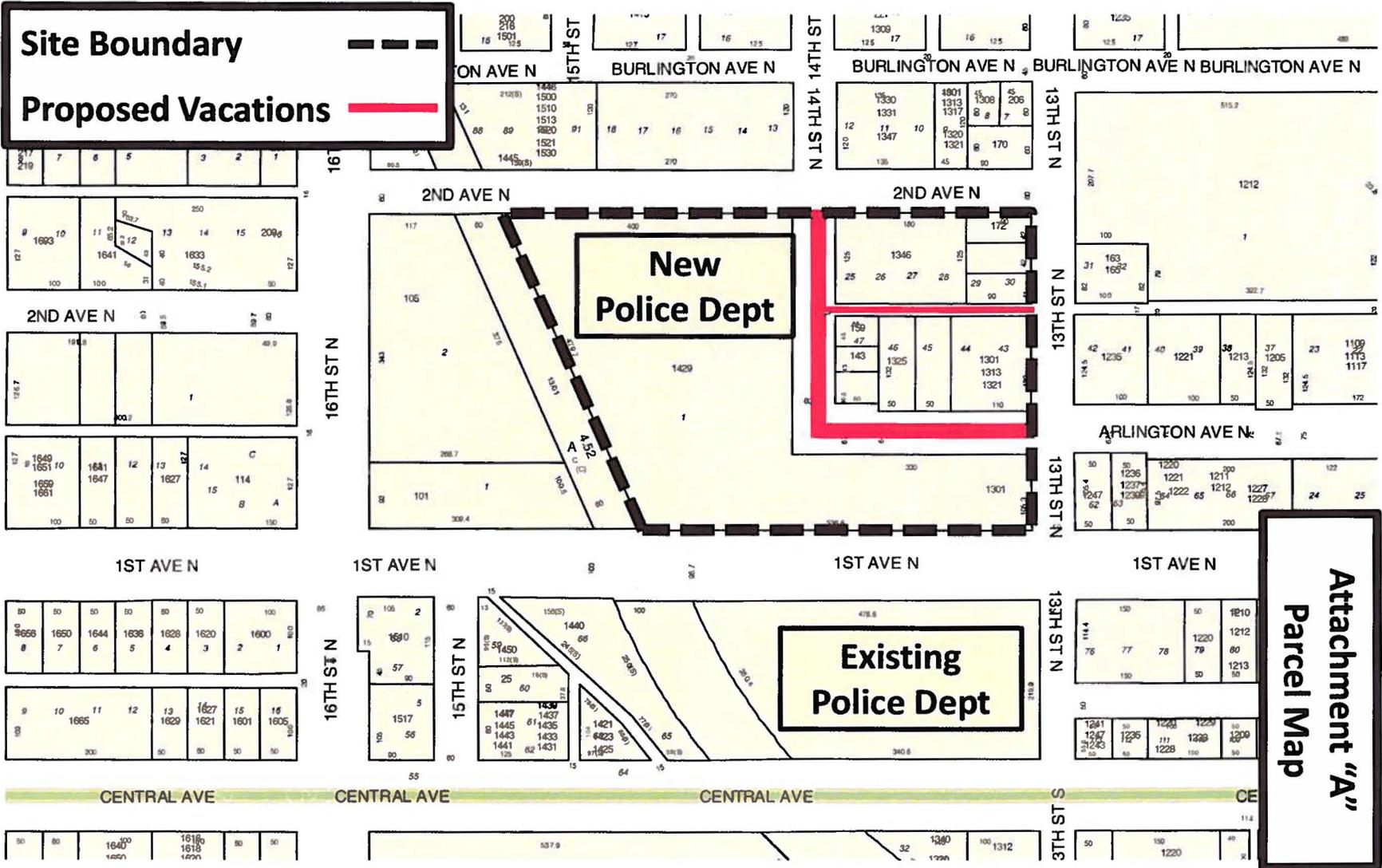
That 17.00 foot wide East/West alley lying between 13th Street North and 14th Street North as shown on REVISED PLAT OF JACKSON'S PARK, as recorded in Plat Book 3, Page 20, Public Records of Pinellas County, Florida.

St Petersburg, Florida

Site Boundary

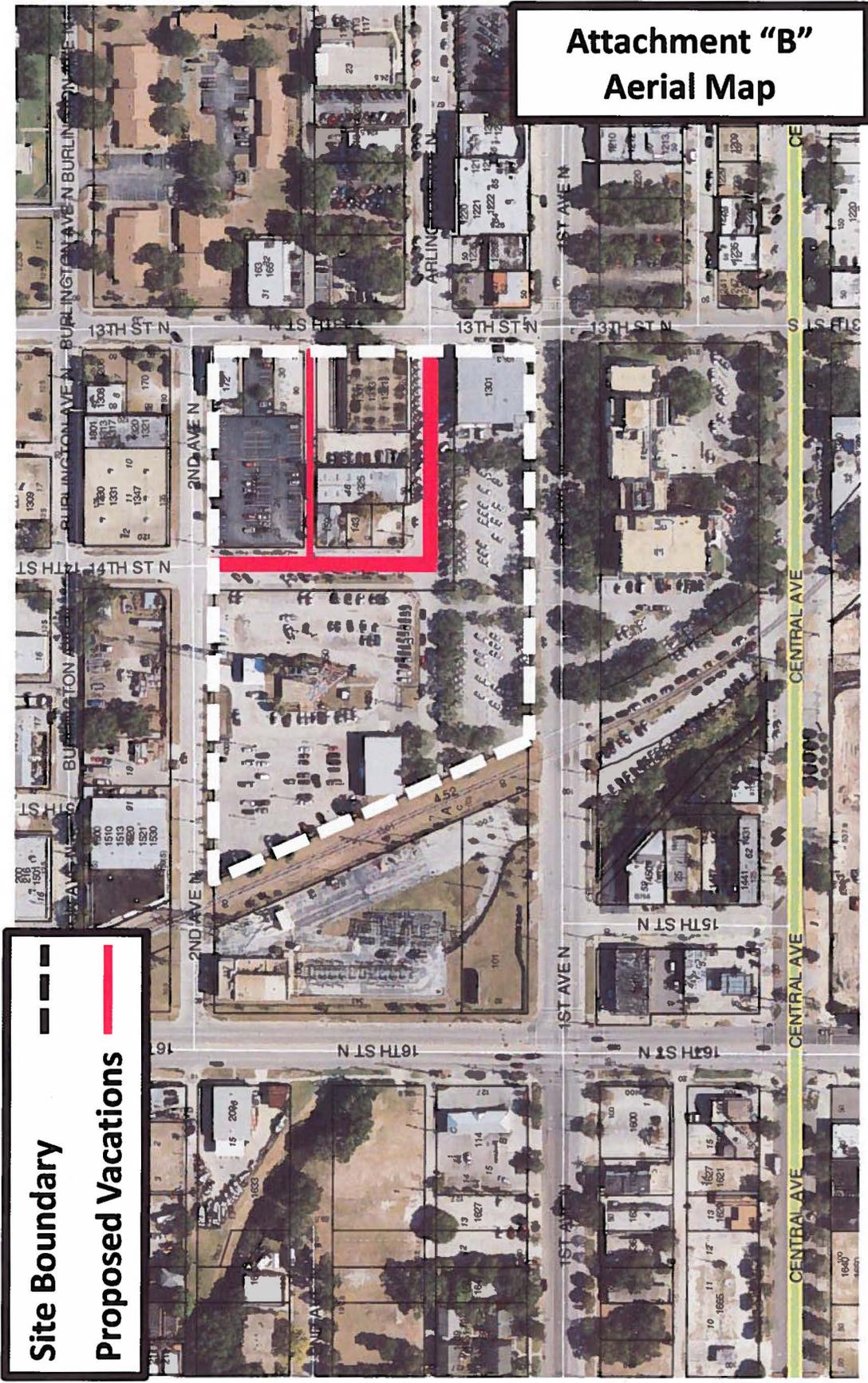


Proposed Vacations



Attachment "A"
Parcel Map

Attachment "B" Aerial Map

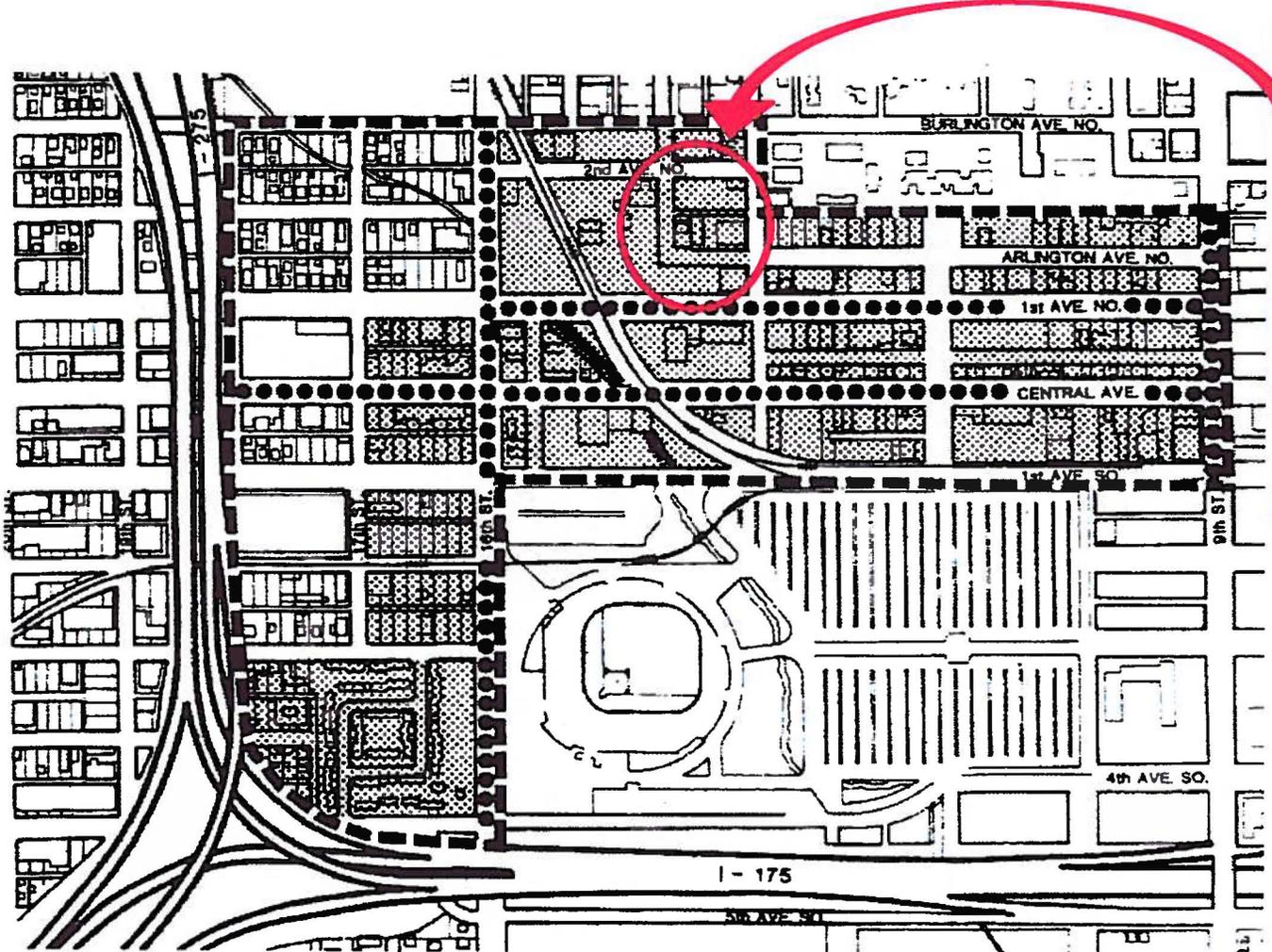


Site Boundary 

Proposed Vacations 

Intown West Redevelopment Plan (IWRP) - Map 5

POTENTIAL BLOCK CONSOLIDATION AREAS



Specifically ID'd
in the IWRP
Appropriate for
vacation
Facilitate land
assembly

Attachment "C"

Attached documents for item Ordinance 1051-V approving the vacation of the 20-foot wide east-west easement for utilities and passageway between 6010 and 6016 Dr. Martin Luther King Jr. Street North and between 5935 and 6001 - 10th Street North. (City File 13-33000008)



SAINT PETERSBURG CITY COUNCIL

Meeting of October 17, 2013

TO: The Honorable Karl Nurse, Chair, and Members of City Council

SUBJECT: Ordinance approving a vacation of the 20-foot wide east-west public walkway and utility easement between 6010 and 6016 Dr. Martin Luther King, Jr. Street North and between 5935 and 6001 10th Street North (Case No.: 13-33000008).

RECOMMENDATION: The Administration and the Development Review Commission recommend **APPROVAL**.

RECOMMENDED CITY COUNCIL ACTION:

- 1) Conduct the second reading and public hearing; and
- 2) Approve the proposed ordinance.

The Request: This application was initiated by the owners of three (3) of the four (4) lots abutting the subject easement.

Owner Name	Lot Number	Lot Address
Edward Dreyer	1	6016 – Dr. M.L. King, Jr. Street North
Ostoja Saric	11	5935 – 10 th Street North
Basdeo Singh	20	6001 – 10 th Street North

The request is to vacate the “utilities and passageway” easement that lies between Lots 1, 10, 11 and 20 in the 6000 block of Dr. ML King, Jr. Street North and 10th Street North. The area proposed for vacation is depicted on the attached maps (Attachments “A” and “B”) and plat (Attachments “C” and “D”). The subject easement was dedicated by the plat for the Salinas’ Euclid Park Subdivision in 1952. The applicants’ goal is to eliminate the easement, thereby adding 10 feet of width to all four of the abutting lots.

Discussion: The subject easement was labeled on the recorded plat for the purpose of “utilities and passageway”. Based upon the findings set forth below, Staff finds that vacating the subject easement can be supported, subject to specific conditions described at the end of this report.

Utilities

Several public utilities exist within the area proposed for vacation. If this request is approved, those utilities will require protection by a public utility easement. A related condition of approval has been added at the end of this report.

"Passageway"

The reference to "passageway" on the recorded plat is presumed to refer to non-motorized traffic, such as pedestrians and bicyclists. The vacation, if approved, would eliminate the right of access by the general public through the subject easement. However, while public's right to travel through this pathway has existed for more than 60 years, current conditions do not suggest that the area is regularly used for that purpose. All of the abutting properties, as well as all of the lots within the interior of the neighborhood, are served by paved public streets. Vacation of the subject easement, if approved, is not anticipated to substantially impair or deny access to any lot of record or to substantially impact existing travel patterns.

The subject easement could be developed in the future with pedestrian amenities, such as a sidewalk, landscaping or lighting which may encourage regular public use and provide a useful amenity for the neighborhood. There do not appear to be any specific plans by either the City or the neighborhood to construct such improvements. If the request to vacate the subject easement is denied, the Transportation Planning & Parking Management Department has indicated a willingness to assist the neighborhood (if they are interested) to discuss feasibility and funding of public walkway improvements.

The subject right-of-way is within the boundaries of the Euclid Heights Neighborhood Association, which is no longer active. The Association did not create a formally adopted plan. Staff contacted the past president of the inactive association to discuss the proposed vacation. The past president researched the association records to determine if improvements to the subject easement had been identified as a specific neighborhood goal and advised it was not. The subject easement is the only one of its kind in the neighborhood. In the past, the DRC and the City Council have supported requests to vacate these types of unimproved public-access easements in other areas of the City, such as Coquina Key.

DRC Action/Public Comments: On September 4, 2013, the Development Review Commission (DRC) held a public hearing on the subject application. No person spoke in opposition to the request. After the public hearing, the DRC voted to recommend approval of the proposed vacation. In advance of this report, no additional comments or concerns were expressed.

RECOMMENDATION: The Administration recommends **APPROVAL** of the easement vacation, subject to the following condition:

1. Prior to recording the vacation ordinance, the owner(s) of each of the four abutting lots shall execute public utility easements for the respective portions of the area to be vacated.
2. The fully executed public utility easement documents and the vacation ordinance shall be recorded by the City.
3. Approval of the vacation shall not become effective until the ordinance is recorded. The ordinance shall not be recorded until all associated conditions are completed. Failure to complete the required conditions within 24 months from the date of approval by the City Council shall invalidate the approval, unless a timely extension request is filed and approved. The owner(s) of the four abutting lots shall be responsible for coordinating and requesting any necessary extensions in the manner prescribed by the City Code.

ORDINANCE NO. _____

AN ORDINANCE APPROVING A VACATION OF THE 20-FOOT WIDE EAST-WEST EASEMENT FOR UTILITIES AND PASSAGEWAY BETWEEN 6010 AND 6016 DR. MARTIN LUTHER KING, JR. STREET NORTH AND BETWEEN 5935 AND 6001 10TH STREET NORTH; SETTING FORTH CONDITIONS FOR THE VACATION TO BECOME EFFECTIVE; AND PROVIDING FOR AN EFFECTIVE DATE.

THE CITY OF ST. PETERSBURG DOES ORDAIN:

SECTION 1. The following easement is hereby vacated, as recommended by the Administration and the Development Review Commission:

The Easement for Utilities and Passageway lying north of Lots 10 and 11, Block A and south of Lots 1 and 20, Block B, SALINAS' EUCLID PARK SUBDIVISION, as recorded in plat Book 31, Page 37, of the Public Records of Pinellas County, Florida.

SECTION 2. The above-mentioned easement is not needed for public use or travel.

SECTION 3. The vacation is subject to and conditional upon the following:

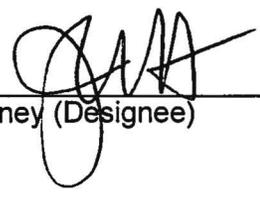
1. Prior to recording the vacation ordinance, the owner(s) of each of the four abutting lots shall execute public utility easements for the respective portions of the area to be vacated.
2. The fully executed public utility easement documents and the vacation ordinance shall be recorded by the City.
3. Approval of the vacation shall not become effective until the ordinance is recorded. The ordinance shall not be recorded until all associated conditions are completed. Failure to complete the required conditions within 24 months from the date of approval by the City Council shall invalidate the approval, unless a timely extension request is filed and approved. The owner(s) of the four abutting lots shall be responsible for coordinating and requesting any necessary extensions in the manner prescribed by the City Code.

SECTION 4. In the event this ordinance is not vetoed by the Mayor in accordance with the City Charter, it shall become effective upon the expiration of the fifth business day after adoption unless the Mayor notifies the City Council through written notice filed with the City Clerk that the Mayor will not veto the ordinance, in which case the ordinance shall become effective immediately upon filing such written notice with the City Clerk. In the event this ordinance is vetoed by the Mayor in accordance with the City Charter, it shall not become effective unless and until the City Council overrides the veto in accordance with the City Charter, in which case it shall become effective immediately upon a successful vote to override the veto.

APPROVED AS TO FORM AND SUBSTANCE:



Planning & Economic Development Dept. 9-18-13
Date



City Attorney (Designee) 9/18/13
Date

61	61	122.4	
1026 19	1018 18	1000 17	132.5 16
			61.4
4 1027	3 1019	2 1011	1 6000 132.5
61	61	61	61.5

H AVEN

61	61	61	61.5
1026 19	1018 18	1010 17	5930 16 132.5
4	3	2	1

10TH ST N

61	6034 16	5	122
61	6027 17	4	6100 61
61	6019 18	3	6034 6036 61
61	6011 19	2	6024 6026 61
61	6001 20 132.5	1	6014 6016 132.5 61

20

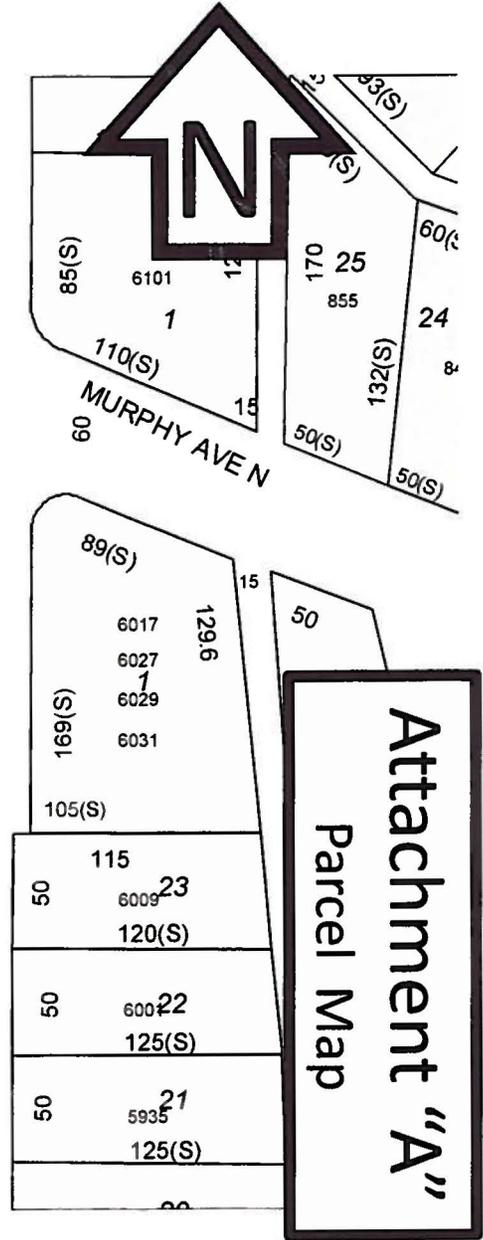
10TH ST N

61	132.5 5935 11	132.5 6010 10	61
61	5927 12	9	6000 61
61	5919 13	8	5926 61

20

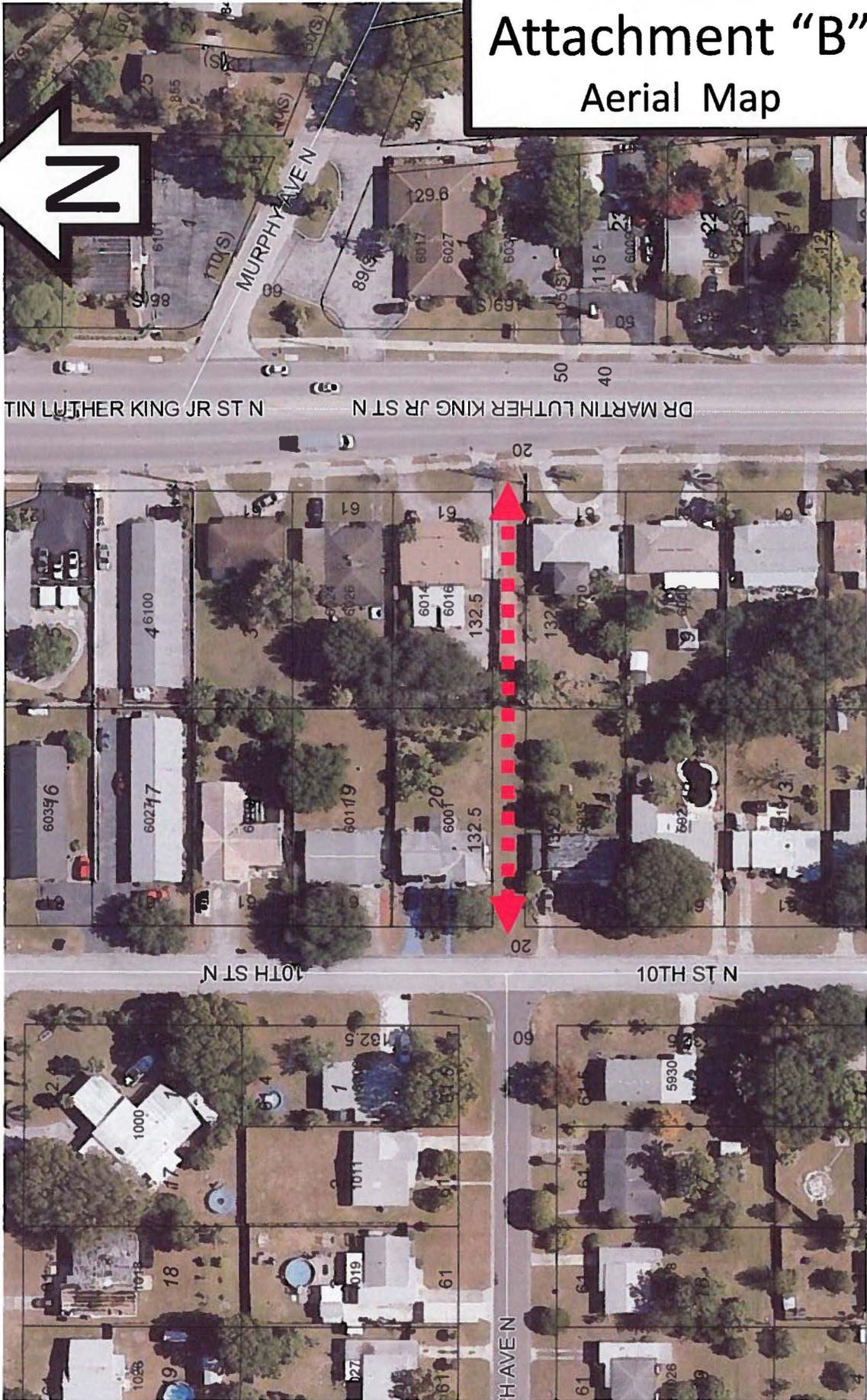
TIN LUTHER KING JR ST N

DR MARTIN LUTHER KING JR ST N



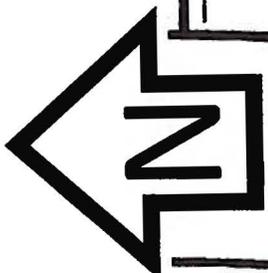
Attachment "B"

Aerial Map

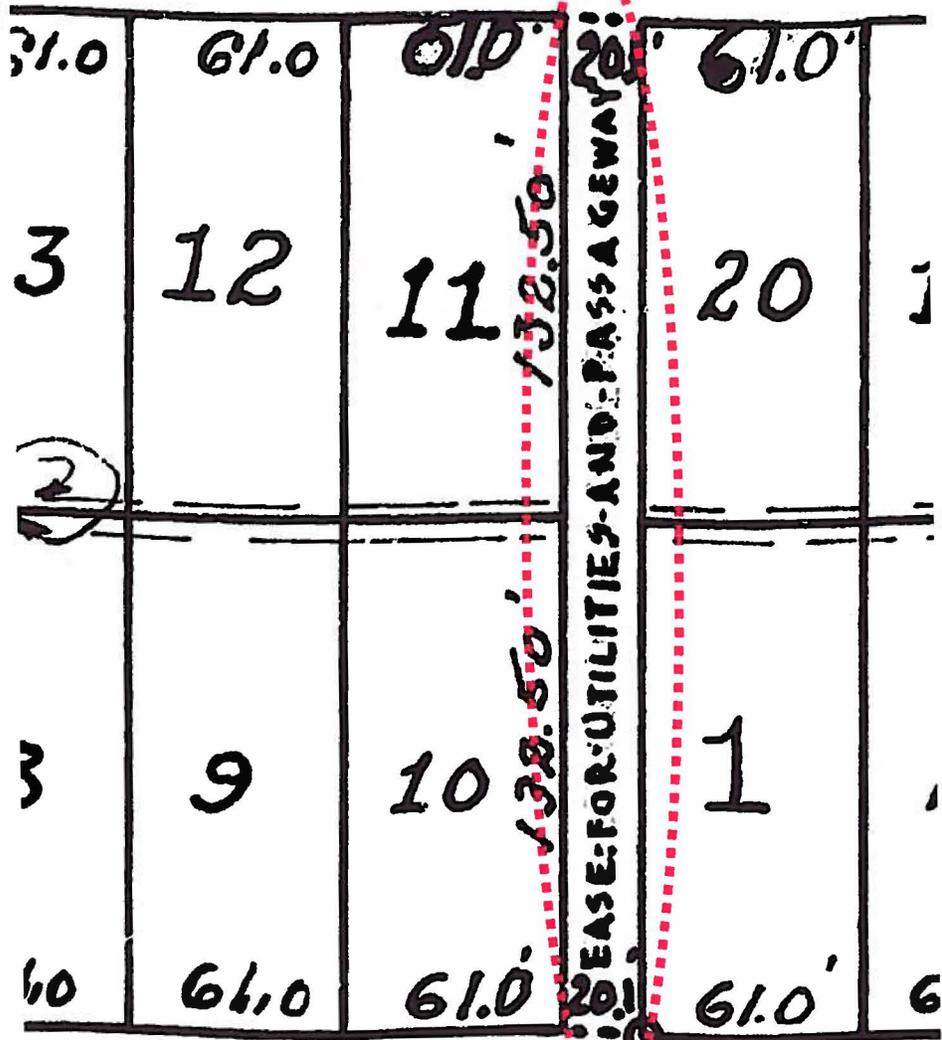


Attachment "D"
Recorded Plat - Enlarged View

16
132.50' 61.52'



10TH ST.



EASE FOR UTILITIES AND PASSAGEWAY

P.R.M.

9TH ST. N.

1320.10
← SOUTH →

Attached documents for item Ordinance 1052-V approving the vacation of the street radius easement at the northeast corner of 4th Avenue South and 10th Street South. (City File 13-33000009)



SAINT PETERSBURG CITY COUNCIL

Meeting of October 17, 2013

TO: The Honorable Karl Nurse, Chair, and Members of City Council

SUBJECT: Ordinance approving a vacation of the street radius easement at the northeast corner of 4th Avenue South and 10th Street South (Case No.: 13-33000009).

RECOMMENDATION: The Administration and the Development Review Commission recommend **APPROVAL**.

RECOMMENDED CITY COUNCIL ACTION:

- 1) Conduct the second reading and public hearing; and
- 2) Approve the proposed ordinance.

The Request: The applicant is Urban Style Flats, LLC. The request is to vacate the street corner radius easement at the northeast corner of 4th Avenue South and 10th Street South. The easement proposed for vacation is depicted on the attached maps and survey sketch (Attachments "A" – "C"). The applicant's goal is to eliminate the easement in order to develop a parking deck that will serve an existing multi-family residential building.

Discussion: Staff finds that vacating the subject easement would be consistent with the applicable criteria and will facilitate additional development in a manner that is consistent with the goals of the Comprehensive Plan and the Intown Redevelopment Plan. If approved, the vacation will not have a substantial detrimental impact upon access to another lot of record or to the existing network. The subject corner radius easement was presumably dedicated to accommodate the possibility of a future intersection widening project, which has been determined to be unnecessary. The subject easement is no longer necessary for the purpose that it was originally dedicated and there is no apparent need to retain it for present or future use. Allowing this unnecessary easement to be vacated will facilitate infill development that is consistent with the overall goals of the DC zoning district.

Comments from Agencies and the Public: The application was routed to all affected City departments and outside utilities for review and comment. No objections have been raised. The applicant provided the required mailed and posted public notices. No comments from the public have been received as of the date of this report.

DRC Action/Public Comments: On September 4, 2013, the Development Review Commission (DRC) held a public hearing on the subject application. No person spoke in opposition to the request. After the public hearing, the DRC voted to recommend approval of the proposed vacation. In advance of this report, no additional comments or concerns were expressed to the author.

RECOMMENDATION:

The Administration recommends **APPROVAL** of the proposed street easement vacation. No special conditions of approval are necessary in this case.

ORDINANCE NO. _____

AN ORDINANCE APPROVING A VACATION OF THE STREET RADIUS EASEMENT AT THE NORTHEAST CORNER OF 4TH AVENUE SOUTH AND 10TH STREET SOUTH; AND PROVIDING FOR AN EFFECTIVE DATE.

THE CITY OF ST. PETERSBURG DOES ORDAIN:

SECTION 1. The following is hereby vacated as recommended by the Administration and the Development Review Commission:

That certain easement for street located at the southwest corner of Lot A, Block 1, ST PETERSBURG HOUSING AUTHORITY SUBDIVISION as recorded in Plat Book 66, Page 40 of the Public Records of Pinellas County, Florida.

SECTION 2. The above-mentioned easement is not needed for public use or travel.

SECTION 3. In the event this ordinance is not vetoed by the Mayor in accordance with the City Charter, it shall become effective upon the expiration of the fifth business day after adoption unless the Mayor notifies the City Council through written notice filed with the City Clerk that the Mayor will not veto the ordinance, in which case the ordinance shall become effective immediately upon filing such written notice with the City Clerk. In the event this ordinance is vetoed by the Mayor in accordance with the City Charter, it shall not become effective unless and until the City Council overrides the veto in accordance with the City Charter, in which case it shall become effective immediately upon a successful vote to override the veto.

APPROVED AS TO FORM AND SUBSTANCE:



Planning & Economic Development Dept.

9-18-13

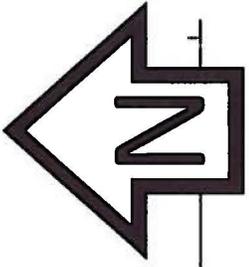
Date



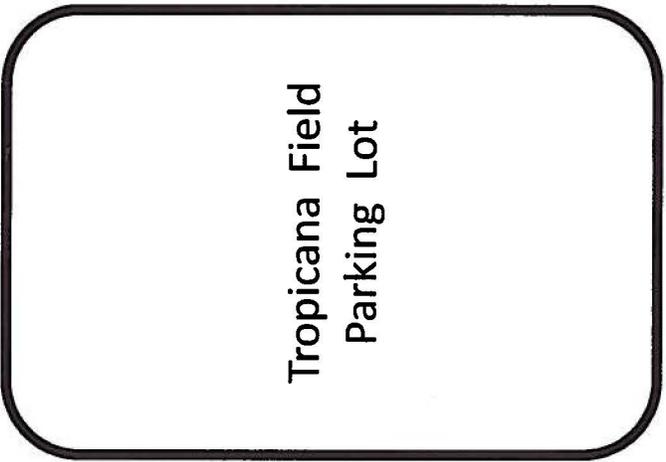
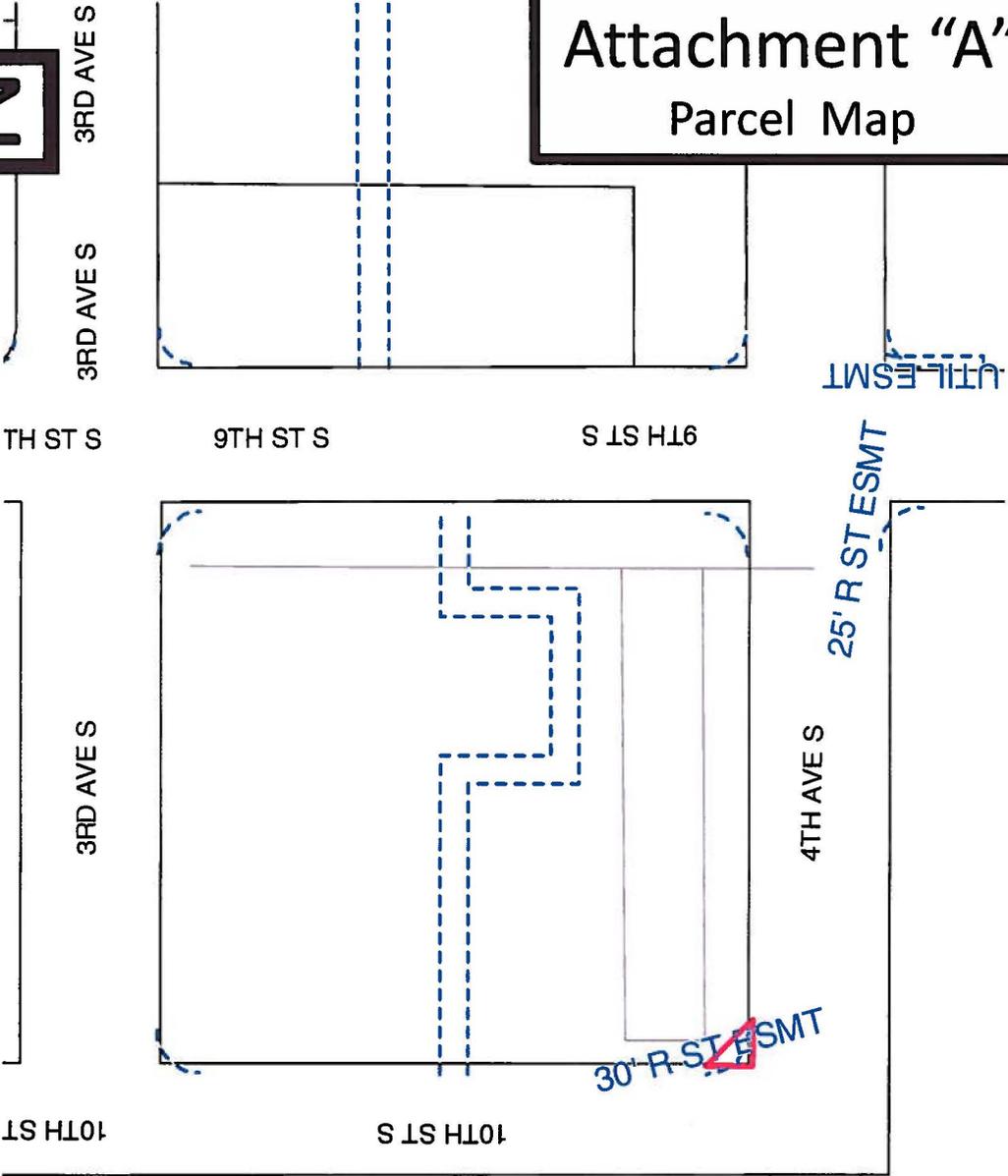
City Attorney (Designee)

9/18/13

Date

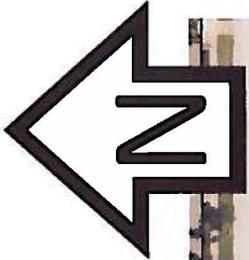


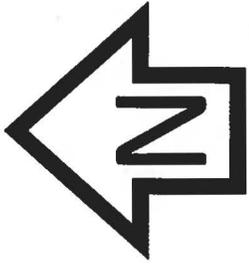
Attachment "A" Parcel Map



Attachment "B"

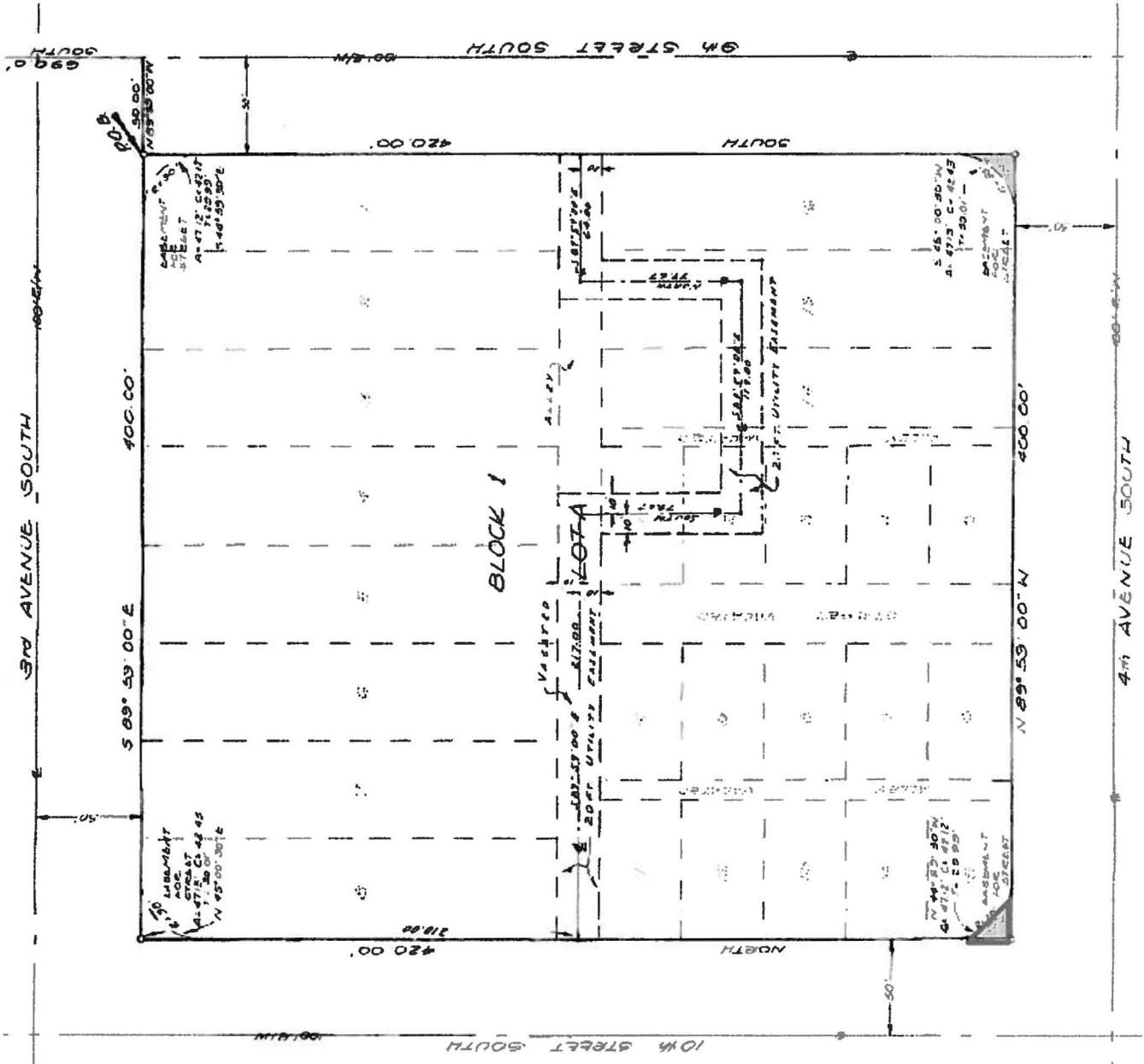
Aerial Map





Attachment "C"

Surveyor's Sketch



Attached documents for item Ordinance 93-H amending Section 27-607(a) of the St. Petersburg City Code to clarify the requirements for private collectors; and amending Sections 27-497(i) and 27-610 of the St. Petersburg City Code to clarify the insurance requirements for recovered ma

MEMORANDUM
CITY OF ST. PETERSBURG

TO: The Honorable Chair and Members of City Council

FROM: Lynn Gordon, Assistant City Attorney

DATE: September 16, 2013

RE: Revisions to Chapter 27 of the City Code

Attached, please find an ordinance amending Sections 27-497(i), 27-607(a), and 27-610 of the St. Petersburg City Code related to private collectors and recovered materials dealers.

The amendment to Section 27-607(a) is intended to clarify which persons or entities are required to obtain a private collector permit from the Sanitation Department to do business within the City of St. Petersburg.

Sections 27-497(i) and 27-610 related to liability insurance are being amended to now contain language which allows the Risk Management Department to adjust insurance requirements in future agreements for private collectors and recovered materials dealers without the need to further modify the City Code.

The City Attorney's office has conferred with the Risk Management Department and the Sanitation Department on these amendments and all departments are in full agreement with the changes.



Lynn Gordon, Assistant City Attorney

AN ORDINANCE AMENDING SECTION 27-607(A) OF THE ST. PETERSBURG CITY CODE TO CLARIFY THE REQUIREMENTS FOR PRIVATE COLLECTORS; AMENDING SECTIONS 27-497(I) AND 27-610 OF THE ST. PETERSBURG CITY CODE TO CLARIFY THE INSURANCE REQUIREMENTS FOR RECOVERED MATERIALS DEALERS AND PRIVATE COLLECTORS; AND PROVIDING FOR AN EFFECTIVE DATE.

THE CITY OF ST. PETERSBURG DOES ORDAIN:

SECTION 1. Section 27-607(a) of the St. Petersburg City Code is hereby amended to read as follows:

Private collectors who engage in the business of collecting, removing, or disposing of garbage, rubbish, garden trash, industrial waste, commercial rubbish, construction debris, demolition debris, or any other type of waste or trash (hereinafter collectively the waste materials), shall be required to submit a permit application for collection, disposal, or removal of the aforementioned material, submit a permit application fee, execute a permit agreement, and be issued a permit from the POD prior to conducting business in the City as a private collector. If a person or entity's primary business is not collecting, removing, or disposing of waste materials, as defined in this Article, and in its normal course of business the person or entity engages in providing services to a property which collecting, removing, and/or disposing waste materials are incidental to the primary business, that person or entity shall not be required to obtain a private collector permit for removal of waste materials resulting from the performance of the primary business by that person or entity on that property.

SECTION 2. Section 27-497(i) of the St. Petersburg City Code is hereby amended to read as follow:

Liability insurance. A recovered materials dealer who has been permitted under this subdivision shall ~~at all times maintain in effect at all times and shall furnish to the City a certificate evidencing comprehensive general and automotive liability insurance coverage~~ General Liability Insurance, Commercial Automobile Liability Insurance, Worker's Compensation Insurance, Environmental Liability Insurance, and any other insurance which the POD determines to be necessary, issued by an insurance company licensed to do business in the sState of Florida, in the amounts established by the POD (currently the Risk Management Department) which shall be reasonably based on industry standards and the risk determined to exist. The insurance policy shall be in occurrence form and the City of St. Petersburg shall be named as an additional insured on the certificate of insurance.

~~providing a combined single limit of not less than \$500,000.00 including premises and operations, bodily injury and property damage. The recovered materials dealer shall furnish the City a certificate evidencing this insurance coverage and naming the City as an additional insured.~~

The recovered materials dealer shall furnish the City with a certificate of insurance which shall be accepted by the City only after approval by the POD. The recovered materials dealer shall notify the City within three (3) business days of any changes in the insurance coverage. Upon

the cancellation or lapse of any policy of insurance as required by this ~~section~~ subdivision ~~and~~ the recovered materials dealer permit agreement, the recovered materials dealer's permit shall be immediately revoked unless, before ~~prior to~~ the expiration or ~~or~~ cancellation date of the insurance policy of insurance, another insurance policy of insurance ~~emctinge~~ containing all the requirements of the original insurance policy of insurance is obtained and a new certificate of insurance is provided to the POD. ~~The recovered materials dealer shall provide worker's compensation coverage as required by law.~~

SECTION 3. Section 27-610 of the St. Petersburg City Code is hereby amended to read as follows:

A private collector who has been permitted under this subdivision shall at all times maintain General Liability Insurance, Commercial Automobile Liability Insurance, Worker's Compensation Insurance, Environmental Liability Insurance, and any other insurance which the POD determines to be necessary in effect at all times and shall furnish to the City a certificate evidencing comprehensive general and automotive liability insurance coverage, issued by an insurance company licensed to do business in the State of Florida, in the amounts established by the POD (currently the Risk Management Department) which shall be reasonably based on industry standards and the risk determined to exist. The insurance policy shall be in occurrence form and the City of St. Petersburg shall be named as an additional insured on the certificate of insurance. ~~providing a combined single limit of not less than \$500,000.00 including premises and operations, bodily injury and property damage. The private collector shall furnish the City a certificate evidencing this insurance coverage and naming the City as an additional insured.~~

The private collector shall furnish the City with a certificate of insurance which shall be accepted by the City only after approval by the POD. The private collector shall notify the City within three (3) business days of any changes in the insurance coverage. Upon the cancellation or lapse of any policy of insurance as required by this ~~subdivision~~ section ~~and the private collector permit agreement~~, the private collector's permit shall be immediately revoked unless, prior to ~~before~~ the expiration or ~~or~~ cancellation date of the insurance policy of insurance, another insurance policy of insurance ~~containing~~ all the requirements of the original insurance policy of insurance is obtained and a new certificate of insurance ~~is~~ is provided to the POD. ~~The private collector shall provide worker's compensation coverage as required by law.~~

SECTION 4. Words in struck-through type shall be deleted. Underlined words constitute new language that shall be added. Provision not specifically amended shall continue in full force and effect.

SECTION 5. The provisions of this Ordinance shall be deemed severable. The unconstitutionality or invalidity of any word, sentence or portion of this ordinance shall not affect the validity of the remaining portions.

SECTION 6. In the event that this ordinance is not vetoed by the Mayor in accordance with the City Charter, it shall become effective after the fifth business day after adoption unless the Mayor notifies the City Council through written notice filed with the City Clerk that the Mayor will not veto the ordinance, in which case the ordinance shall take effect immediately upon filing such written notice with the City Clerk. In the event this ordinance is vetoed by the Mayor in accordance with the City Charter, it shall not become effective unless and until the

City Council overrides the veto in accordance with the City Charter, in which case it shall become effective immediately upon a successful vote to override the veto.

Approved as to form and content:

City Attorney (designee)

Attached documents for item On Thursday, October 17, 2013 at 2:00 p.m. or as soon thereafter as the same may be heard, an attorney-client session, pursuant to Florida Statute 286.011(8), will be held in conjunction with the lawsuit styled Bradley Westphal v. City of St. Petersburg/C

Attached documents for item City Council convenes as Community Redevelopment Agency.

Attached documents for item Resolution of the St. Petersburg Community Redevelopment Agency (CRA) finding the proposed 485-space parking garage addition to the southern side of the Urban Style Flats apartment building, located at 305 Dr. Martin Luther King, Jr. Street South, consist



Community Redevelopment Agency
Meeting of October 17, 2013

CRA Case File: IRP 13-10a

REQUEST

Review of the proposed plan to construct a 485-space parking garage addition to the southern side of the Urban Style Flats apartment building, located at 305 Dr. Martin Luther King, Jr. Street South, for consistency with the Intown Redevelopment Plan.

APPLICANT INFORMATION

Applicant

Weller Residential
c/o George Quay
147 2nd Avenue South, Suite 408
St. Petersburg, FL 33701

Property Owner

Urban Style Flats
540 W. Madison Street, Suite 2500
Chicago, IL 60661

Architect/Engineer

FSA
6912 W. Linebaugh Avenue, Suite 102
Tampa, FL 33625

OVERVIEW OF PROJECT (see Attachments)

The project consists of constructing a four-story, 485-space parking deck on the south side of the existing Urban Style Flats apartment building. The subject lot is located in the block bound by Dr. Martin Luther King, Jr. Street South, 3rd Avenue South, 10th Street South and 4th Avenue South. The project is valued at \$4.8-million.

The 3.86-acre site contains a 15-story, "U" shaped apartment building originally built in 1971. The apartment building is located along the northern two-thirds of the subject property. A surface parking lot is located along the southern one-third of the subject property. The applicant has made significant improvements to the property after purchasing it from the St. Petersburg Housing Authority. Improvements include:

extensive interior work to common areas and rental units, and exterior work includes: painting the building and constructing an in-ground pool.

There are currently 481 residential units and only 100 surface parking spaces. To be able to compete with other residential developments in downtown, the applicant is seeking to construct the parking deck. As depicted on the attached site plan, the proposed parking deck is placed over the existing surface parking lot that is on the south side of the existing apartment building. Access to the parking deck will be from the access road that is along the eastern side of the subject property.

The attached elevation plans show that the proposed parking deck is designed to resemble the architectural style of the existing apartment building. The apartment building is of a modern style of architecture. The building is finished with precast textured concrete panels and stucco. The design of the building places emphasis on the horizontal with bands of windows that are wide but squat. The parking garage is also constructed using textured concrete panels and stucco. The garage also places emphasis on the horizontal by designing the openings in the façade to resemble the window openings in the apartment building. The openings in the garage also incorporate an aluminum frame to mimic the design of the window openings in the apartment building. The applicant will also be incorporating the same color treatment that is on the apartment building onto the garage.

CONSISTENCY WITH INTOWN REDEVELOPMENT PLAN

The Intown Redevelopment Plan (IRP) requires the Community Redevelopment Agency to evaluate a development proposal to ensure its proposed use and design are consistent with the Plan.

Plan Emphasis

The Project is located within the "Stadium Complex" area of Intown, which is one of the four focus areas of the IRP, the others being the Core, Webb's City, and Residential. The Project is located east of Tropicana Field.

The zoning for the site is DC-1, which does allow multifamily dwellings with a floor area ratio of up to 7.0. The Project has an existing floor area ratio of 1.37 and is therefore consistent with the Intown Redevelopment Plan.

Design Criteria

Design criteria in the IRP that pertain to this project include:

- *architectural, aesthetic and functional integration of buildings within a project;*
- *sensitivity of building mass and scale to adjacent existing development and residential areas.*

The proposed project is an additional investment by the applicant to rehabilitate an existing property. The existing development was built in 1971, with minimal parking and age restricted for elderly residents with limited income. The renovated building has no age restrictions and been extensively updated and is being rented at market rate. To be competitive with other downtown apartment complexes, the applicant is seeking to construct a new parking structure to provide adequate parking.

SUMMARY AND RECOMMENDATION

Administration recommends approval of the attached resolution finding the proposed parking garage addition consistent with the Intown Redevelopment Plan, as reflected in report IRP 13-10a and based on the preliminary plans submitted for review. This recommendation is subject to the following conditions:

1. Final building plans must be reviewed and approved by CRA staff;
2. Applicant complies with any conditions of approval required by Development Review Services staff.

CRA RESOLUTION NO.

A RESOLUTION OF THE ST. PETERSBURG COMMUNITY REDEVELOPMENT AGENCY FINDING THE PROPOSED PLAN TO CONSTRUCT A 485-SPACE PARKING GARAGE ADDITION TO THE SOUTHERN SIDE OF THE URBAN STYLE FLATS APARTMENT BUILDING AT 305 DR. MARTIN LUTHER KING, JR. STREET SOUTH CONSISTENT WITH THE INTOWN REDEVELOPMENT PLAN; AND PROVIDING AN EFFECTIVE DATE (CITY FILE IRP 13-10A).

WHEREAS, the Community Redevelopment Agency (CRA) of the City Council of the City of St. Petersburg has adopted the Intown Redevelopment Plan and established development review procedures for projects constructed within designated redevelopment areas; and

WHEREAS, the CRA has reviewed the plans to construct a 485-space parking garage as described and reviewed in CRA Review Report No. IRP 13-10a;

BE IT RESOLVED that the CRA of the City of St. Petersburg, Florida, finds the plans to construct a 485-space parking garage consistent with the Intown Redevelopment Plan, subject to the following conditions:

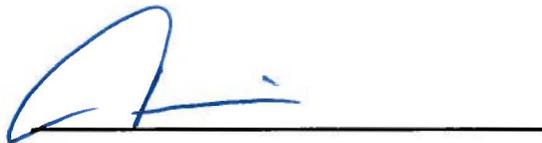
1. Final building plans shall be subject to review and approval by CRA staff;
2. The final plans submitted for permitting shall comply with any necessary changes required by Development Review Services staff for compliance with the Land Development Regulations.

This resolution shall become effective immediately upon its adoption.

APPROVED AS TO FORM AND CONTENT



City Attorney (designee)



Dave Goodwin, Director Date
Planning & Economic Development Department

EXHIBIT A

Site Data

Location	305 Dr. Martin Luther King Jr. Street South 24/31/16/78383/001/0010
Redevelopment Area	Intown Redevelopment Area
Zoning District	DC-1
Existing Land Use	231,590 sq. ft. apartment building
Proposed Uses	Apartment building and parking garage
Site Area	168,000 sq. ft., or 3.86 acres
Proposed FAR	1.37 FAR
Existing FAR	1.37 FAR
Permitted FAR	3.0 FAR base/up to 7.0 with bonuses.
Number of Residential Units	481
Existing Parking	100 spaces
Proposed Parking	485 spaces



Planning & Economic Development Department
 Case No.: IRP 13-10a
 Address: 305 Dr. Martin Luther King Jr. Street
 South



URBAN STYLE FLATS PARKING GARAGE

ST. PETERSBURG, FLORIDA



PERMIT SET - AUGUST 23, 2013



St. Petersburg, Florida

Manufacturing
Paving & Bituminous Center
1000 1st St. N.
St. Petersburg, FL 33713
Tel: 727-321-1111
Fax: 727-321-1112

JRC
Paving & Bituminous Center
1000 1st St. N.
St. Petersburg, FL 33713
Tel: 727-321-1111
Fax: 727-321-1112

ESA
Engineering & Surveying
1000 1st St. N.
St. Petersburg, FL 33713
Tel: 727-321-1111
Fax: 727-321-1112

PROJECT: URBAN STYLE FLATS
PARKING GARAGE
ST. PETERSBURG, FLORIDA

JOB NUMBER: 13017/230101
DATE: 08.23.13
DRAWN BY: [blank]
DESIGNED BY: [blank]
SCALE: [blank]

REVISIONS

PROPOSED WORK
PLAN, 10/10/13

COVER
PERMIT SET

Manufacturers
 Approved Products
 This drawing was prepared in accordance with the Florida Building Code, Chapter 6, Part 9, Section 905.2.1, which requires the use of approved products.

FSIA
 Florida State Institute of Architecture
 1111 NE 1st Street, Suite 100
 Ft. Lauderdale, FL 33304
 Phone: (954) 561-1111
 Fax: (954) 561-1112
 www.fsia.com

URBAN STYLE FLATS
PARKING GARAGE
 ST. PETERSBURG, FLORIDA

JOB NUMBER	17/230901
ISSUE DATE	08.23.13
DRAWN BY	EL
CHECKED BY	EL
DATE	12/1/13

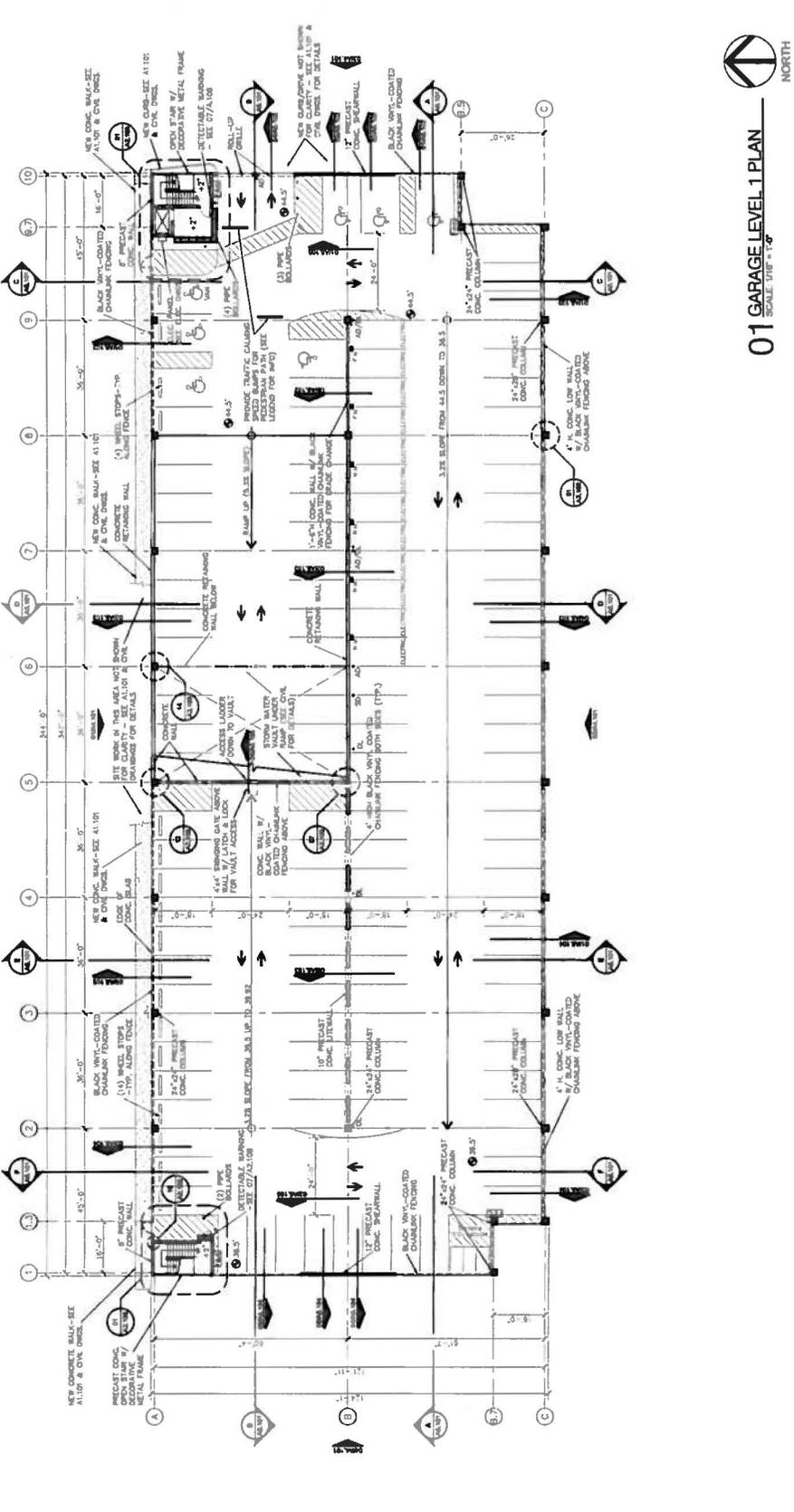
PERMIT SET

GARAGE FLANS LEVEL

A2.101

- GENERAL NOTES:**
- FOR ALL ELEMENTS OUTSIDE LINE OF PARKING GARAGE, REFER TO ARCHITECTURAL DRAWINGS.
 - ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE TO FACE OF CONCRETE, FACE OF STEEL, OR TO FACE OF INSULATION UNLESS NOTED OTHERWISE.
 - ALL DIMENSIONS IN FLOOR AND IN THE FRONT OF THE GARAGE SHALL BE TO THE FACE OF THE CONCRETE UNLESS NOTED OTHERWISE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS IN FIELD AND IN THE FRONT OF THE GARAGE. THE ARCHITECT IS NOT RESPONSIBLE FOR VERIFYING DIMENSIONS. VERIFY DIMENSIONS BEFORE COMMENCING WORK. DO NOT SCALE DRAWINGS.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND MAKE THE TYPICAL.
 - THE MINIMUM VERTICAL CLEARANCE FROM THE FINISH FLOOR TO THE UNDERSIDE OF ANY ELEMENT SHALL BE 7'-0" UNLESS OTHERWISE NOTED. THE MINIMUM VERTICAL CLEARANCE FROM THE FINISH FLOOR TO THE UNDERSIDE OF ANY ELEMENT SHALL BE 7'-0" UNLESS OTHERWISE NOTED. THE MINIMUM VERTICAL CLEARANCE FROM THE FINISH FLOOR TO THE UNDERSIDE OF ANY ELEMENT SHALL BE 7'-0" UNLESS OTHERWISE NOTED.
 - ALL STEPS SHALL BE LOCATED AND COORDINATED BY THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL STEPS AND MAKE THE TYPICAL.
 - ALL ELECTRICAL SYMBOLS SHALL BE AS INDICATED ON ELECTRICAL PLANS.
 - PIPE LOCATIONS, SIZES, AND PLUMBING PLANS SHALL BE AS INDICATED ON MECHANICAL PLANS.
 - SEE PLAN FOR LOCATIONS.

- LEGEND:**
- FLOOR-FINISH, DUAL PORT ELECTRIC VEHICLE CHARGING STATION (REFER TO ARCHITECTURAL DRAWINGS)
 - WALL-FINISH, DUAL PORT ELECTRIC VEHICLE CHARGING STATION (REFER TO ARCHITECTURAL DRAWINGS)
 - PLASTIC SAFETY YELLOW SPEED BUMP (REFER TO ARCHITECTURAL DRAWINGS)
 - ADHESIVE TAP MANUFACTURER'S INSTRUCTIONS



01 GARAGE LEVEL 1 PLAN
 SCALE: 1/8" = 1'-0"

NORTH

LEGEND:

- 1.00 CONCRETE
- 1.01 REINFORCED CONCRETE
- 1.02 PRECAST CONCRETE
- 1.03 CAST-IN-PLACE CONCRETE
- 1.04 CAST-IN-PLACE CONCRETE WITH REINFORCING BARS
- 1.05 CAST-IN-PLACE CONCRETE WITH REINFORCING BARS AND FORMWORK
- 1.06 CAST-IN-PLACE CONCRETE WITH REINFORCING BARS AND FORMWORK AND CURING CURTAIN
- 1.07 CAST-IN-PLACE CONCRETE WITH REINFORCING BARS AND FORMWORK AND CURING CURTAIN AND INSULATION
- 1.08 CAST-IN-PLACE CONCRETE WITH REINFORCING BARS AND FORMWORK AND CURING CURTAIN AND INSULATION AND PROTECTIVE COATING
- 1.09 CAST-IN-PLACE CONCRETE WITH REINFORCING BARS AND FORMWORK AND CURING CURTAIN AND INSULATION AND PROTECTIVE COATING AND FINISH
- 1.10 CAST-IN-PLACE CONCRETE WITH REINFORCING BARS AND FORMWORK AND CURING CURTAIN AND INSULATION AND PROTECTIVE COATING AND FINISH AND PAINT

GENERAL NOTES:

- A. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE TO FACE OF CONCRETE UNLESS INDICATED OTHERWISE.
- B. ALL DIMENSIONS INDICATED ARE TO FACE OF CONCRETE UNLESS OTHERWISE NOTED.
- C. ALL DIMENSIONS INDICATED ARE TO FACE OF CONCRETE UNLESS OTHERWISE NOTED.
- D. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND FIELD AND IN THE CONCRETE WORK. VERIFY DIMENSIONS AND FIELD AND IN THE CONCRETE WORK. VERIFY DIMENSIONS AND FIELD AND IN THE CONCRETE WORK. VERIFY DIMENSIONS AND FIELD AND IN THE CONCRETE WORK.
- E. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND FIELD AND IN THE CONCRETE WORK. VERIFY DIMENSIONS AND FIELD AND IN THE CONCRETE WORK. VERIFY DIMENSIONS AND FIELD AND IN THE CONCRETE WORK.
- F. THE ANCHOR VERTICAL DIMENSION FROM THE FINISH FLOOR SHALL BE AS SHOWN. VERIFY DIMENSIONS AND FIELD AND IN THE CONCRETE WORK.
- G. ALL BOOMS SHALL BE LOCATED AND CONNECTED BY CONTRACTOR WITH LIGHT PORTABLE AS NOTED TO BLACK MARK THE TOP ELEMENT.
- H. ALL ELECTRICAL CONDUIT SHALL BE AS INDICATED ON ELECTRICAL PLAN.
- I. PRECAST CONCRETE SHALL BE AS NOTED ON ELECTRICAL PLAN.
- J. PRECAST CONCRETE SHALL BE AS NOTED ON ELECTRICAL PLAN.

Metropolitan
TRC
ES&S

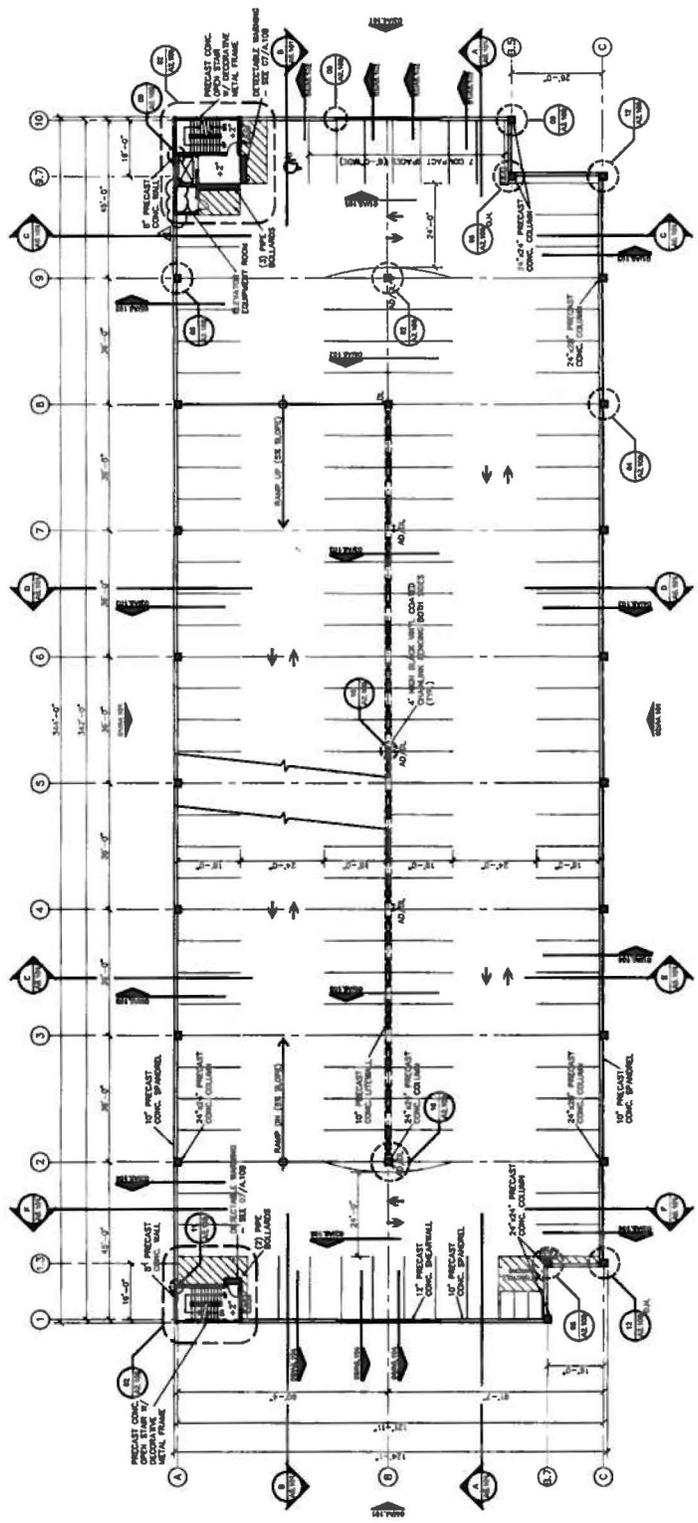
URBAN STYLE FLATS
PARKING GARAGE
 ST. PETERSBURG, FLORIDA

JOB NUMBER: 13077/13080/1
DATE: 08.23.13
DESIGNED BY: F.A.R.
CHECKED BY: F.A.R.

APPROVED:
DATE:

CHANGE PLANS:
LEVEL 2
A2.102

PERMIT SET



01 GARAGE LEVEL 2 PLAN
 SCALE: 1/8" = 1'-0"

Manufacturing
 10000 S. W. 10th St.
 Miami, FL 33154
 Tel: 305.444.1000
 Fax: 305.444.1001
 www.masonry.com

TRC
 Precast Concrete Division
 1700 N.W. 10th St.
 Ft. Lauderdale, FL 33304
 Tel: 954.575.1000
 Fax: 954.575.1001
 www.trc.com

ES&S
 ENGINEERING & SURVEYING
 10000 S. W. 10th St.
 Miami, FL 33154
 Tel: 305.444.1000
 Fax: 305.444.1001
 www.esand-s.com

PROJECT: **URBAN STYLE FLATS**
PARKING GARAGE
 ST. PETERSBURG, FLORIDA

JOB NUMBER: 2017/230011
 ISSUE DATE: 08.23.17
 DRAWN BY: [Signature]
 DESIGNED BY: [Signature]

REVISIONS

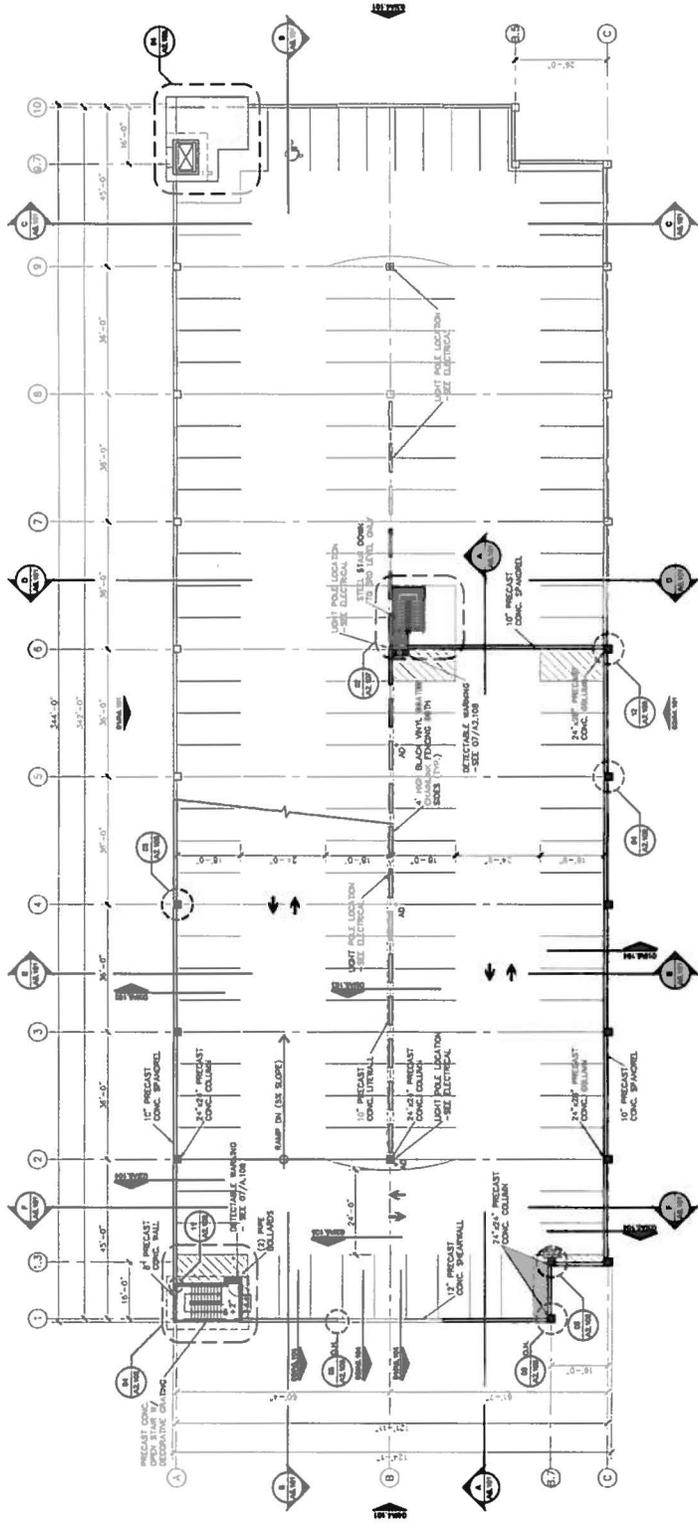
PREPARED BY: [Signature]
 CHECKED BY: [Signature]
 APPROVED BY: [Signature]

GARAGE PLANS
 LEVEL 4
A2.104

PERMIT SET

- GENERAL NOTES:**
- FOR ALL ELEVATIONS OUTSIDE LINE OF PARKING STRUCTURE SEE CIVIL DRAWINGS.
 - ALL FINISH FLOOR SURFACES ARE TO BE POLISHED CONCRETE TO FACE OF CONCRETE FACE OF WALLS OR TO FACE OF MASONRY UNLESS NOTED OTHERWISE.
 - ALL FLOOR ELEVATIONS INDICATED ARE TO TOP OF FINISH FLOOR.
 - CONCRETE SHALL BE SET TO BE SET FOR FINISH FLOOR FINISHES IN FIELD AND IN THE EVENT OF ANY DISCREPANCY TO THE CONTRACTOR, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE FINISH FLOOR FINISHES TO BE SET TO BE SET TO DO NOT SCALE DRAWING.
 - CONCRETE SHALL BE SET TO BE SET FOR FINISH FLOOR FINISHES IN FIELD AND IN THE EVENT OF ANY DISCREPANCY TO THE CONTRACTOR, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE FINISH FLOOR FINISHES TO BE SET TO BE SET TO DO NOT SCALE DRAWING.
 - CONCRETE SHALL BE SET TO BE SET FOR FINISH FLOOR FINISHES IN FIELD AND IN THE EVENT OF ANY DISCREPANCY TO THE CONTRACTOR, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE FINISH FLOOR FINISHES TO BE SET TO BE SET TO DO NOT SCALE DRAWING.
 - CONCRETE SHALL BE SET TO BE SET FOR FINISH FLOOR FINISHES IN FIELD AND IN THE EVENT OF ANY DISCREPANCY TO THE CONTRACTOR, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE FINISH FLOOR FINISHES TO BE SET TO BE SET TO DO NOT SCALE DRAWING.
 - CONCRETE SHALL BE SET TO BE SET FOR FINISH FLOOR FINISHES IN FIELD AND IN THE EVENT OF ANY DISCREPANCY TO THE CONTRACTOR, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE FINISH FLOOR FINISHES TO BE SET TO BE SET TO DO NOT SCALE DRAWING.
 - CONCRETE SHALL BE SET TO BE SET FOR FINISH FLOOR FINISHES IN FIELD AND IN THE EVENT OF ANY DISCREPANCY TO THE CONTRACTOR, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE FINISH FLOOR FINISHES TO BE SET TO BE SET TO DO NOT SCALE DRAWING.
 - CONCRETE SHALL BE SET TO BE SET FOR FINISH FLOOR FINISHES IN FIELD AND IN THE EVENT OF ANY DISCREPANCY TO THE CONTRACTOR, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE FINISH FLOOR FINISHES TO BE SET TO BE SET TO DO NOT SCALE DRAWING.
 - CONCRETE SHALL BE SET TO BE SET FOR FINISH FLOOR FINISHES IN FIELD AND IN THE EVENT OF ANY DISCREPANCY TO THE CONTRACTOR, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE FINISH FLOOR FINISHES TO BE SET TO BE SET TO DO NOT SCALE DRAWING.
 - CONCRETE SHALL BE SET TO BE SET FOR FINISH FLOOR FINISHES IN FIELD AND IN THE EVENT OF ANY DISCREPANCY TO THE CONTRACTOR, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE FINISH FLOOR FINISHES TO BE SET TO BE SET TO DO NOT SCALE DRAWING.
 - CONCRETE SHALL BE SET TO BE SET FOR FINISH FLOOR FINISHES IN FIELD AND IN THE EVENT OF ANY DISCREPANCY TO THE CONTRACTOR, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE FINISH FLOOR FINISHES TO BE SET TO BE SET TO DO NOT SCALE DRAWING.
 - CONCRETE SHALL BE SET TO BE SET FOR FINISH FLOOR FINISHES IN FIELD AND IN THE EVENT OF ANY DISCREPANCY TO THE CONTRACTOR, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE FINISH FLOOR FINISHES TO BE SET TO BE SET TO DO NOT SCALE DRAWING.
 - CONCRETE SHALL BE SET TO BE SET FOR FINISH FLOOR FINISHES IN FIELD AND IN THE EVENT OF ANY DISCREPANCY TO THE CONTRACTOR, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE FINISH FLOOR FINISHES TO BE SET TO BE SET TO DO NOT SCALE DRAWING.

LEGEND:
 SURFACE-SET CURBET W/ FINE SAND
 EXISTING DATE 07/04/17



01 GARAGE LEVEL 4 PLAN
 SCALE: 1/8" = 1'-0"

Attached documents for item Adjourn Community Redevelopment Agency.

Attached documents for item Awarding a contract to Pospiech Contracting, Inc. in the amount of \$5,958,060.60 for the Dr. Martin Luther King Jr. Street North, Part 2, Storm Drainage Improvements Project. (Engineering Project No. 11023-110R; Oracle No. 12859) [MOVED to Reports as F-4

Attached documents for item Renewing agreements with Humana Medical Plan, Inc. for the Medicare + Choice Health Management Organization (HMO) plan; and Humana Insurance Company for the Preferred Provider Organization (PPO) plan at an estimated annual premium of \$552,108. Both compan

SAINT PETERSBURG CITY COUNCIL

Consent Agenda

Meeting of October 17, 2013

To: The Honorable Karl Nurse, Chair and Members of City Council

Subject: Renewing agreements with Humana Medical Plan, Inc. for the Medicare + Choice Health Management Organization (HMO) plan; and Humana Insurance Company for the Preferred Provider Organization (PPO) plan at an estimated annual premium of \$552,108. Both companies are wholly owned subsidiaries of Humana, Inc.

Explanation: On October 4, 2012 City Council approved a one-year agreement for group health insurance for retirees, Medicare HMO and PPO. Under the renewal of contract clause, the City reserves the right to extend the agreement for four one-year periods if mutually agreeable. This is the third renewal.

The Procurement Department in cooperation with the Human Resources Department recommends for renewal:

Humana Medical Plan Inc. (HMO)	\$ 45,605
60 participants – single coverage - \$38.78 monthly	
19 participants – two person coverage - \$77.56 monthly	

Humana Insurance Company (PPO)	\$506,503
108 participants – single coverage - \$178.85 monthly	
64 participants – two person coverage - \$357.70 monthly	

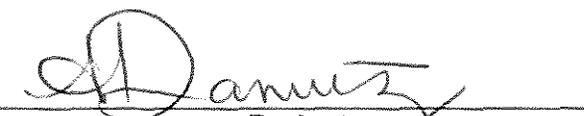
The renewal monthly premium rate for the HMO is .2% more than the 2013 rate; the renewal PPO rate is 36.5% more the 2013 rate. The increase in rates is due to higher than expected claims, lower CMS (Medicare) reimbursement rates and a fee assessed in accordance with the Affordable Care Act. The renewal will be effective through December 31, 2014.

Cost/Funding/Assessment Information: Funds have been previously appropriated in the Health Insurance Fund (5121), Human Resources Group Benefits (0901177).

Attachments: Medicare Plan Benefits (2 pages)
Rate History
Resolution

Approvals:


Administrative


Budget

Humana Medicare Advantage - Benefits Comparison – HMO

BENEFITS	2013 - Plan Pays:	2014 – Plan Pays:
Hospital Care	100% after \$250/day copay (1-5 days)	100% after \$250/day copay (1-5 days)
Skilled Care Facility	100% (days 1-20), 100% after \$75/day copay (days 21-100) Limit 100 days per benefit period	100% (days 1-20), 100% after \$75/day copay (days 21-100) Limit 100 days per benefit period
Outpatient Surgery Outpatient Services	100% after \$200 copay outpatient hospital 100% after \$0 - \$100 copay	100% after \$200 copay outpatient hospital 100% after \$0 - \$100 copay
Ambulance	100% after \$75 copay when medically necessary	100% after \$75 copay when medically necessary
Prescriptions*	Retail (30 day supply): 100% after: Level 1 -\$4 copay, Level 2 - \$25 copay, Level 3 - \$40 copay, and Level 4 - 33% coinsurance. After true out-of-pocket cost reaches \$4,750, the member pays the greater of \$2.65 for generic and \$6.60 for all other drugs, or 5% coinsurance. Rx coverage is unlimited. Mail order: 100% after: Level 1 - \$0 copay for 90 day supply, Level 2 – \$50 copay, for 90 day supply, Level 3 - \$80 copay for 90 day supply, Level 4 – 33% coinsurance (30 day supply)	Retail (30 day supply): 100% after: Level 1 -\$4 copay, Level 2 - \$25 copay, Level 3 - \$40 copay, and Level 4 - 33% coinsurance. After true out-of-pocket cost reaches \$4,550, the member pays the greater of \$2.55 for generic and \$6.35 for all other drugs, or 5% coinsurance. Rx coverage is unlimited. Mail order: 100% after: Level 1 - \$0 copay for 90 day supply, Level 2 – \$50 copay, for 90 day supply, Level 3 - \$80 copay for 90 day supply, Level 4 – 33% coinsurance (30 day supply)
Primary Care Physician	100% after \$10 copay per visit	100% after \$10 copay per visit
Specialists	100% after \$25 copay per visit	100% after \$25 copay per visit
Emergency Services Network hospital	100% after \$65 copay (Waived if admitted within 24 hours)	100% after \$65 copay (Waived if admitted within 24 hours)

*Benefit changed from 2013

Note: Humana primary service area - Pinellas, Hillsborough, Pasco, Manatee and Hernando counties
Humana secondary service area – Jacksonville, Daytona, Orlando and South Florida.

Humana Medicare Advantage - Benefits Comparison – PPO

Benefits	2013 – Plan Pays:		2014 – Plan Pays:	
	Network	Non-Network	Network	Non-Network
Hospital Care	100% after \$150/day copay (days 1-5)	70%	100% after \$150/day copay (days 1-5)	70%
Skilled Care Facility	100% (days 1 -20); 100% after \$75/day copay (days 21-100) Limit 100 days per benefit period	70% Days 1 – 100 Limit 100 days per benefit period	100% (days 1 -20); 100% after \$75/day copay (days 21-100) Limit 100 days per benefit period	70% Days 1 – 100 Limit 100 days per benefit period
Outpatient Surgery	100% after \$50 copay per visit	70%	100% after \$50 copay per visit	70%
Outpatient Services	\$20 - \$50 copay	70%	\$20 - \$50 copay	70%
Ambulance	100% after \$50 copay per date of service	100% after \$50 copay per date of service	100% after \$50 copay per date of service	100% after \$50 copay per date of service
Prescriptions*	Retail 30 day supply: 100% after: Level 1 - \$4 copay, Level 2 - \$25 copay, Level 3 - \$40 copay, and Level 4 - 33% coinsurance. After member's true out-of-pocket cost reaches \$4,750 the member pays the greater of \$2.65 for generic and \$6.60 for all other drugs, or 5% coinsurance. Mail order: 100% after: Level 1 - \$0 copay for 90 day supply, Level 2 - \$50 for 90 day supply, Level 3 - \$80 for 90 day supply Level 4 – 33% coinsurance (30 day supply)	In network copay plus the difference in cost between network and non-network pharmacy cost	Retail 30 day supply: 100% after: Level 1 - \$4 copay, Level 2 - \$25 copay, Level 3 - \$40 copay, and Level 4 - 33% coinsurance. After member's true out-of-pocket cost reaches \$4,550 the member pays the greater of \$2.55 for generic and \$6.35 for all other drugs, or 5% coinsurance. Mail order: 100% after: Level 1 - \$0 copay for 90 day supply, Level 2 - \$50 for 90 day supply, Level 3 - \$80 for 90 day supply Level 4 – 33% coinsurance (30 day supply)	In network copay plus the difference in cost between network and non-network pharmacy cost
Primary Care Physician	100% after \$10 copay per visit	70%	100% after \$10 copay per visit	70%
Specialist	100% after \$20 copay per visit	70%	100% after \$20 copay per visit	70%
Emergency Services	100% after \$65 copay Waived if admitted within 24 hours	100% after \$65 copay (Waived if admitted within 24 hours)	100% after \$65 copay Waived if admitted within 24 hours	100% after \$65 copay Waived if admitted within 24 hours

Note: Humana PPO service area: All counties in the state of Florida. *Benefit changed from 2013

City of St. Petersburg

Medicare Advantage Rate History

	2010	2011	2012	2013	2014
Humana HMO					
Single	64.00	49.00	49.00	38.00	38.78
Two Person	128.00	98.00	98.00	76.00	77.56
Humana PPO					
Single	165.00	153.00	149.00	131.00	178.85
Two Person	330.00	306.00	298.00	262.00	357.70

A RESOLUTION APPROVING THE THIRD ONE-YEAR RENEWAL OPTIONS OF AGREEMENTS WITH HUMANA MEDICAL PLAN, INC. FOR THE MEDICARE + CHOICE HEALTH MANAGEMENT ORGANIZATION (HMO) PLAN AT AN ESTIMATED COST NOT TO EXCEED \$45,605 AND HUMANA INSURANCE COMPANY FOR THE PREFERRED PROVIDER ORGANIZATION (PPO) PLAN AT AN ESTIMATED ANNUAL COST NOT TO EXCEED \$506,503 FOR RETIREES FOR A TOTAL ESTIMATED ANNUAL COST NOT TO EXCEED \$552,108; AUTHORIZING THE MAYOR OR MAYOR'S DESIGNEE TO EXECUTE ALL DOCUMENTS NECESSARY TO EFFECTUATE THESE TRANSACTIONS; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, On November 22, 2010 City Council approved the award of one-year agreements with four one-year renewal options to Humana Medical Plan, Inc. and Humana Insurance Company for group health insurance for retirees pursuant to Bid No. 7044 dated August 24, 2010; and

WHEREAS, On November 3, 2011 City Council approved the first one-year renewal options of the Agreements; and

WHEREAS, On October 4, 2012 City Council approved the second one-year renewal options of the Agreements; and

WHEREAS, the City desires to exercise the third one-year renewal options of the Agreements; and

WHEREAS, the monthly premium rate for the HMO is .2% more than the 2013 rate and the PPO rate is 36.5% more than the 2013 rate; and

WHEREAS, the Procurement & Supply Management Department, in cooperation with the Human Resources Department, recommends approval of the third one-year renewal options of these Agreements.

NOW THEREFORE BE IT RESOLVED by the City Council of the City of St. Petersburg, Florida, that the third one-year renewal options of Agreements with Humana Medical Plan, Inc. for the Medicare + Choice Health Management Organization (HMO) Plan at an estimated cost not to exceed \$45,605 and Humana Insurance Company for the Preferred Provider Organization (PPO) Plan at an estimated annual cost not to exceed \$506,503 for retirees for a total estimated annual cost not to exceed \$552,108 are hereby approved and the Mayor or

Mayor's Designee is authorized to execute all documents necessary to effectuate these transactions; and

BE IT FURTHER RESOLVED that these renewals will be effective through December 31, 2014.

This Resolution shall become effective immediately upon its adoption.

Approved as to Form and Substance:



City Attorney (Designee)

Attached documents for item Awarding a contract to All American Concrete, Inc. in the amount of \$179,500 for the construction of the Crisp Park Boat Ramp Improvement Project (Engineering Project No. 11236-117; Oracle Project No. 13181); authorizing the Mayor or his designee to accep

ST. PETERSBURG CITY COUNCIL
Consent Agenda
Meeting of October 17, 2013

To: The Honorable Karl Nurse, Chair and Members of City Council

Subject: Awarding a contract to All American Concrete, Inc. in the amount of \$179,500 for the construction of the Crisp Park Boat Ramp Improvement Project (Engineering Project No. 11236-117; Oracle Project No. 13181) and providing an effective date. A resolution authorizing the Mayor or his designee to accept a Florida Fish and Wildlife Conservation Commission ("FFWCC") Grant ("Grant") from the Florida Boating Improvement Program, Boating and Waterways Section for the Crisp Park Boat Ramp Project ("Project") at a total maximum reimbursement amount of \$55,000; to execute the Florida Boating Improvement Program Grant Agreement for the Project site with the FFWCC; and to execute all other documents necessary to effectuate the Grant; approving a supplemental appropriation in the amount of \$55,000 from the increase in the unappropriated balance of the General Capital Improvement Fund (3001), resulting from these additional revenues, to the Boat Ramp Facility Improvements Project (13181); and establishing an effective date.

Explanation: The Procurement Department received 4 responsive bids for the Crisp Park Boat Ramp Improvements Project (see below).

The work consists of furnishing all labor, material, and equipment necessary to demolish two existing concrete boat ramp slabs, and construct two replacement reinforced concrete boat ramps approximately 80 feet long and 15 feet wide. Work includes placing temporary coffer dams, dewatering, limited dredging, regrading, placement of 8 inches of stone bedding on geotextile fabric over compacted subgrade, and casting in place two 8 inch thick concrete boat ramp slabs. Work includes redecking existing docks with pressure treated lumber, riprap for slope transition at south ramp, and limited site work.

Crisp Park is located at 3633 Poplar Street NE. The two boat ramps have been in use since the 1970s and provide access to Tampa Bay. Crisp Park is adjacent to the Shore Acres area which supports a large boating population, and therefore the ramps experience heavy use on the weekends. The boat ramp surfaces are deteriorated and in need of replacement. In addition, the existing ramps do not reach an adequate water depth for boat launching, which causes boaters to unsafely back their trailers off the ramp. The new ramps will extend an additional 26 feet into the channel providing a greater water depth beyond the end of the ramps, to allow boaters to launch boats with deeper drafts as well as launch during lower tides.

The Project is partially funded by a grant which requires the City to dedicate the project site as a public boating access facility for the use and benefit of the general public for a minimum of twenty years (20) from the date of the dedication. The site dedication will be submitted to City Council for approval prior to requesting reimbursement of grant dollars at the completion of the Project in September 2014.

The contractor will begin work approximately ten (10) days from Notice to Proceed and is scheduled to complete the work within sixty five (65) consecutive calendar days thereafter. The contractor will have an additional ten (10) consecutive days to complete any identified punch list items. Bids were opened on February 21, 2013 and are tabulated as follows:

<u>Bidder</u>	<u>Base Bid</u>
All American Concrete, Inc. (Largo, FL)	\$179,500.00
Tampa Bay Marine , Inc. (Gibsonton, FL)	\$182,975.00
Certus Builders, Inc. (Tampa, FL)	\$237,844.00
Orion Marine Construction, Inc. (Tampa, FL)	\$285,369.00

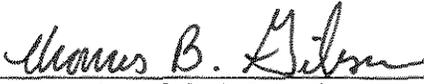
The lowest responsive bidder All American Concrete, Inc. has met the specifications, terms and conditions of Bid No. 7439 dated January 22, 2013, and has satisfactorily performed similar work for the City of St. Petersburg. The Principal of the firm is Jeffrey Nasse.

Recommendation: Administration recommends awarding this Contract to All American Concrete Inc, in the amount of \$179,500 for the Crisp Park Boat Ramps under the Boat Ramp Facility Improvements Project (13181) and that City Council adopt the attached resolution authorizing the Mayor or his designee to accept a Florida Fish and Wildlife Conservation Commission ("FFWCC") Grant ("Grant") from the Florida Boating Improvement Program, Boating and Waterways Section for the Crisp Park Boat Ramp Project ("Project") at a total maximum reimbursement amount of \$55,000; to execute the Florida Boating Improvement Program Grant Agreement for the Project site with the FFWCC; and to execute all other documents necessary to effectuate the Grant; approving a supplemental appropriation in the amount of \$55,000 from the increase in the unappropriated balance of the General Capital Improvement Fund (3001), resulting from these additional revenues, to the Boat Ramp Facility Improvements Project (13181); and establishing an effective date.

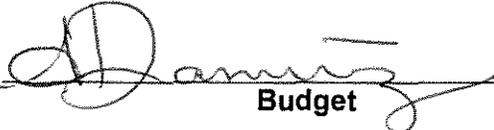
Cost/Funding/Assessment Information: Revenues of \$55,000 will be received from the Florida Fish and Wildlife Conservation Commission (FFWCC). A supplemental appropriation in the amount of \$55,000 from the increase in the unappropriated balance of the General Capital Improvement Fund (3001) resulting from the additional revenues, to the Crisp Park Boat Ramp Project (13181) is required. Funds are also available in the Recreation and Culture Capital Fund (3029).

Attachments: Resolution

Approvals:



for Administrative



Budget

A RESOLUTION ACCEPTING THE BID AND APPROVING THE AWARD OF AN AGREEMENT TO ALL AMERICAN CONCRETE, INC. IN AN AMOUNT NOT TO EXCEED \$179,500 FOR THE CRISP PARK BOAT RAMP IMPROVEMENT PROJECT (11236-117) ("PROJECT"); AUTHORIZING THE MAYOR OR MAYOR'S DESIGNEE TO ACCEPT A FLORIDA FISH AND WILDLIFE CONSERVATION COMMISSION GRANT FROM THE FLORIDA BOATING IMPROVEMENT PROGRAM ("FFWCC"), BOATING AND WATERWAYS SECTION AT A TOTAL MAXIMUM REIMBURSEMENT AMOUNT OF \$55,000 FOR THE CRISP PARK BOAT RAMP PROJECT; AUTHORIZING THE MAYOR OR MAYOR'S DESIGNEE TO EXECUTE THE FLORIDA BOATING IMPROVEMENT PROGRAM GRANT AGREEMENT FOR THE PROJECT WITH THE FFWCC; AUTHORIZING THE MAYOR OR MAYOR'S DESIGNEE TO EXECUTE ALL DOCUMENTS NECESSARY TO EFFECTUATE THESE TRANSACTIONS; APPROVING A SUPPLEMENTAL APPROPRIATION IN THE AMOUNT OF \$55,000 FROM THE INCREASE IN THE UNAPPROPRIATED BALANCE OF THE GENERAL CAPITAL IMPROVEMENT FUND (3001) RESULTING FROM THESE ADDITIONAL REVENUES TO THE BOAT RAMP FACILITY IMPROVEMENTS PROJECT (13181); AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Procurement & Supply Management Department received four bids for the Crisp Park Boat Ramp Improvement Project (11236-117) ("Project") pursuant to Bid No. 7439 dated January 22, 2013; and

WHEREAS, All American Concrete, Inc. has met the specifications, terms and conditions of Bid No. 7439; and

WHEREAS, the Florida Fish and Wildlife Conservation Commission ("FFWCC") has offered the City a grant in the amount of \$55,000 ("Grant") for the construction phase of the Project; and

WHEREAS, the Administration recommends approval of this award and acceptance of the Grant and execution of the Grant agreement.

NOW THEREFORE, BE IT RESOLVED by the City Council of the City of St. Petersburg, Florida, that the bid and the award of an agreement to All American Concrete, Inc. in an amount not to exceed \$179,500 for the construction of the Crisp Park Boat Ramp Improvement Project (11236-117) ("Project") is hereby approved; and

BE IT FURTHER RESOLVED that the Mayor or Mayor's designee is authorized to accept a Florida Fish and Wildlife Conservation Commission Grant from the Florida Boating Improvement Program ("FFWCC"), Boating and Waterways Section at a total maximum reimbursement amount of \$55,000 for the Crisp Park Boat Ramp Project; and

BE IT FURTHER RESOLVED that the Mayor or Mayor's designee is authorized to execute the Florida Boating Improvement Program Grant Agreement for the Project with the FFWCC; and

BE IT FURTHER RESOLVED that the Mayor or Mayor's designee is authorized to execute all documents necessary to effectuate these transactions; and

BE IT FURTHER RESOLVED that there is hereby approved the following supplemental appropriation from the increase in the unappropriated balance of the General Capital Improvement Fund (3001) resulting from these additional revenues for Fiscal Year 2013:

<u>General Capital Improvement Fund (3001)</u>	
Boat Ramp Facility Improvements Project (13181)	\$55,000.00

This Resolution shall become effective immediately upon its adoption.

Approved as to Form and Substance:



City Attorney (Designee)
Legal: 00182285.doc V. 2



Budget Department

Attached documents for item Awarding a contract to Tampa Bay Marine, Inc., in the amount of \$137,466 for the construction of the Coffee Pot Park Boat Ramp Improvement Project (Engineering Project No. 11236-517; Oracle Project No. 13181); authorizing the Mayor or his designee to acce

ST. PETERSBURG CITY COUNCIL
Consent Agenda
Meeting of October 17, 2013

To: The Honorable Karl Nurse, Chair and Members of City Council

Subject: Awarding a contract to Tampa Bay Marine, Inc., in the amount of \$137,466.00 for the construction of the Coffee Pot Park Boat Ramp Improvement Project (Engineering Project No. 11236-517; Oracle Project No. 13181) and providing an effective date. A resolution authorizing the Mayor or his designee to accept a Florida Fish and Wildlife Conservation Commission ("FFWCC") Grant ("Grant") from the Florida Boating Improvement Program, Boating and Waterways Section for the Coffee Pot Park Boat Ramp Project ("Project") at a total maximum reimbursement amount of \$38,750; to execute the Florida Boating Improvement Program Grant Agreement for the Project site with the FFWCC; and to execute all other documents necessary to effectuate the Grant; approving a supplemental appropriation in the amount of \$38,750 from the increase in the unappropriated balance of the General Capital Improvement Fund (3001), resulting from these additional revenues, to the Boat Ramp Facility Improvements Project (13181); and establishing an effective date.

Explanation: The Procurement Department received two responsive bids for the Coffee Pot Park Boat Ramp Improvement Project (see below).

The work consists of furnishing all labor, material, and equipment necessary to demolish an existing concrete boat ramp slab, and construct a replacement reinforced concrete boat ramp approximately 66 feet long and 12 feet wide. The new ramp will be reoriented to provide improved access from parking lot. Work includes temporary coffer dam construction, dewatering, limited dredging, placement of 8 inch thick bedding stone and geotextile fabric over compacted subgrade, and casting in place a new 8 inch thick reinforced concrete ramp slab, riprap for slope transition, dock renovations, new curb abutment and new sidewalk, and limited site work.

Coffee Pot Park is located at 30th Av at 1st St. NE. The boat ramp has been in use since the 1970s, providing access to Tampa Bay from Coffee Pot Bayou. The boat ramp surface is severely cracked, deteriorated, does not meet the State Association for Boating Access (SOBA) recommended design parameters for slope or length for boat launching, and is in need of replacement. The new concrete ramp will be approximately 17 feet longer providing a greater water depth beyond the end of the ramp, to allow launching of boats with deeper drafts, and launching during lower tides.

The Project is partially funded by a grant which requires the City to dedicate the project site as a public boating access facility for the use and benefit of the general public for a minimum of twenty years (20) from the date of the dedication. The site dedication will be submitted to City Council for approval prior to requesting reimbursement of grant dollars at the completion of the Project in September 2014.

The contractor will begin work approximately ten (10) days from Notice to Proceed and is scheduled to complete the work within forty five (45) consecutive calendar days thereafter. Bids were opened on March 21, 2013 and are tabulated as follows:

<u>Bidder</u>	<u>Base Bid</u>
Tampa Bay Marine, Inc. (Gibsonton, FL)	\$137,466.00
Certus Builders, Inc. (Tampa, FL)	\$145,882.00

The lowest responsive bidder Tampa Bay Marine Inc. has met the specifications, terms and conditions of Bid No. 7440 dated January 22, 2013, and has satisfactorily performed similar work for the City of St. Petersburg. The Principal of the firm is Melynda Calves, President and Chris Theriot, Secretary.

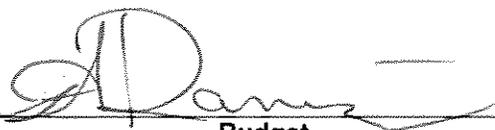
Recommendation: Administration recommends awarding this Contract to Tampa Bay Marine, Inc, in the amount of \$137,466.00 for the Coffee Pot Park Boat Ramp under the Boat Ramp Facility Improvements Project (13181) and that City Council adopt the attached resolution authorizing the Mayor or his designee to accept a Florida Fish and Wildlife Conservation Commission ("FFWCC") Grant ("Grant") from the Florida Boating Improvement Program, Boating and Waterways Section for the Coffee Pot Park Boat Ramp Project ("Project") at a total maximum reimbursement amount of \$38,750; to execute the Florida Boating Improvement Program Grant Agreement for the Project site with the FFWCC; and to execute all other documents necessary to effectuate the Grant; approving a supplemental appropriation in the amount of \$38,750 from the increase in the unappropriated balance of the General Capital Improvement Fund (3001), resulting from these additional revenues, to the Boat Ramp Facility Improvements Project (13181); and establishing an effective date.

Cost/Funding/Assessment Information: Revenues of \$38,750 will be received from the Florida Fish and Wildlife Conservation Commission (FFWCC). A supplemental appropriation in the amount of \$38,750 from the increase in the unappropriated balance of the General Capital Improvement Fund (3001) resulting from the additional revenues, to the Coffee Pot Park Boat Ramp Improvement Project (13181) is required. Funds are also available in the Recreation and Culture Capital Fund (3029).

Attachments: Resolution

Approvals:


_____ **for** **Administrative**


_____ **Budget**

A RESOLUTION ACCEPTING THE BID AND APPROVING THE AWARD OF AN AGREEMENT TO TAMPA BAY MARINE INC. IN AN AMOUNT NOT TO EXCEED \$137,466 FOR THE COFFEE POT PARK BOAT RAMP IMPROVEMENT PROJECT (11236-517); AUTHORIZING THE MAYOR OR MAYOR'S DESIGNEE TO ACCEPT A FLORIDA FISH AND WILDLIFE CONSERVATION COMMISSION GRANT FROM THE FLORIDA BOATING IMPROVEMENT PROGRAM ("FFWCC"), BOATING AND WATERWAYS SECTION AT A TOTAL MAXIMUM REIMBURSEMENT AMOUNT OF \$38,750 FOR THE COFFEE POT PARK BOAT RAMP PROJECT ("PROJECT"); AUTHORIZING THE MAYOR OR MAYOR'S DESIGNEE TO EXECUTE THE FLORIDA BOATING IMPROVEMENT PROGRAM GRANT AGREEMENT FOR THE PROJECT WITH THE FFWCC; AUTHORIZING THE MAYOR OR MAYOR'S DESIGNEE TO EXECUTE ALL DOCUMENTS NECESSARY TO EFFECTUATE THESE TRANSACTIONS; APPROVING A SUPPLEMENTAL APPROPRIATION IN THE AMOUNT OF \$38,750 FROM THE INCREASE IN THE UNAPPROPRIATED BALANCE OF THE GENERAL CAPITAL IMPROVEMENT FUND (3001) RESULTING FROM THESE ADDITIONAL REVENUES TO THE BOAT RAMP FACILITY IMPROVEMENTS PROJECT (13181); AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Procurement & Supply Management Department received two bids for the Coffee Pot Park Boat Ramp Improvement Project (11236-517) ("Project") pursuant to Bid No. 7440 dated January 22, 2013; and

WHEREAS, Tampa Bay Marine Inc. has met the specifications, terms and conditions of Bid No. 7440; and

WHEREAS, the Florida Fish and Wildlife Conservation Commission ("FFWCC") has offered the City a grant in the amount of \$38,750 ("Grant") for the construction phase of the Project; and

WHEREAS, the Administration recommends approval of this award and acceptance of the Grant and execution of the Grant agreement; and

NOW THEREFORE, BE IT RESOLVED by the City Council of the City of St. Petersburg, Florida, that the bid and the award of an agreement to Tampa Bay Marine Inc. in an amount not to exceed \$137,466 for the Coffee Pot Park Boat Ramp Improvement Project (11236-517) is hereby approved; and

BE IT FURTHER RESOLVED that the Mayor or Mayor's designee is authorized to accept a Florida Fish and Wildlife Conservation Commission Grant from the Florida Boating Improvement Program ("FFWCC"), Boating and Waterways Section at a total maximum reimbursement amount of \$38,750 for the Coffee Pot Park Boat Ramp Project; and

BE IT FURTHER RESOLVED that the Mayor or Mayor's designee is authorized to execute the Florida Boating Improvement Program Grant Agreement for the Project with the FFWCC; and

BE IT FURTHER RESOLVED that the Mayor or Mayor's designee is authorized to execute all documents necessary to effectuate these transactions; and

BE IT FURTHER RESOLVED that there is hereby approved the following supplemental appropriation from the increase in the unappropriated balance of the General Capital Improvement Fund (3001) resulting from these additional revenues for Fiscal Year 2013:

<u>General Capital Improvement Fund (3001)</u>	
Boat Ramp Facility Improvements Project (13181)	\$38,750.00

This Resolution shall become effective immediately upon its adoption.

Approved as to Form and Substance:



City Attorney (Designee)
Legal: 00182241.doc V. 2



Budget Department

Attached documents for item Approving a second amendment to the Equipment Lease Agreement (“Agreement”) dated March 28, 2012 between the City and Schwing Bioiset, Inc. (“Schwing”), a sole source supplier, to extend the term of the Agreement through March 31, 2015, for a biosolids tre

SAINT PETERSBURG CITY COUNCIL
Consent Agenda
Meeting of October 17, 2013

To: Honorable Karl Nurse, Chair and Members of City Council

Subject: Approving a second amendment to the Equipment Lease Agreement ("Agreement") dated March 28, 2012 between the City and Schwing Bioset, Inc. ("Schwing"), a sole source supplier, to extend the term of the Agreement through March 31, 2015, for a biosolids treatment system for the Water Resources Department at an estimated annual cost of \$120,000.

Explanation: On June 6, 2013 City Council approved the first amendment of the Agreement for the lease of a biosolids treatment system which, pursuant to its terms, remains in effect through June 12, 2014. Under the Agreement, the parties may extend the term of the Agreement.

The Agreement was initially entered into with Schwing as an interim solution prior to the City's formulation of a long-term alternative biosolids treatment system plan. The plan has been determined and will require additional time to implement; therefore a renewal of the leased system is requested. The lease extension will effectuate a negotiated reduction of the monthly lease fee from \$25,000 per month to \$10,000 per month; with the City agreeing to forego its right to terminate the Agreement for convenience. In addition, upon renewal of the extension, the City will receive an immediate credit of \$15,000 for the last month's rent previously paid.

The vendor will continue to furnish a class AA biosolids treatment system for the Southwest Water Reclamation Facility. Services include training, equipment, maintenance, and return freight at the end of the lease. The system provides Florida Department of Environmental Protection (FDEP) compliant treatment while giving the city an opportunity to evaluate long term treatment solutions to biosolids treatment, including waste-to-energy, during the extended lease period. The Bioset system is a proprietary (patent protected) in-vessel stabilization process that requires minimal reconfiguration of the existing biosolids building. The "plug and play" design offers the advantage of a small footprint and quick installation. Schwing is the only provider, therefore sole-source procurement is recommended.

The Procurement Department in cooperation with the Water Resources Department, recommends approval:

Schwing Bioset, Inc..... \$120,000

Equipment Lease 12 months @ \$10,000/month

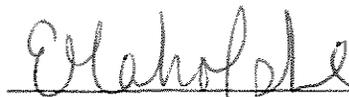
All other terms and conditions will remain the same. The vendor has agreed to lower the monthly lease pricing under the terms and conditions of Proposal No. 7000928 dated March 28, 2012. Administration recommends extending of the agreement based upon the vendor's past satisfactory performance, demonstrated ability to comply with the terms and conditions of the contract, and negotiated discount. The Agreement extension will be effective from date of award through March 31, 2015.

Cost/Funding/Assessment Information: Funds have been appropriated in the Water Resources Operating Fund (4001), Water Resources Department, Southwest Water Reclamation Facility (4202181).

Attachments: Second Amendment to Equipment Lease Agreement
Sole Source
Resolution

Approvals:


_____ **for Administrative**


_____ **Budget**

**SECOND AMENDMENT TO EQUIPMENT
LEASE AGREEMENT DATED MARCH 28, 2012**

This Second Amendment to the Equipment Lease Agreement dated March 28, 2012 (“Second Amendment”) is made and entered into this _____ day of _____, 2013, by and between the City of St. Petersburg Florida, a municipal corporation of the State of Florida (“City”) and SCHWING BIOSET, INCORPORATED, a Foreign Profit Corporation authorized to conduct business in the State of Florida (“Schwing”), (collectively “Parties”).

WITNESSETH

WHEREAS, the Parties entered into an Equipment Lease Agreement on March 28, 2012 (“Agreement”) for a term of twelve months from the delivery of certain equipment which occurred on June 12, 2012; and

WHEREAS, the Parties executed a First Amendment to the Agreement by extending the term of the Agreement for an additional twelve (12) months until June 12, 2014, with no other changes to the Agreement; and

WHEREAS, the Parties wish to amend the Agreement again by extending the term of the Agreement until March 31, 2015, by reducing the lease payment from \$25,000 per month to \$10,000 per month and by deleting the City’s right to terminate the Agreement for convenience.

NOW THEREFORE, in consideration of the promises and covenants contained herein, and other good and valuable consideration, the receipt and adequacy of which are hereby acknowledged, the Parties agree as follows:

1. The term set forth in Paragraph 3 of the Agreement shall be extended until March 31, 2015.
2. The Agreement Payments established in Paragraph 4 of the Agreement shall be reduced from \$25,000 each month to \$10,000 each month for the remaining term of the Agreement. Upon receiving the fully executed Second Amendment, Schwing shall issue one credit in the amount of \$15,000 immediately to the City’s account with Schwing for payment of the last month’s rent previously paid by the City. That credit shall be applied against future invoices issued to the City as a result of Second Amendment.
3. Paragraph 44 of the Agreement is amended by deleting the second paragraph which reads “This Agreement may be terminated at any time by the City for convenience upon thirty (30) business days, written notice to Schwing.”
4. Except for the foregoing modifications of the term of the Agreement, the Agreement shall in all other respects remain unchanged and in full force and effect. By execution of this Second

Amendment, the Parties agree to be bound by the terms of the Agreement as amended. There shall be no change in any of the terms of the Agreement by virtue of this Second Amendment, except as expressly set forth herein.

IN WITNESS WHEREOF the Parties have caused this Second Amendment to be executed by their duly authorized representatives on the day and date first above written.

SCHWING BIOSET, INCORPORATED:

By: _____
Thomas Anderson, President

(Acknowledgment of Schwing)

State of _____)

County of _____) ss:

City of _____)

The foregoing Amendment was acknowledged before me this ____ day of _____, 2013, by Thomas Anderson, President of Schwing Bioset, Incorporated ("Schwing"), on behalf of Schwing.

He/She is personally known to me or has produced _____ as identification and appeared before me at the time of notarization. Thomas Anderson warrants that he/she is authorized by the Company to execute the foregoing Amendment.

(SEAL)

NOTARY PUBLIC:

My commission expires:

CITY OF ST. PETERSBURG, FLORIDA

By: _____

Print: Louis Moore, CPPO
Title: Director, Purchasing and Materials Management

ATTEST:

(SEAL)

City Clerk (Designee)

Amendment Approved:

Approved as to Form:

By: _____
Print: Steven Leavitt, P.E.
Title: Director, Water Resources
Project Manager

City Attorney (Designee)

CITY OF ST. PETERSBURG
REQUEST FOR SOLE SOURCE

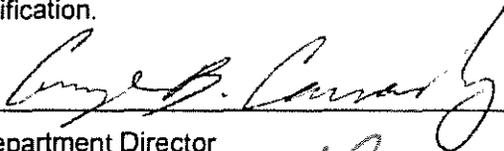
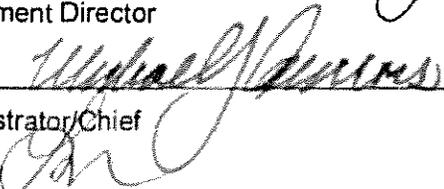
Department: Water Resources Requisition No. _____
Check One: Sole Source Proprietary Specifications
Proposed Vendor: Schwing Bioset
Estimated Total Cost: \$700,000

Description of Items (or Services) to be purchased: Biosolids treatment and disposal for the Southwest WRF. The Bioset process produces Class A solids which meets new FDEP rules for sludge stabilization and land application.

Purpose of Function of items: To pilot and evaluate the process for effective and efficient stabilization of biosolids.

Justification for Sole Source of Proprietary specification: The Southwest WRF operation will require significant upgrades to the existing digesters to meet new sludge rules that go into effect January 1, 2013. The Bioset process provides FDEP compliant treatment while giving the city an opportunity to evaluate long term waste-to-energy solutions to biosolids management.
Bioset is a proprietary process with patent protection, Schwing is the only provider. The Bioset services include design, construction, and partial operations (hauling) for a one year period.

I hereby certify that in accordance with Section 2-232(d) of the City of St. Petersburg Purchasing Code, I have conducted a good faith review of available sources and have determined that there is only one potential source for the required items per the above justification.

 _____ Department Director	<u>1/24/12</u> _____ Date
 _____ Administrator/Chief	<u>1-24-12</u> _____ Date
<u>Louis Moore, Director</u> <u>Purchasing and Materials Management</u>	<u>1/27/12</u> _____ Date

A RESOLUTION APPROVING A SECOND AMENDMENT TO THE EQUIPMENT LEASE AGREEMENT DATED MARCH 28, 2012 BETWEEN THE CITY OF ST. PETERSBURG AND SCHWING BIOSSET, INC., A SOLE SOURCE PROVIDER; EXTENDING THE AGREEMENT TERM THROUGH MARCH 31, 2015, REDUCING MONTHLY LEASE PAYMENTS, DELETING TERMINATION FOR CONVENIENCE PROVISION AND PROVIDING A CREDIT TO THE CITY; AUTHORIZING THE MAYOR OR MAYOR'S DESIGNEE TO EXECUTE ALL DOCUMENTS NECESSARY TO EFFECTUATE THIS TRANSACTION; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, on March 28, 2012, the City of St. Petersburg ("City") entered into a one-year Equipment Lease Agreement ("Agreement") with Schwing Bioset, Inc. ("Schwing") as the sole provider of the Bioset System in-vessel stabilization process for biosolids treatment as an interim solution prior to the City's formulation of a long-term alternative biosolids treatment system plan; and

WHEREAS, on June 6, 2013, City Council approved the first amendment of the Agreement for the lease of a biosolids treatment system extending the term of the Agreement until June 12, 2014; and

WHEREAS, implementing the City's selected biosolids treatment system plan will require additional time and Schwing has agreed to extend the lease term and to reduce the monthly lease fee from \$25,000 per month to \$10,000 per month and to provide the City with an immediate credit of \$15,000 for the last month's rent previously paid, provided the City agrees to forego its right to terminate the Agreement for convenience; and

WHEREAS, pursuant to its terms, the Agreement may be amended by mutual agreement of parties; and

WHEREAS, the Procurement & Supply Management Department, in cooperation with the Water Resources Department, recommends approval of a Second Amendment to the Agreement in accordance with the terms set forth above.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of St. Petersburg, Florida, that the Second Amendment to the Equipment Lease Agreement dated March 28, 2012, between the City of St. Petersburg and Schwing Bioset, Inc. extending the term

through March 31, 2015, reducing the monthly lease payment, deleting the termination for convenience provision and providing a credit to the City is hereby approved and the Mayor or his designee is authorized to execute all documents necessary to effectuate this transaction.

This resolution shall become effective immediately upon its adoption.

Approved as to Form and Substance



City Attorney (Designee)

Attached documents for item Approving a plat of NAC Group, generally located at 1001 - 16th Street North. (City File 10-20000010)



SAINT PETERSBURG CITY COUNCIL

Meeting of October 17, 2013

TO: THE HONORABLE KARL NURSE, CHAIR, AND MEMBERS OF CITY COUNCIL

SUBJECT: Resolution approving the plat of *NAC Group*, generally located at 10001 16th Street North (Our File: 10-20000010).

RECOMMENDATION: The Administration recommends **APPROVAL**.

DISCUSSION:

The applicant is requesting approval of a plat to subdivide a single parcel into three (3) separate lots. The property is generally located at 10001 16th Street North. The property is zoned Employment Center (EC). There is an existing business located on Lot 1 of the proposed plat. The purpose of the proposed plat is to create Lots 2 and 3 for future development.

Attachments: Map, Aerial, Resolution

APPROVALS:

Administrative: _____

Budget: NA _____

Legal: _____

RESOLUTION NO. _____

A RESOLUTION APPROVING THE PLAT OF NAC GROUP,
GENERALLY LOCATED AT 10001 16TH STREET NORTH;
AND PROVIDING AN EFFECTIVE DATE.

BE IT RESOLVED by the City Council of the City of St. Petersburg, Florida, that the
plat of NAC Group, generally located at 10001 16th Street North, is hereby approved.

This resolution shall become effective immediately upon its adoption.

APPROVED AS TO FORM AND CONTENT:



Planning & Economic Development Dept.

9-20-13

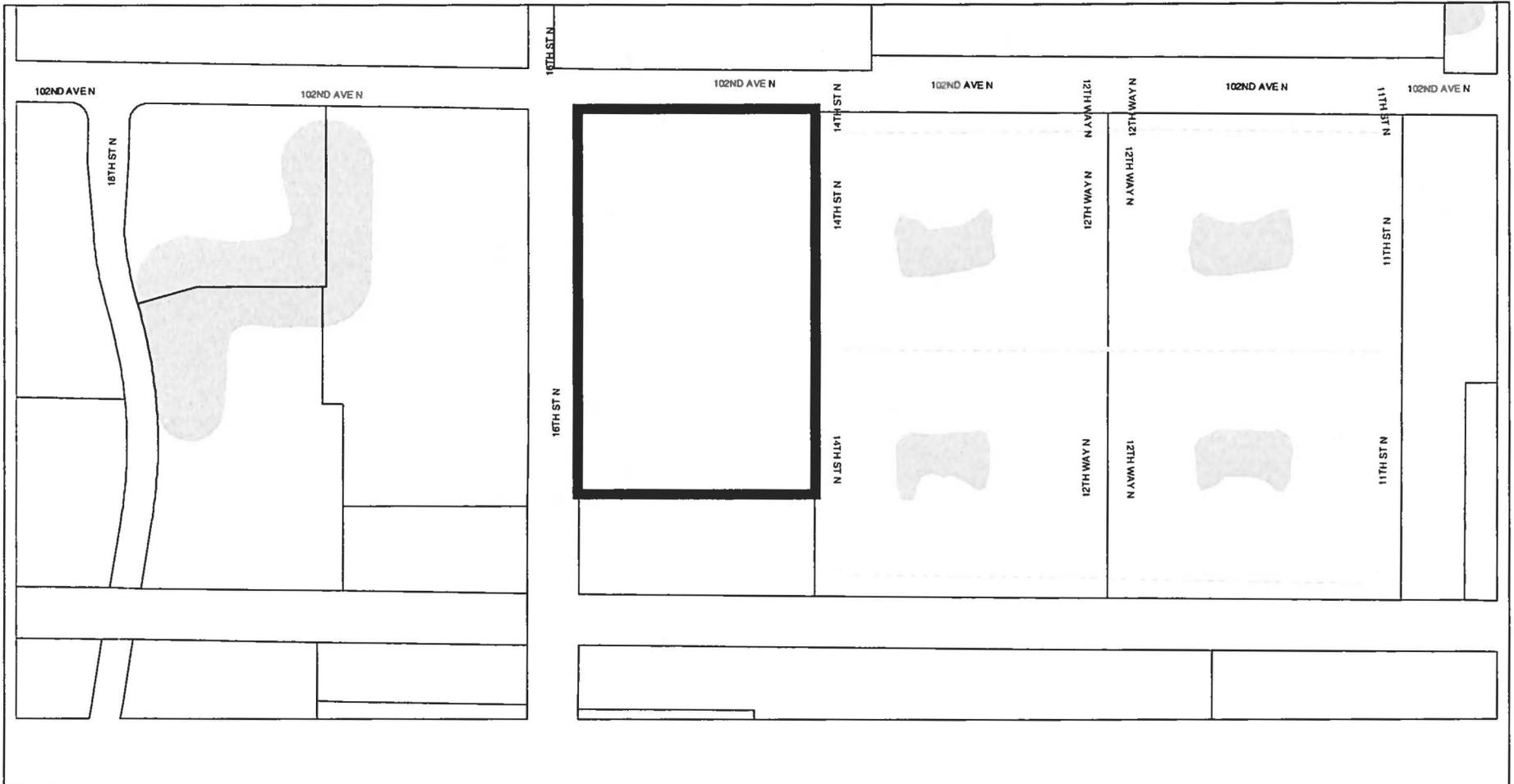
Date



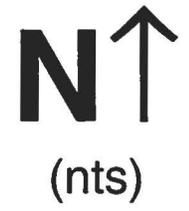
City Attorney (Designee)

9/20/13

Date

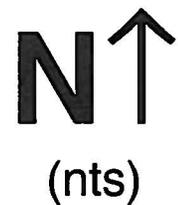


Planning & Economic Development
 Department
 Case No.: 10-20000010
 Address: 10001 16th Street North





Planning & Economic Development
Department
Case No.: 10-20000010
Address: 10001 16th Street North



NAC GROUP

BEING A REPLAT OF A PORTION OF LOT 2, BLOCK C, NORTHGATE OF ST. PETERSBURG, FIRST ADDITION, AS RECORDED
IN PLAT BOOK 67, PAGES 25, 26 AND 27, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.
LYING IN SECTION 24, TOWNSHIP 30 SOUTH, RANGE 16 EAST, CITY OF ST. PETERSBURG
PINELLAS COUNTY, FLORIDA

LEGAL DESCRIPTION:

The West 460.89 feet of Lot 2, in Block "C", NORTHGATE OF ST. PETERSBURG, FIRST ADDITION, according to the plat thereof, recorded in Plat Book 67, Pages 25, 26 and 27, of the Public Records of Pinellas County, Florida, LESS AND EXCEPT THE South 190 feet thereof. More particularly described as follows:

Commence at the Northwest corner of said Lot 2, Block C, NORTHGATE OF ST. PETERSBURG, FIRST ADDITION for a Point of Beginning, thence run along the South Right-of-Way of 102nd Avenue North and the North line of said Lot 2, S 89°33'23" E, 460.89 feet; thence S 00°02'40" W, 752.73 feet; thence N 89°34'53" W, 460.89 feet to the East Right-of-Way of 18th Street North and the West line of said Lot 2; thence N 00°02'40" E, 752.93 feet along said East Right-of-Way and West line of Lot 2 to the Point of Beginning. Containing 7.97 Acres (More Or Less).

DEDICATION:

The undersigned hereby certify that Johnathan M. Stanton is the owner of the above described property and that besides his interests therein, there are no other outstanding interests in said property, which property is hereby platted as NAC GROUP.

OWNER:

Johnathan M. Stanton

Witness Name Printed

Witness Signature

Witness Name Printed

Witness Signature

ACKNOWLEDGMENT:

STATE OF FLORIDA)
COUNTY OF PINELLAS) SS

Before me personally appeared Johnathan M. Stanton, to be known to me or produced _____ to be the person described in and who executed the foregoing instrument, and who acknowledged to me the execution thereof to be his free act and deed for the uses and purposes herein mentioned.

Witness my hand and Official Seal this _____ Day of _____, 2013.

Signature of Notary Public

Notary Public State of _____

Name of Notary (Printed)

My Commission Expires

CERTIFICATE OF APPROVAL OF CITY COUNCIL:

Approved by the City Council of the City of St. Petersburg, Pinellas County, Florida, this _____ Day of _____, 2013.

Chairman (Printed Name)

Signature

CERTIFICATE OF APPROVAL OF MAYOR

Approved for the City of St. Petersburg, Pinellas County, Florida, this _____ Day of _____ 20_____; provided that the plat is recorded in the public records of Pinellas County, Florida, within six (6) months from the date of this approval.

Mayor

CERTIFICATE OF APPROVAL OF COUNTY CLERK:

STATE OF FLORIDA)
COUNTY OF PINELLAS) SS

I, Ken Burke, Clerk of the Circuit Court of Pinellas County, Florida, Hereby Certify that this Plat has been examined and that it complies in form with all the requirements of the Statutes of Florida pertaining to Maps and Plats, and that this Plat has been filed for record in Plat Book _____, Pages _____ Public Records of Pinellas County, Florida, this _____ Day of _____, 2013.

Ken Burke, Clerk
Pinellas County, Florida

Deputy Clerk's Name (Printed)

Signature

REVIEWED FOR CONFORMITY TO CHAPTER 177, PART 1, FLORIDA STATUTES:

This Plat has been reviewed and found to conform with the provisions of Chapter 177, Florida Statutes, relating to the making of Maps and Plats, this _____ Day of _____, 2013.

Signed _____

Printed Name: Matthew Pickel

Florida Registered Surveyor and Mapper

Registration Number: #6125

SURVEYOR'S CERTIFICATE:

I, Donald E. Armstrong Jr., hereby Certify that on _____ this property was surveyed and this Plat is a true representation of the lands described and shown, that it was prepared under my direction and supervision and that permanent reference monuments and permanent control points have been placed as indicated hereon in accordance with the Chapter 177, Part 1, Florida Statutes, and that this Plat complies with all the requirements of Section 177.081, Florida Statutes, pertaining to materials and composition.

Donald E. Armstrong Jr.
State of Florida, Licensed Land Surveyor #5083

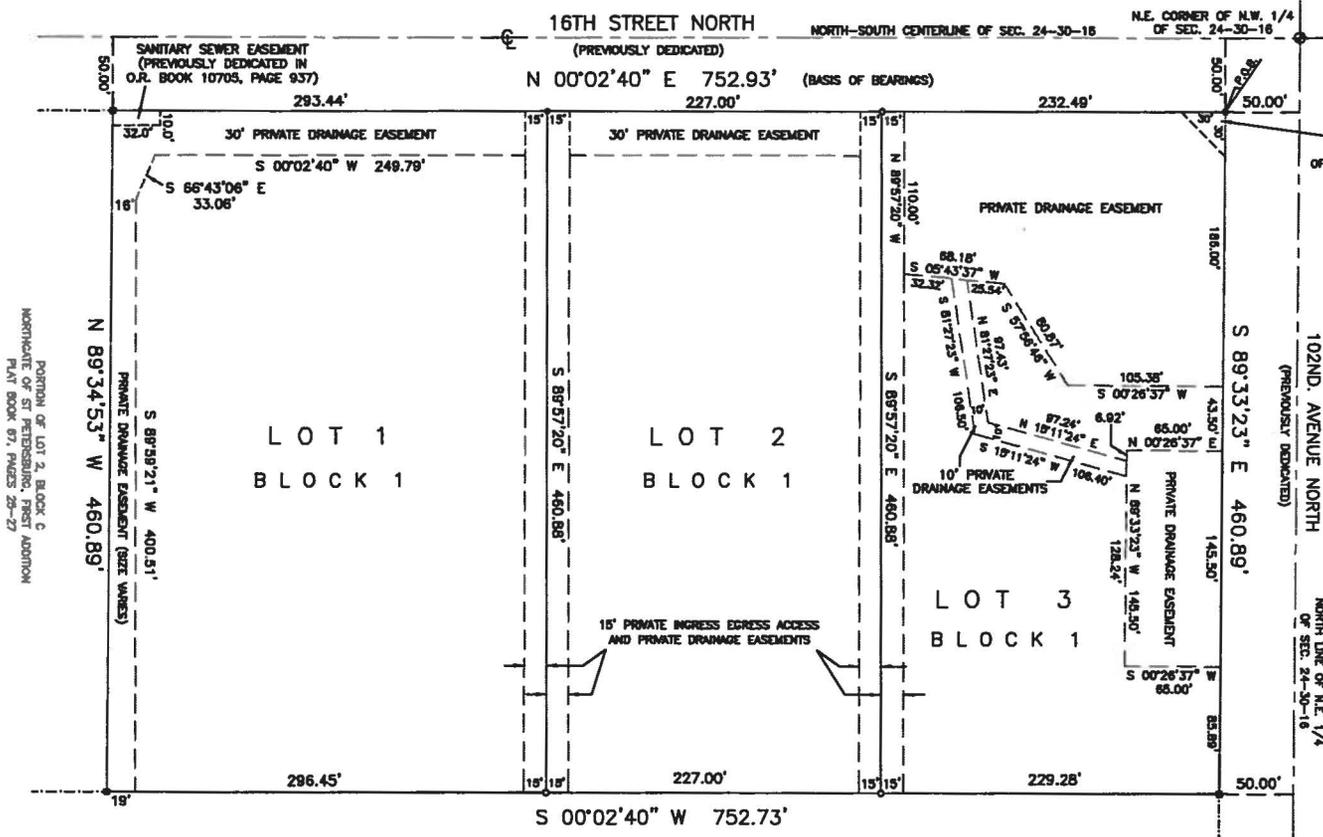
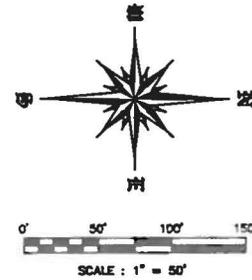


DON ARMSTRONG LAND SURVEYING, LLC

2187 NORTH GREEN RIDGE PLACE - PALM HARBOR, FLORIDA 34683
PHONE : (727) 772-8134 - EMAIL : ARMSTRONGLANDSURVEYING@VERIZON.NET
FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER L.B. 7609

NAC GROUP

BEING A REPLAT OF A PORTION OF LOT 2, BLOCK C, NORTHGATE OF ST. PETERSBURG, FIRST ADDITION, AS RECORDED IN PLAT BOOK 67, PAGES 25, 26 and 27, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA. LYING IN SECTION 24, TOWNSHIP 30 SOUTH, RANGE 16 EAST, CITY OF ST. PETERSBURG PINELLAS COUNTY, FLORIDA



PORTION OF LOT 2, BLOCK C, NORTHGATE OF ST. PETERSBURG, FIRST ADDITION PLAT BOOK 67, PAGES 25-27

EASEMENT FOR ROADWAY PURPOSES (PREVIOUSLY DEDICATED ON PLAT OF NORTHGATE OF ST. PETERSBURG, FIRST ADDITION)

NOTES:

- 1) BEARINGS SHOWN ARE BASED UPON THE WEST LINE OF LOT 2, BLOCK C, NORTHGATE OF ST. PETERSBURG, FIRST ADDITION BEING N 00°02'40" E, AS SHOWN ON SAID PLAT.
- 2) THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF PINELLAS COUNTY.
- 3) NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT.
- 4) ALL PLATTED PUBLIC UTILITY EASEMENTS SHALL PROVIDE THAT SUCH EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES. PROVIDED HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES. THIS SECTION SHALL NOT APPLY TO THOSE PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICULAR ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION SHALL COMPLY WITH THE NATIONAL ELECTRICAL SAFETY CODE AS ADOPTED BY THE FLORIDA PUBLIC SERVICE COMMISSION.
- 5) ALL OF THE EXISTING STORM DRAINAGE STRUCTURES LYING WITHIN THE PRIVATE DRAINAGE EASEMENTS SHALL REMAIN PRIVATELY OWNED AND MAINTAINED.
- 6) NO BUILDING OR OTHER OBSTRUCTION SHALL BE ERRECTED, AND NO TREES OR SHRUBBERY SHALL BE PLANTED ON ANY PUBLIC EASEMENT, OTHER THAN FENCES, TREES, SHRUBBERY AND HEDGES OF TYPE APPROVED BY THE CITY. ALL COSTS INVOLVING REPAIRING HARD SURFACES, REMOVAL AND REPLACEMENT OF FENCES, WALLS, TREES, SHRUBBERY AND HEDGES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS.
- 7) ALL LANDSCAPING IN PUBLIC EASEMENTS SHALL BE THE MAINTENANCE RESPONSIBILITY OF THE PROPERTY OWNER.

PORTION OF LOT 2, BLOCK C, NORTHGATE OF ST. PETERSBURG, FIRST ADDITION PLAT BOOK 67, PAGES 25-27

LEGEND:

- F.C.M. 4" x 4", P.R.M. L.B. #728
- SET NAIL AND DISC, R.L.S. #5063
- SET 1/2" IRON ROD, R.L.S. #5083
- F.C.M. FOUND CONCRETE MONUMENT
- P.R.M. PERMANENT REFERENCE MONUMENT
- P.C.P. PERMANENT CONTROL POINT
- P.O.B. POINT OF BEGINNING
- P.O.C. POINT OF COMMENCEMENT
- R.L.S. REGISTERED LAND SURVEYOR
- R/W RIGHT-OF-WAY
- L.B. SURVEYING BUSINESS AUTHORIZATION NUMBER
- SEC. SECTION
- ☐ CENTERLINE



DON ARMSTRONG LAND SURVEYING, LLC

2187 NORTH GREEN RIDGE PLACE - PALM HARBOR, FLORIDA 34683
 PHONE : (727) 772-8134 - EMAIL : ARMSTRONGLANDSURVEYING@VERIZON.NET
 FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER L.B. 7609

Attached documents for item Approving a plat of Crescent View Townhomes, generally located at 1052 - 6th Street North. (City File 13-20000001)



SAINT PETERSBURG CITY COUNCIL

Meeting of October 17, 2013

TO: THE HONORABLE KARL NURSE, CHAIR, AND MEMBERS OF CITY COUNCIL

SUBJECT: Resolution approving the plat of *Crescent View Townhomes*, generally located at 1052 6th Street North (Our File: 13-20000001).

RECOMMENDATION: The Administration recommends **APPROVAL**.

DISCUSSION:

The applicant is requesting approval of a replat of Lot 13, Avocado Subdivision, which measures approximately 4,851 square feet in area. The property is zoned Neighborhood Traditional (NT-2) and is developed with a four (4) unit condominium complex. The purpose of the replat is to modify the condominiums into townhomes. The address of the property is 1052 6th Street North and it is located at the southwest corner of 6th Street North and 11th Avenue North. The following variances for this plat were approved: 1) minimum lot width and area and 2) the requirement that lots front on a public street.

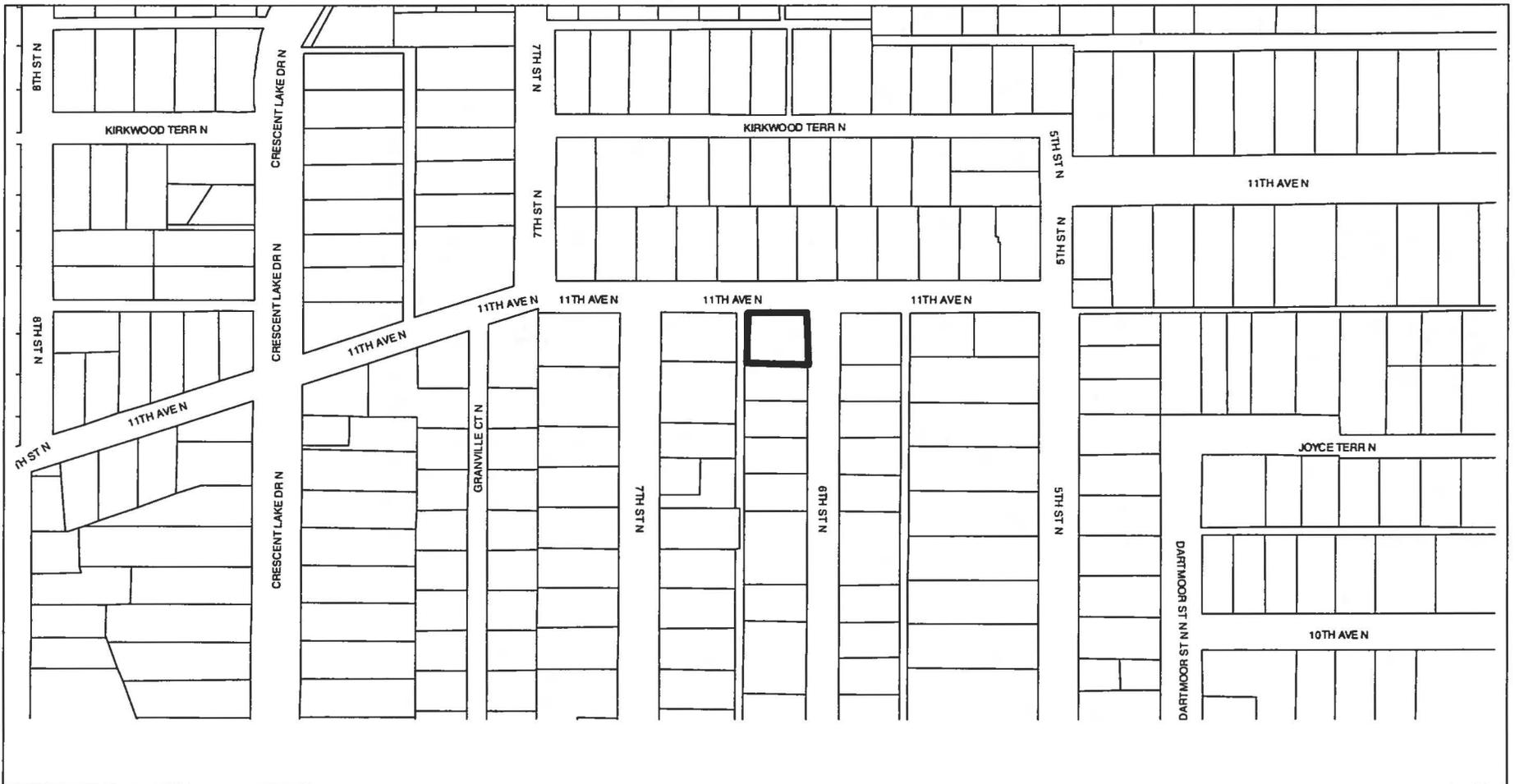
Attachments: Map, Aerial, Resolution

APPROVALS:

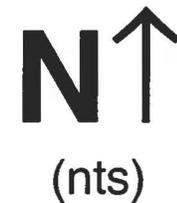
Administrative: Chris Elliott DG

Budget: NA

Legal: JWA

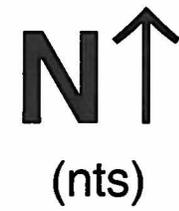


Planning & Economic Development
 Department
 Case No.: 13-20000001
 Address: 1052 6th Street North





Planning & Economic Development
Department
Case No.: 13-20000001
Address: 1052 6th Street North



CRESCENT VIEW TOWNHOMES

A REPLAT OF LOT 13, AVOCADO SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 6, PAGE 61 OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, LYING IN SECTION 18, TOWNSHIP 31 SOUTH, RANGE 17 EAST, CITY OF ST. PETERSBURG, PINELLAS COUNTY, FLORIDA

LEGAL DESCRIPTION:

LOT 13, AVOCADO SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 6, PAGE 61 OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA

CERTIFICATE OF APPROVAL OF MAYOR:

APPROVED FOR CITY OF PETERSBURG, PINELLAS COUNTY, FLORIDA THIS _____ DAY OF _____, A.D. 2013; PROVIDED THAT THE PLAT IS RECORDED IN THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, WITHIN SIX MONTHS FROM THE DATE OF THIS APPROVAL.

MAYOR: BILL FOSTER

CERTIFICATE OF APPROVAL OF CITY COUNCIL:

APPROVED BY THE CITY COUNCIL OF THE CITY OF PETERSBURG, PINELLAS COUNTY, FLORIDA.

THIS _____ DAY OF _____, A.D. 2013.

COUNCIL CHAIR _____

CERTIFICATE OF APPROVAL COUNTY CLERK:

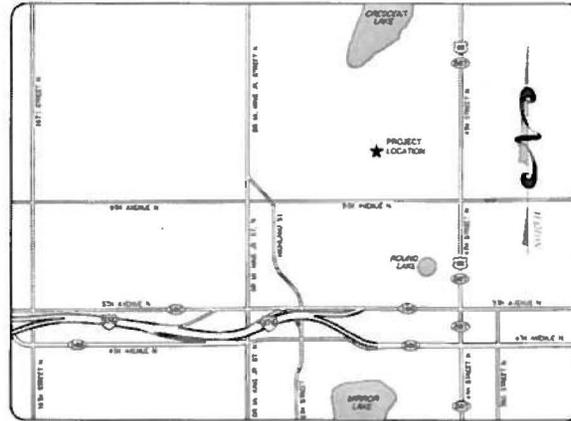
STATE OF FLORIDA
COUNTY OF PINELLAS

I, KEN BURKE, CLERK OF THE CIRCUIT COURT OF PINELLAS COUNTY, FLORIDA HEREBY CERTIFY THAT THIS PLAT HAS BEEN EXAMINED AND THAT IT COMPLIES IN FORM WITH ALL THE REQUIREMENTS OF THE STATUTES OF FLORIDA PERTAINING TO MAPS AND PLATS AND THAT THIS MAP HAS BEEN FILED FOR RECORD IN PLAT BOOK _____, PAGE _____, PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, SIGNED ON THIS _____ DAY OF _____, A.D. 2013, AT _____.

DEPUTY CLERK
KEN BURKE, CLERK
PINELLAS COUNTY, FLORIDA

BY: _____

DATE: _____



LOCATION MAP - ST. PETERSBURG, FLORIDA
(NOT TO SCALE)

PLAT NOTES:

1. BASIS OF BEARINGS IS S89°00'00"E. THE SOUTH RIGHT OF WAY LINE OF 11th AVENUE NORTH THE NORTH BOUNDARY LINE OF LOT 13, AVOCADO SUBDIVISION.
2. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON SURFACE MARKINGS AND OR STRUCTURES. NO EXCAVATION WAS PERFORMED FOR THE LOCATION OF SUCH UTILITIES.
3. ALL INSTRUMENTS SHOWN HEREON ARE OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, UNLESS OTHERWISE SPECIFIED.
4. ALL PUBLIC UTILITY EASEMENTS MUST PROVIDE THAT SUCH EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES; PROVIDED HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES. THIS SECTION SHALL NOT APPLY TO THOSE PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICULAR ELECTRIC, TELEPHONE, GAS OR OTHER PUBLIC UTILITY.
5. SUBDIVISION PLATS BY NO MEANS REPRESENT A DETERMINATION ON WHETHER PROPERTIES WILL OR WILL NOT FLOOD, LAND WITHIN THE BOUNDARIES OF THIS PLAT MAY OR MAY NOT BE SUBJECT TO FLOODING. THE CITY OF ST. PETERSBURG BUILDING DEPARTMENT HAS INFORMATION REGARDING FLOODING AND RESTRICTIONS ON DEVELOPMENT.

NOTICE:

THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FOR OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

DEDICATION:

THE UNDERSIGNED HEREBY CERTIFIES THAT IT IS THE OWNER OF THE HEREOF DESCRIBED TRACT OF LAND HEREBY PLATTED AS CRESCENT VIEW TOWNHOMES, AND THAT IT DEDICATES TO THE PUBLIC ALL STREETS, ALLEYS, PUBLIC EASEMENTS, RIGHTS OF WAY AND PUBLIC AREAS SHOWN ON THIS PLAT FOR THE USES AND PURPOSES THEREON STATED.

(SIGNATURE)

(PRINT NAME)

SIGNED IN THE PRESENCE OF: _____ (TITLE)

(WITNESS)

(WITNESS)

(PRINT NAME)

(PRINT NAME)

ACKNOWLEDGEMENT:

STATE OF FLORIDA
COUNTY OF PINELLAS
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE THIS _____ DAY OF _____, A.D. 2013 BY _____ OF _____

ON BEHALF OF THE CORPORATION, HE IS PERSONALLY KNOWN TO ME OR HAS PRODUCED _____ AS IDENTIFICATION.

MY COMMISSION EXPIRES: _____

NOTARY PUBLIC, STATE OF FLORIDA AT LARGE

REVIEWED FOR CONFORMITY:

REVIEWED FOR CONFORMITY TO CHAPTER 177, PART 1, FLORIDA STATUTES BY A PROFESSIONAL SURVEYOR AND MAPPER UNDER CONTRACT OR EMPLOYED BY THE CITY OF ST. PETERSBURG, FLORIDA, ENGINEERING SURVEY DEPARTMENT.

MATTHEW D. PICKEL _____ DATE: _____
REVIEWING SURVEYOR AND MAPPER
FLORIDA PROFESSIONAL SURVEYOR AND
MAPPER NUMBER 6125
CITY OF ST. PETERSBURG ENGINEERING
SURVEY DEPARTMENT

SURVEYOR'S CERTIFICATION:

I, DENNIS J. EYRE, THE SURVEYOR MAKING THIS PLAT, DO HEREBY CERTIFY THAT THIS PLAT WAS PERPARED UNDER MY DIRECTION AND SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS PLAT COMPLES WITH ALL THE SURVEY REQUIREMENTS OF PART 1, CHAPTER 177, FLORIDA STATE STATUTES; THAT PERMANENT REFERENCE MONUMENTS (P.R.M.S.) HAVE BEEN SET AND LOT CORNER MONUMENTATION HAS BEEN SET.

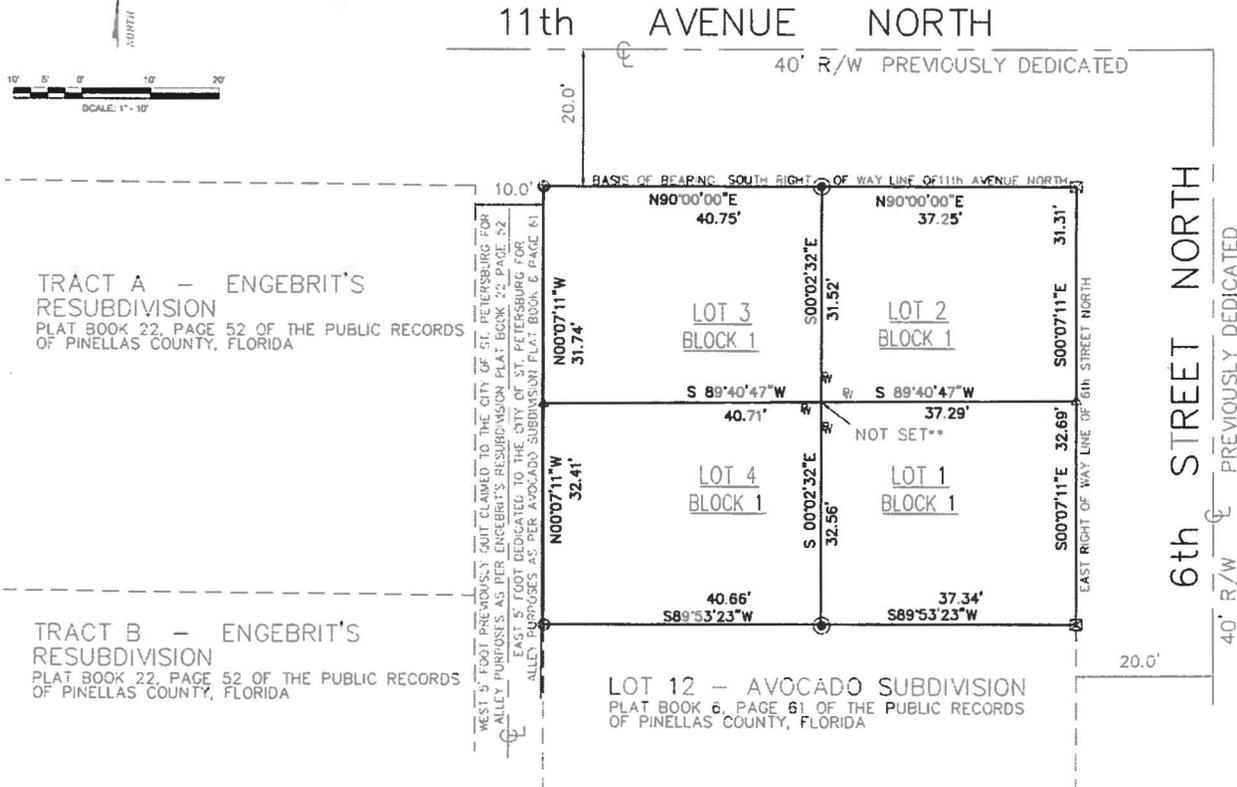
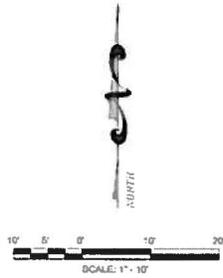
DENNIS J. EYRE
PROFESSIONAL SURVEYOR AND MAPPER
CERTIFICATION NUMBER 2865
CLEARWATER, FLORIDA 33765
PHONE: (727) 447-1763

GEODATA SERVICES INC.
1822 DREW ST. SUITE 8
CLEARWATER, FL 33765
PHONE: (727) 447-1763

LD 7466

CRESCENT VIEW TOWNHOMES

A REPLAT OF LOT 13, AVOCADO SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 6, PAGE 61 OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, LYING IN SECTION 18, TOWNSHIP 31 SOUTH, RANGE 17 EAST, CITY OF ST. PETERSBURG, PINELLAS COUNTY, FLORIDA



ABBREVIATION LEGEND:

- C = CURB LINE
- CONC = CONCRETE
- OPB = CONCURRED PLAT BOOK
- C/S = CONCRETE SLAB
- CONC = CONCRETE SIDEWALK
- STP = STAIN FEE SLICE
- DBI = DEED BOOK
- SPR = SPINE WAS
- EDP = EDGE OF PAVEMENT
- FOR = FOUND CARVED IRON ROD
- FCM = FOUND CONCRETE MONUMENT
- FRP = FOUND IRON PIPE
- FRP = FOUND IRON PLUMB PIPE
- FRP = FOUND OPEN PIPE & CAP
- Q = QUOTE
- LSB = LICENSED SURVEYOR
- LP = LIGHT POLE
- (M) = MEASURED DATA
- MOL = MORE OR LESS
- OCIS = OVERHEAD CONTROL STRUCTURE
- OWP = OVERHEAD WIRE
- (P) = DATA PER PLAT
- FB = FLAT BOOK
- W/F = WOOD FENCE
- PERM = PERMANENT CONTROL POINT
- PT = PARTY WALL
- PLS = PROFESSIONAL LAND SURVEYOR
- POB = POINT OF BEGINNING
- POC = POINT OF COMMENCEMENT
- PCP = REINFORCED CONCRETE PIPE
- G/R = 8047-CF-847
- SM = SET IRON & CAP 5/2" x 3 LB 7486
- SMH = STORM SEWER MANHOLE
- SMH = SANITARY SEWER MANHOLE
- SMH = 4" IRON METEER
- WV = WATER VALVE
- SW = SET CONCRETE MONUMENT PLS #2865 4"x4"
- SWO = SET NAIL AND PSH PLS #2865
- PRM = PERMANENT REFERENCE MONUMENT
- PRM = PERMANENT CONTROL POINT REFERENCE MONUMENT

SYMBOL LEGEND:

- ⊕ = WATER METER
 - ⊕ = FIRE HYDRANT
 - ⊕ = UTILITY POLE
 - ⊕ = CURB MANHOLE
 - ⊕ = BACK-FLOW PREVENTER
 - ⊕ = MANHOLE
 - ⊕ = SANITARY MANHOLE
 - ⊕ = SANITARY CLEANOUT
 - ⊕ = STORM MANHOLE
 - ⊕ = AIR RELEASE MANHOLE
 - ⊕ = STORM GRATE INLET
 - ⊕ = PLUG ON MANHOLE (MORE OR LESS)
 - ⊕ = GRACE TRAP
 - ⊕ = LIGHT POLE
 - ⊕ = WELL
 - ⊕ = CENTERLINE
 - ⊕ = SAW TREE
 - ⊕ = EXISTING ELEVATION
 - ⊕ = HANDICAP
 - ⊕ = LOT NUMBER
 - ⊕ = SET NAIL AND DISK
 - ⊕ = SET CARVED IRON ROD
 - ⊕ = SET CONCRETE USUALMENT
 - ⊕ = SET CONCRETE MONUMENT
 - ⊕ = PERMANENT CONTROL POINT REFERENCE MONUMENT
- ** = UNABLE TO SET CORNER

GEODATA SERVICES INC.
 1822 DREW ST. SUITE 8
 CLEARWATER, FL 33765
 PHONE: (727) 447-1763
 LB 7486

Attached documents for item Approving a plat of Crescent Lake Townhomes-Phase II, generally located at 1901 - 5th Street North. (City File 13-20000003)



SAINT PETERSBURG CITY COUNCIL

Meeting of October 17, 2013

TO: THE HONORABLE KARL NURSE, CHAIR, AND MEMBERS OF CITY COUNCIL

SUBJECT: Resolution approving the plat of *Crescent Lake Townhomes – Phase II*, generally located at 1901 5th Street North (Our File: 13-20000003).

RECOMMENDATION: The Administration recommends **APPROVAL**.

DISCUSSION:

The applicant is requesting approval of a townhouse plat for property located between 4th and 5th Street North and 18th and 20th Avenue North. The property is generally located at 1901 5th Street North. The plat subdivides the property into seven (7) townhouse lots and includes common area for vehicular access. The property is zoned Neighborhood Suburban Multi-family (NSM-1), which permits townhouse development. The plat modifies the layout of the southern half of the original townhouse plat approved in 2004.

Attachments: Map, Aerial, Resolution

APPROVALS:

Administrative:  DG
Budget: NA
Legal: 

RESOLUTION NO. _____

A RESOLUTION APPROVING THE PLAT OF CRESCENT LAKE TOWNHOMES – PHASE II, GENERALLY LOCATED AT 1901 5TH STREET NORTH; AND PROVIDING AN EFFECTIVE DATE.

BE IT RESOLVED by the City Council of the City of St. Petersburg, Florida, that the plat of Crescent Lake Townhomes – Phase II, generally located at 1901 5th Street North, is hereby approved.

This resolution shall become effective immediately upon its adoption.

APPROVED AS TO FORM AND CONTENT:



Planning & Economic Development Dept.

9-18-13

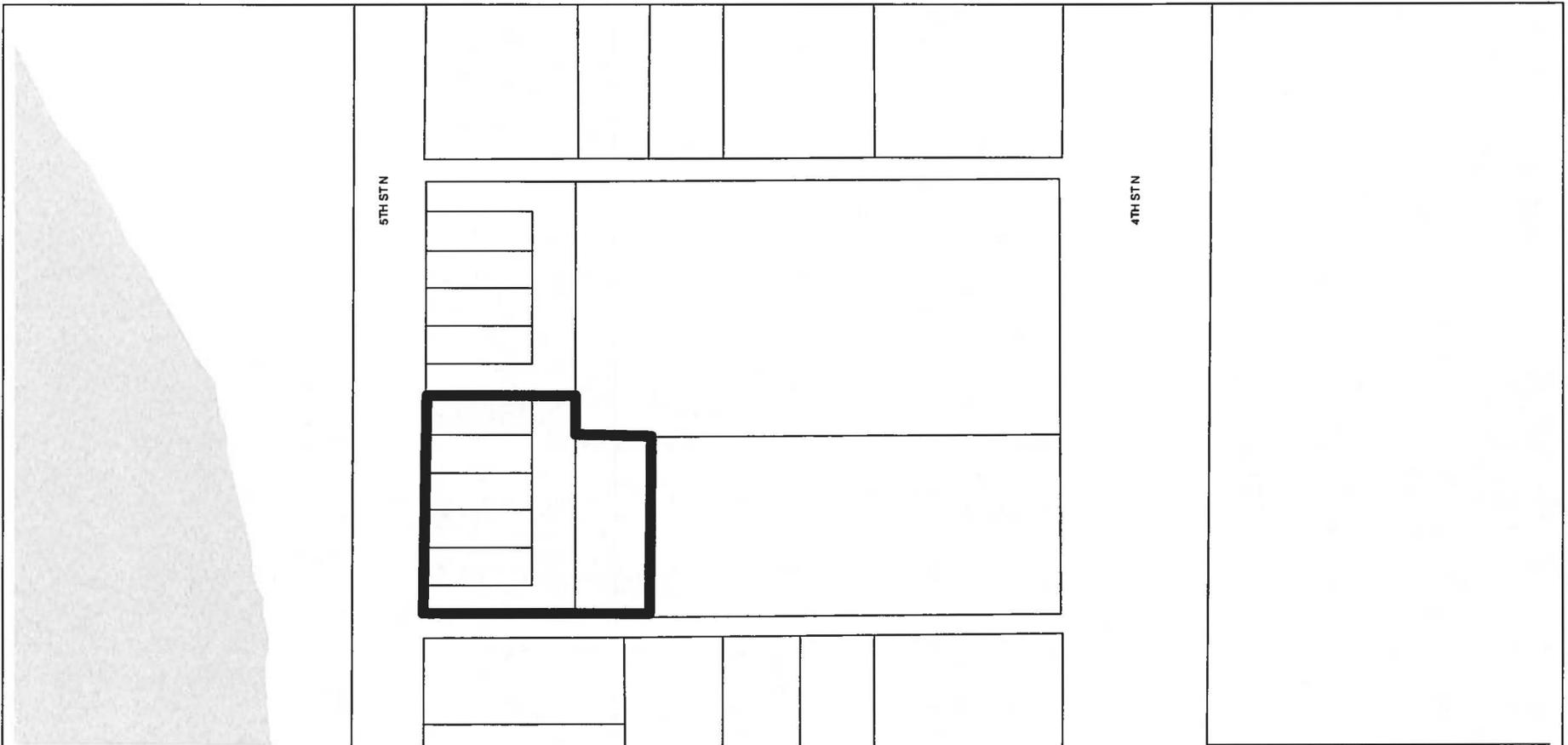
Date



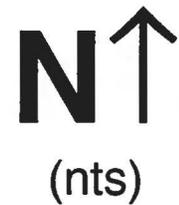
City Attorney (Designee)

9/20/13

Date

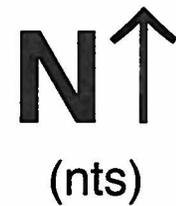


Planning & Economic Development
Department
Case No.: 13-20000003
Address: 1901 5th Street North





Planning & Economic Development
Department
Case No.: 13-20000003
Address: 1901 5th Street North



CRESCENT LAKE TOWNHOMES - PHASE II

BEING A REPLAT OF PARCEL 1, BLOCK 2, LOTS 1, 2, 3, 4, AND 5; PARCEL 2, BLOCK 3, LOT 1; AND PARCEL 3, CRESCENT LAKE TOWN HOMES, AS RECORDED IN PLAT BOOK 128, PAGE 48, PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, LYING IN SECTION 18, TOWNSHIP 31 SOUTH, RANGE 17 EAST, CITY OF ST. PETERSBURG, PINELLAS COUNTY, FLORIDA

DESCRIPTION:

PER 'ALTA/ASCM LAND TITLE SURVEY':

PARCEL 1:

LOTS 1 THROUGH 5, BLOCK 2, CRESCENT LAKE TOWN HOMES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 128, PAGE 48 OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

PARCEL 2:

LOT 1 BLOCK 3, CRESCENT LAKE TOWN HOMES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 128, PAGE 48 OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

PARCEL 3:

A PARCEL OF LAND LOCATED IN SECTION 18, TOWNSHIP 31 SOUTH, RANGE 17 EAST, IN PINELLAS COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHWEST CORNER OF THE PLAT OF CRESCENT LAKE TOWNHOMES RECORDED AT PLAT BOOK 128, PAGE 48, PINELLAS COUNTY, FLORIDA FOR A POINT OF BEGINNING AND RUN THENCE $00^{\circ}00'14"$ E, A DISTANCE OF 20.50 FEET; THENCE RUN $S89^{\circ}59'46"$ E, A DISTANCE OF 71.02 FEET; THENCE RUN $00^{\circ}00'14"$ E, A DISTANCE OF 126.14 FEET TO THE NORTHEAST CORNER OF LOT 1, BLOCK 2 OF SAID CRESCENT LAKE TOWN HOMES; THENCE FROM SAID NORTHEAST CORNER OF SAID LOT 1, BLOCK 2, CRESCENT LAKE TOWN HOMES RUN $S89^{\circ}59'46"$ E, A DISTANCE OF 29.0 FEET; THENCE RUN $S00^{\circ}00'14"$ W, A DISTANCE OF 148.64 FEET; THENCE RUN $N89^{\circ}58'59"$ W, A DISTANCE OF 100.02 FEET TO THE POINT OF BEGINNING.

CONTAINING 20873 SQUARE FEET, OR 0.474 ACRES, MORE OR LESS.

OWNER:

CRESCENT LAKE VENTURES, LLC
8878 MEADOW FIELD CIRCLE
SUITE 505
TAMPA, FL., 33628 US

MANAGER:

SAND KEY MANAGEMENT I, LLC
AGENT: JEFF CRAFT
8878 MEADOW FIELD CIRCLE
SUITE 505
TAMPA, FL., 33628 US

DEDICATION:

THE UNDERSIGNED HEREBY CERTIFY THAT CRESCENT LAKE TOWNHOMES, LLC IS THE OWNER OF THE ABOVE HEREON DESCRIBED PROPERTY AND THAT BEYOND ITS INTERESTS AND THE INTERESTS ACKNOWLEDGED BY RECORDED INSTRUMENT, THERE ARE NOT OUTSTANDING INTERESTS IN SAID PROPERTY, WHICH IS HEREBY PLATTED AS CRESCENT LAKE TOWNHOMES - PHASE II AND THAT IT DEDICATES TO THE PUBLIC ALL STREETS, ALLEYS, EASEMENTS, RIGHT OF WAY AND PUBLIC AREAS SHOWN ON THIS PLAT OF THE SUBDIVISION OF SAID LANCES FOR THE USES AND PURPOSES THEREON STATED.

CRESCENT LAKE VENTURES, LLC

JEFF CRAFT, MANAGER

WITNESS SIGNATURE

WITNESS PRINTED NAME

WITNESS SIGNATURE

WITNESS PRINTED NAME

ACKNOWLEDGMENT:

STATE OF FLORIDA
COUNTY OF PINELLAS

BEFORE ME THE UNDERSIGNED AUTHORITY, APPEARED JEFF CRAFT, PRESIDENT OF CRESCENT LAKE TOWNHOMES, LLC KNOWN TO BE THE INDIVIDUAL EXECUTING THE FOREGOING CERTIFICATE OF DEDICATION AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE SET OUT THEREIN. HE IS PERSONALLY KNOWN TO ME OR HAS PRODUCED A DRIVER'S LICENSE AS IDENTIFICATION AND WHO DID TAKE AN OATH.

WITNESS MY HAND AND OFFICIAL SEAL AT PINELLAS COUNTY, FLORIDA, THIS _____ DAY OF _____, 2013.

NOTARY PUBLIC
STATE OF FLORIDA

NOTARY PUBLIC: _____
PRINTED NAME: _____
EXPIRES: _____
COMMISSION NO.: _____
BONDED THRU: _____

CERTIFICATE OF APPROVAL BY THE CITY OF ST. PETERSBURG:

STATE OF FLORIDA
COUNTY OF PINELLAS

APPROVED FOR THE CITY OF ST. PETERSBURG, PINELLAS COUNTY, FLORIDA, THIS _____ DAY OF _____, A.D. 2013, PROVIDED THAT THIS PLAT IS RECORDED IN THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, WITHIN SIX (6) MONTHS FROM THE DATE OF THIS APPROVAL.

MAYOR

APPROVED BY THE CITY COUNCIL OF THE CITY OF ST. PETERSBURG, PINELLAS COUNTY, FLORIDA, THIS _____ DAY OF _____, 2013.

COUNCIL CHAIR

CERTIFICATE OF APPROVAL OF COUNTY CLERK:

STATE OF FLORIDA
COUNTY OF PINELLAS

I, KEN BURKE, CLERK OF THE CIRCUIT COURT OF PINELLAS COUNTY, FLORIDA, HEREBY CERTIFY THAT THIS PLAT HAS BEEN EXAMINED AND THAT IT COMPLIES IN FORM WITH ALL THE REQUIREMENTS OF THE STATUTES OF FLORIDA PERTAINING TO MAPS OR PLATS, AND THAT THIS PLAT HAS BEEN FILED FOR RECORD IN PLAT BOOK _____, PAGE _____, PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, THIS _____ DAY OF _____, 2013.

KEN BURKE, CLERK

DEPUTY CLERK

CERTIFICATE OF CONFORMITY:

REVIEWED FOR CONFORMITY TO CHAPTER 177, PART 1, FLORIDA STATUTES BY A PROFESSIONAL SURVEYOR AND MAPPER UNDER CONTRACT OR EMPLOYED BY THE CITY OF ST. PETERSBURG, FLORIDA.

MATTHEW D. PICKEL
FLORIDA PROFESSIONAL SURVEYOR AND MAPPER NO. 6125

DATE: _____

SURVEYOR'S CERTIFICATE:

I, DAVID WILLIAM MCDANIEL, OF DEUEL & ASSOCIATES, MAKER OF THIS PLAT, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND THAT IT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND THIS PLAT COMPLIES WITH THE REQUIREMENTS OF CHAPTER 177, PART 1, OF FLORIDA STATUTES, AND THAT ON THE XTH DAY OF XXXXXX, 2013, PERMANENT REFERENCE MONUMENTS (PRM's) AND LOT CORNERS WERE PLACED AS SHOWN HEREON, AS REQUIRED BY LAW. SIGNED ON THIS _____ DAY OF _____, 2013.

DANA A WYLLIE, PSM
PROFESSIONAL SURVEYOR AND MAPPER
STATE OF FLORIDA LS 5874
DEUEL & ASSOCIATES, LB 107
585 SOUTH HERCULES AVENUE
CLEARWATER, FL 33784
(727)822-4151
(727)821-7255 (FAX)

NOTICES:

THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCE BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT.

THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

DEUEL & ASSOCIATES
CONSULTING ENGINEERS LAND SURVEYORS LAND PLANNERS

869 SOUTH HERCULES AVENUE
CLEARWATER, FL 33784
PH 727.822.4151 FAX 727.821.7255
WWW.DEUELENGINEERING.COM
CERTIFICATE OF AUTHORIZATION NUMBER 28320
LICENSED BUSINESS NUMBER 107

CRESCENT LAKE TOWNHOMES - PHASE II

BEING A REPLAT OF PARCEL 1, BLOCK 2, LOTS 1, 2, 3, 4, AND 5; PARCEL 2, BLOCK 3, LOT 1; AND PARCEL 3, CRESCENT LAKE TOWN HOMES, AS RECORDED IN PLAT BOOK 128, PAGE 48, PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, LYING IN SECTION 18, TOWNSHIP 31 SOUTH, RANGE 17 EAST, CITY OF ST. PETERSBURG, PINELLAS COUNTY, FLORIDA

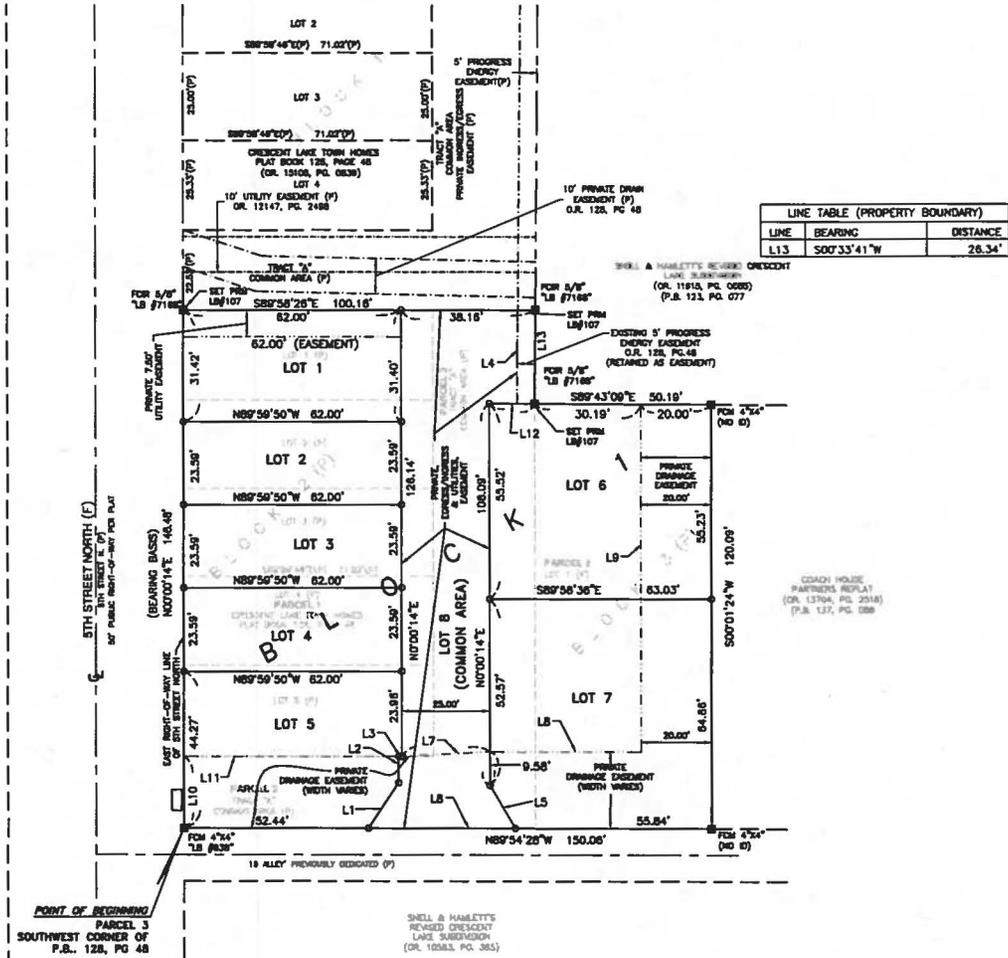


SYMBOL LEGEND

- = PERMANENT REFERENCE MONUMENT (PRM) FOUND
- = PERMANENT REFERENCE MONUMENT (PRM) SET
- = FOUND IRON ROD
- = SET IRON ROD

LEGEND

- FCR = FOUND CAPPED IRON ROD
- FCM = FOUND CONCRETE MONUMENT
- LB = LICENSED BUSINESS
- O.R. = OFFICIAL RECORD BOOK
- ORD = ORDINANCE
- P.B. = PLAT BOOK
- P.C. = PAGE/PAGES
- PRM = PERMANENT REFERENCE MONUMENT
- PSM = PROFESSIONAL SURVEYOR & MAPPER
- R = RANGE
- R/W = RIGHT-OF-WAY
- SEC. = SECTION
- SET = SET CAPPED IRON ROD
- SCM = SET CONCRETE MONUMENT
- TWP. = TOWNSHIP



LINE TABLE (PROPERTY BOUNDARY)		
LINE	BEARING	DISTANCE
L13	S00°33'41\"W	28.34'

Line Table		
Line #	Length	Direction
PARCEL AND EASEMENT LINES		
L1	15.53'	N33°40'52\"E
L2	7.48'	N0°00'14\"E
L3	0.95'	S89°59'50\"E
L5	14.17'	S30°23'21\"E
L6	41.78'	N89°54'28\"W
L12	12.86'	S89°43'09\"E
EASEMENT LINES ONLY		
L4	26.31'	S00°33'41\"W
L7	25.09'	N89°57'13\"E
L8	43.01'	S89°58'27\"E
L9	98.33'	N0°01'33\"E
L10	20.35'	N0°00'14\"E
L11	62.00'	S89°59'50\"E

NOTICES:
THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCE BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

DEUEL & ASSOCIATES
CONSULTING ENGINEERS LAND SURVEYORS LAND PLANNERS

565 SOUTH HERCULES AVENUE
CLEARWATER, FL 33764
PH 727.822.1511 FAX 727.821.7255
WWW.DEUELENGINEERING.COM
CERTIFICATE OF AUTHORIZATION NUMBER 26320
LICENSED BUSINESS NUMBER 107

Attached documents for item Approving a plat of Delmar Townhomes, generally located at 433 - 3rd Street South. (City File 13-20000004)



SAINT PETERSBURG CITY COUNCIL

Meeting of October 17, 2013

TO: THE HONORABLE KARL NURSE, CHAIR, AND MEMBERS OF CITY COUNCIL

SUBJECT: Resolution approving the plat of *Delmar Townhomes*, generally located at 433 3rd Street South (Our File: 13-20000004).

RECOMMENDATION: The Administration recommends **APPROVAL**.

DISCUSSION:

The applicant is requesting approval of a townhome plat on the southwest corner of 3rd Street South and Delmar Terrace South. The property is generally located at 433 3rd Street South and is 130 feet in width and 50 feet in depth. The plat subdivides the property into five (5) townhome lots. The property is zoned Downtown Center (DC-2). The purpose of the plat is to subdivide the property in order to construct five (5) townhomes.

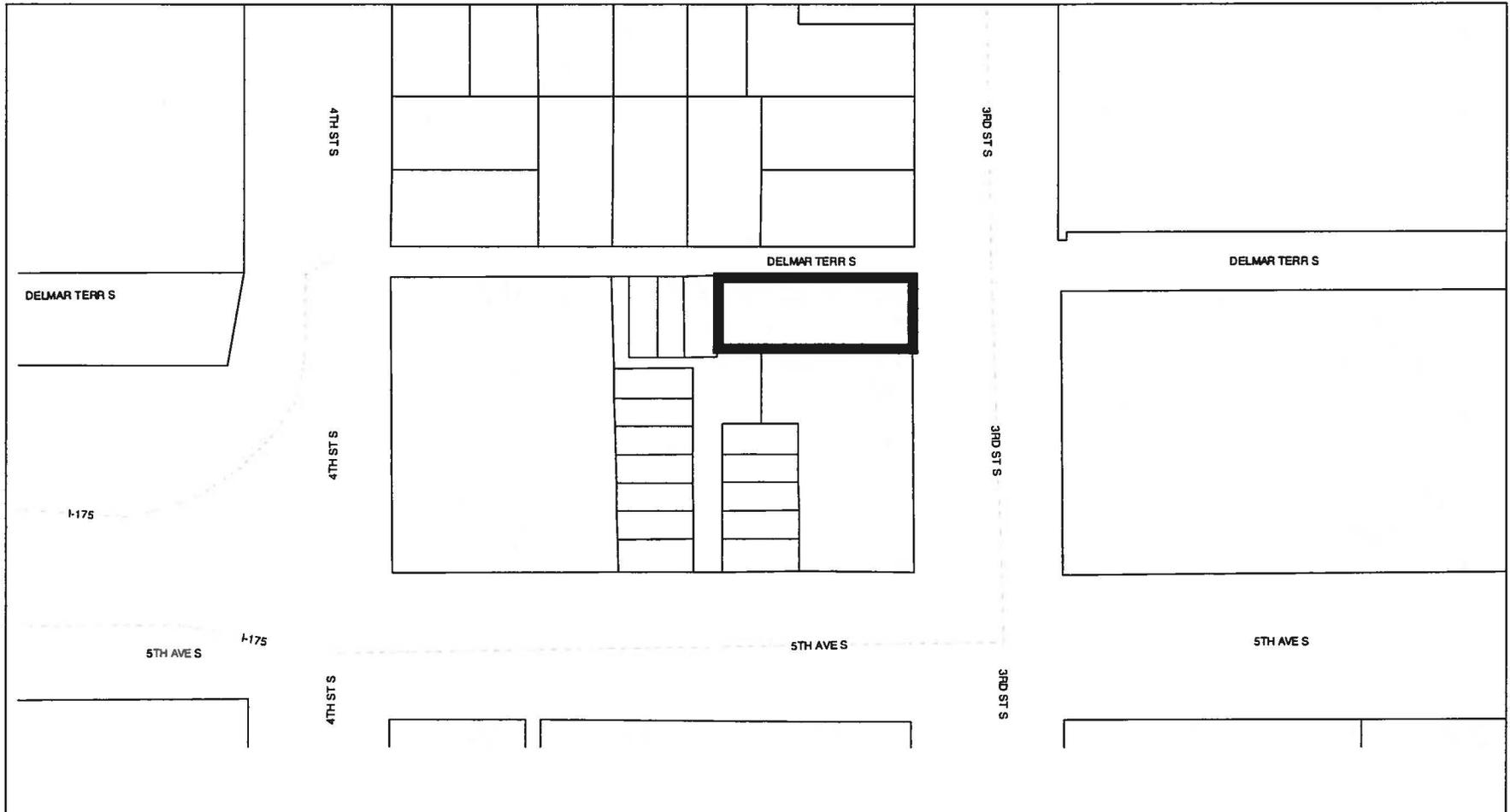
Attachments: Map, Aerial, Resolution

APPROVALS:

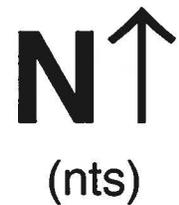
Administrative: _____

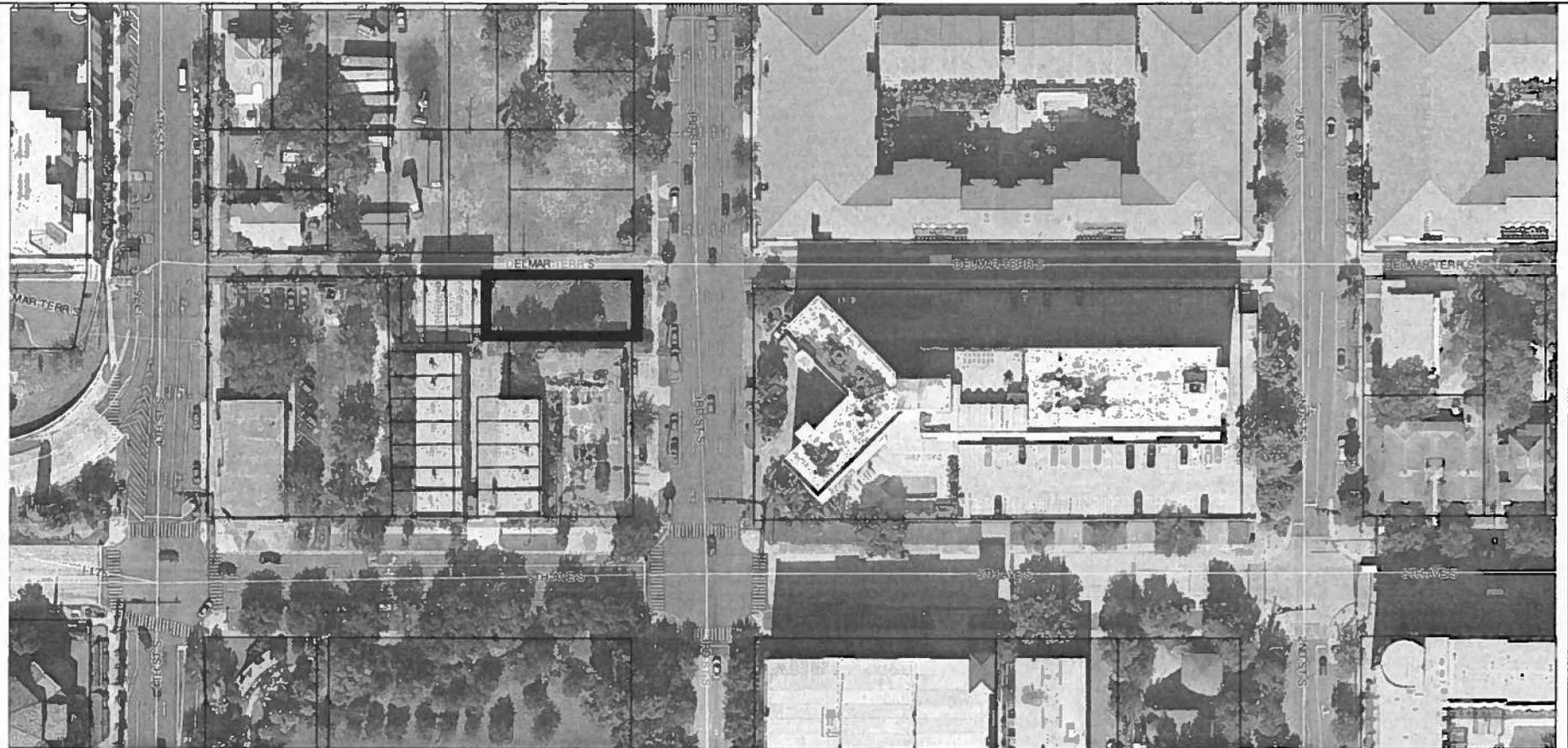
Budget: NA _____

Legal: _____

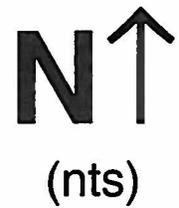


Planning & Economic Development
Department
Case No.: 13-20000004
Address: 433 3rd Street South





Planning & Economic Development
Department
Case No.: 13-20000004
Address: 433 3rd Street South



DELMAR TOWNHOMES

BEING A PLAT OF THE NORTH 50.00 FEET OF LOTS 14, 15 AND 16, LESS THE WEST 20.00 FEET OF THE NORTH 50.00 FEET OF LOT 14, ALL IN BLOCK 76, REVISED MAP OF THE CITY OF ST. PETERSBURG, FLORIDA ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 49, OF THE PUBLIC RECORDS OF HILLSBOROUGH COUNTY, FLORIDA, OF WHICH PINELLAS COUNTY WAS FORMERLY A PART, LYING IN SECTION 19, TOWNSHIP 31 SOUTH, RANGE 17 EAST, CITY OF ST. PETERSBURG, PINELLAS COUNTY, FLORIDA

DESCRIPTION:

THE NORTH 50.00 FEET OF LOTS 14, 15 AND 16, LESS THE WEST 20.00 FEET OF THE NORTH 50.00 FEET OF LOT 14, ALL IN BLOCK 76, REVISED MAP OF THE CITY OF ST. PETERSBURG, FLORIDA ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 49, OF THE PUBLIC RECORDS OF HILLSBOROUGH COUNTY, FLORIDA, OF WHICH PINELLAS COUNTY WAS FORMERLY A PART AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHEAST CORNER OF LOT 16, BLOCK 76, REVISED MAP OF THE CITY OF ST. PETERSBURG, FLORIDA, AS RECORDED IN PLAT BOOK 1, PAGE 49, PUBLIC RECORDS OF HILLSBOROUGH COUNTY, FLORIDA, OF WHICH PINELLAS COUNTY WAS FORMERLY A PART; THENCE ALONG THE EAST LINE OF SAID LOT 16, SAME BEING THE WEST RIGHT-OF-WAY LINE OF 3RD STREET SOUTH ACCORDING TO SAID REVISED MAP OF THE CITY OF ST. PETERSBURG, FLORIDA, S00°01'00"W, A DISTANCE OF 50.00 FEET, THENCE DEPARTING SAID EAST LINE OF LOT 16, S89°36'23"W, A DISTANCE OF 130.00 FEET; THENCE N00°00'34"E, A DISTANCE OF 50.14 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF DELMAR TERRACE SOUTH ACCORDING TO SAID REVISED MAP OF THE CITY OF ST. PETERSBURG, FLORIDA, THENCE ALONG SAID SOUTH LINE OF DELMAR TERRACE SOUTH, N90°00'00"E, A DISTANCE OF 130.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 8,310 SQUARE FEET, OR 0.149 ACRES, MORE OR LESS.

OWNER:
DELMAR TERRACE, LLC
8878 MEADOW FIELD CIRCLE
SUITE 503
TAMPA, FL., 33628, US

MANAGER:
SAND KEY MANAGEMENT I, LLC
AGENT: JEFF CRAFT
PO BOX 10153
TAMPA, FL., 33679, US

DEDICATION:

THE UNDERSIGNED HEREBY CERTIFY THAT DELMAR TERRACE, LLC IS THE OWNER OF THE ABOVE HEREON DESCRIBED PROPERTY AND THAT BESIDES ITS INTERESTS AND THE INTERESTS ACKNOWLEDGED BY RECORDED INSTRUMENT, THERE ARE NO OUTSTANDING INTERESTS IN SAID PROPERTY, WHICH IS HEREBY PLATTED AS DELMAR TOWNHOMES AND THAT IT DEDICATES TO THE PUBLIC ALL STREETS, ALLEYS, EASEMENTS, RIGHT OF WAY AND PUBLIC AREAS SHOWN ON THIS PLAT OF THE SUBDIVISION OF SAID LANDS FOR THE USES AND PURPOSES THEREON STATED.

DELMAR TERRACE, LLC

JEFF CRAFT, MANAGER

WITNESS SIGNATURE WITNESS PRINTED NAME

WITNESS SIGNATURE WITNESS PRINTED NAME

ACKNOWLEDGMENT:

STATE OF FLORIDA
COUNTY OF PINELLAS

BEFORE ME THE UNDERSIGNED AUTHORITY, APPEARED JEFF CRAFT, KNOWN TO BE THE INDIVIDUAL EXECUTING THE FOREGOING CERTIFICATE OF DEDICATION AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE SET OUT THEREIN. HE IS PERSONALLY KNOWN TO ME OR HAS PRODUCED A DRIVER'S LICENSE AS IDENTIFICATION AND WHO DID TAKE AN OATH.

WITNESS MY HAND AND OFFICIAL SEAL AT PINELLAS COUNTY, FLORIDA, THIS _____ DAY OF _____, 2013.

NOTARY PUBLIC
STATE OF FLORIDA

NOTARY PUBLIC: _____
PRINTED NAME: _____
EXPIRES: _____
COMMISSION NO.: _____
BONDED THRU: _____

SURVEYOR NOTES:

- BEARINGS FOR THIS PLAT SURVEY ARE BASED ON THE SOUTH RIGHT-OF-WAY LINE OF DELMAR TERRACE SOUTH, BEING ASSUMED AS N90°00'00"E.
- ALL PLATTED PUBLIC UTILITY EASEMENTS SHALL PROVIDE THAT SUCH EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES, PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. IN THE EVENT THE CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES. THIS SECTION SHALL NOT APPLY TO THOSE PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICULAR ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION SHALL COMPLY WITH THE NATIONAL ELECTRICAL SAFETY CODE AS ADOPTED BY THE FLORIDA PUBLIC SERVICE COMMISSION.
- THE HOMEOWNER'S ASSOCIATION SHALL BE RESPONSIBLE FOR THE PRIVATE STORMWATER POND MAINTENANCE WITHIN THE PRIVATE DRAINAGE EASEMENT AND FOR MAINTENANCE OF THE FIRE LINE AND WATER SERVICE LINE WITHIN THE PUBLIC UTILITY EASEMENT.

CERTIFICATE OF APPROVAL BY THE CITY OF ST. PETERSBURG:

STATE OF FLORIDA
COUNTY OF PINELLAS

APPROVED FOR THE CITY OF ST. PETERSBURG, PINELLAS COUNTY, FLORIDA, THIS _____ DAY OF _____, A.D. 2013, PROVIDED THAT THIS PLAT IS RECORDED IN THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, WITHIN SIX (6) MONTHS FROM THE DATE OF THIS APPROVAL.

MAYOR
APPROVED BY THE CITY COUNCIL OF THE CITY OF ST. PETERSBURG, PINELLAS COUNTY, FLORIDA, THIS _____ DAY OF _____, 2013.

COUNCIL CHAIR

CERTIFICATE OF APPROVAL OF COUNTY CLERK:

STATE OF FLORIDA
COUNTY OF PINELLAS

I, KEN BURKE, CLERK OF THE CIRCUIT COURT OF PINELLAS COUNTY, FLORIDA, HEREBY CERTIFY THAT THIS PLAT HAS BEEN EXAMINED AND THAT IT COMPLIES IN FORM WITH ALL THE REQUIREMENTS OF THE STATUTES OF FLORIDA PERTAINING TO MAPS OR PLATS, AND THAT THIS PLAT HAS BEEN FILED FOR RECORD IN PLAT BOOK _____, PAGE _____, PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, THIS _____ DAY OF _____, 2013.

KEN BURKE, CLERK BY: _____
DEPUTY CLERK

CERTIFICATE OF CONFORMITY:

REVIEWED FOR CONFORMITY TO CHAPTER 177, PART 1, FLORIDA STATUTES BY A PROFESSIONAL SURVEYOR AND MAPPER UNDER CONTRACT OR EMPLOYED BY THE CITY OF ST. PETERSBURG, FLORIDA.

MATTHEW D. PICKEL DATE:
FLORIDA PROFESSIONAL SURVEYOR AND MAPPER NO. 6125

SURVEYOR'S CERTIFICATE:

I, DAVID WILLIAM MCDANIEL, OF DEUEL & ASSOCIATES, MAKER OF THIS PLAT, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND THAT IT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND THIS PLAT COMPLIES WITH THE REQUIREMENTS OF CHAPTER 177, PART 1, OF FLORIDA STATUTES, AND THAT ON THE 26TH DAY OF XXXXXX, 2013, PERMANENT REFERENCE MONUMENTS (PRM's) AND LOT CORNERS WERE PLACED AS SHOWN HEREON, AS REQUIRED BY LAW, SIGNED ON THIS _____ DAY OF _____, 2013.

DAVID WILLIAM MCDANIEL, PSM
PROFESSIONAL SURVEYOR AND MAPPER
STATE OF FLORIDA LS 5840
DEUEL & ASSOCIATES, LP 107
565 SOUTH HERCULES AVENUE
CLEARWATER, FL 33764
(727)822-4151
(727)821-7255 (FAX)

NOTICES:

THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCE BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT.

THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

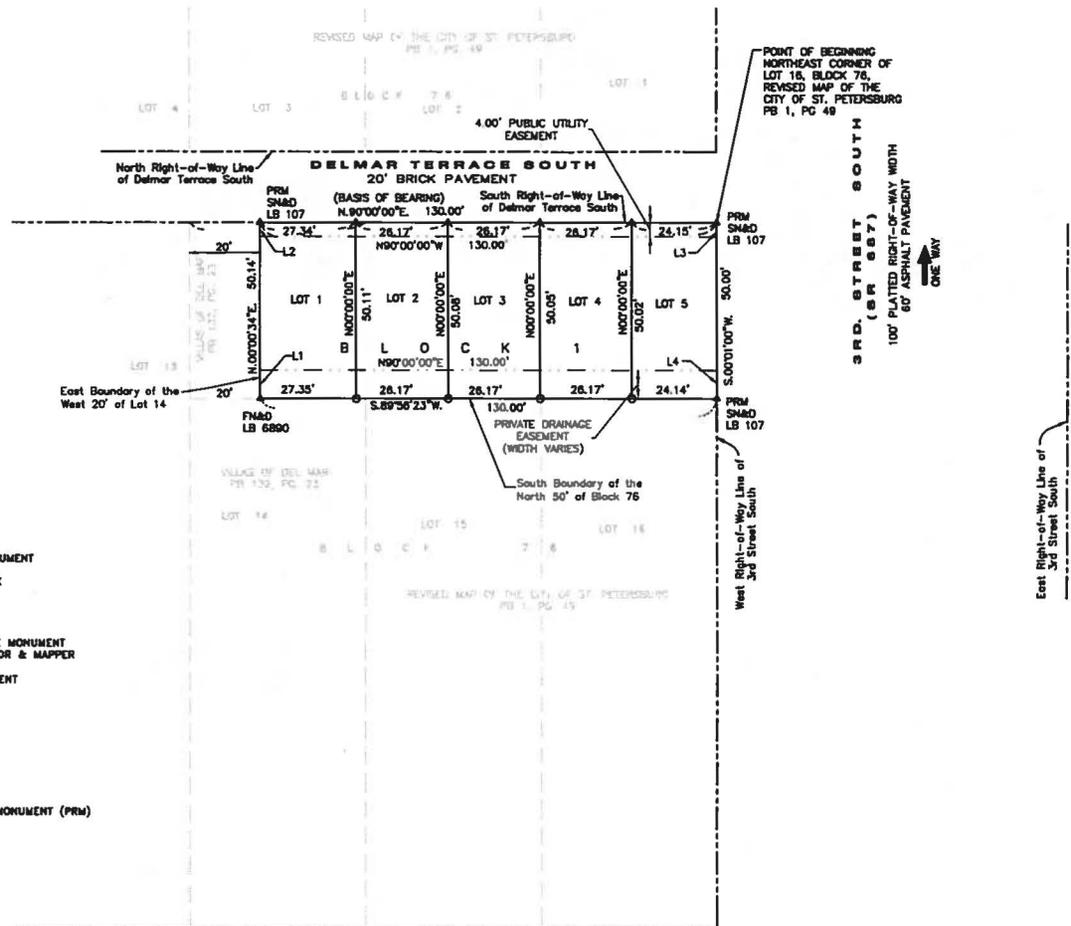


565 S. HERCULES AVENUE
CLEARWATER, FL 33764
PH 727.822.4151 FAX 727.821.7255
WWW.DEUELENGINEERS.COM
CERTIFICATE OF AUTHORIZATION NUMBER 26320
LICENSED BUSINESS NUMBER 107

DELMAR TOWNHOMES

BEING A PLAT OF THE NORTH 50.00 FEET OF LOTS 14, 15 AND 16, LESS THE WEST 20.00 FEET OF THE NORTH 50.00 FEET OF LOT 14, ALL IN BLOCK 76, REVISED MAP OF THE CITY OF ST. PETERSBURG, FLORIDA ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 49, OF THE PUBLIC RECORDS OF HILLSBOROUGH COUNTY, FLORIDA, OF WHICH PINELLAS COUNTY WAS FORMERLY A PART, LYING IN SECTION 19, TOWNSHIP 31 SOUTH, RANGE 17 EAST, CITY OF ST. PETERSBURG, PINELLAS COUNTY, FLORIDA

Line #	Length	Direction
L1	8.14'	N00°00'34"E
L2	4.00'	N00°00'34"E
L3	4.00'	S00°01'00"W
L4	8.00'	S00°01'00"W



LEGEND

- FCM FOUND CONCRETE MONUMENT
- LB LICENSED BUSINESS
- O.R. OFFICIAL RECORD BOOK
- ORD ORDINANCE
- (P) PLAT BOOK
- F.B. PLAT BOOK
- PG. PAGE/PAGES
- PRM PERMANENT REFERENCE MONUMENT
- PSM PROFESSIONAL SURVEYOR & MAPPER
- R/W RIGHT-OF-WAY
- SCM SET CONCRETE MONUMENT
- SR STATE ROAD

SYMBOL LEGEND

- = PERMANENT REFERENCE MONUMENT (PRM) SET
- ▲ = SET NAIL & DISC
- ▲ = FOUND NAIL & DISC
- = SET IRON ROD

NOTICES:
THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCE BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

DEUEL & ASSOCIATES
CONSULTING ENGINEERS LAND SURVEYORS LAND PLANNERS

2615 S. HERCULES AVENUE
CLEARWATER, FL 33764
PH 727.822.4191 FAX 727.821.7255
WWW.DEUELENGINEERS.COM
CERTIFICATE OF AUTHORIZATION NUMBER 28320
LICENSED BUSINESS NUMBER 107

Attached documents for item Authorizing the Mayor or his designee to execute a Lease Agreement with Coastal Sweets, LLC, a Florida limited liability company, d/b/a The Sweet Spot, to operate a customized ice cream retail store and uses ancillary thereto for a term of five (5) years

ST. PETERSBURG CITY COUNCIL

Consent Agenda

Meeting of October 17, 2013

TO: The Honorable Karl Nurse, Chair and Members of City Council

SUBJECT: A resolution authorizing the Mayor or his Designee to execute a Lease Agreement with Coastal Sweets, LLC, a Florida limited liability company, d/b/a The Sweet Spot, to operate a customized ice cream retail store and uses ancillary thereto for a term of five (5) years with one (1) five-year option to renew, for space in the historic main building of Sunken Gardens located at 1961 4th Street North, St. Petersburg, Florida, and to terminate the current lease agreement with Comas Enterprises, Inc., a Florida corporation, currently operating a Cold Stone Creamery franchise at the same location; and to execute all documents necessary to effectuate same; and providing an effective date.

EXPLANATION: Real Estate and Property Management received a request from Comas Enterprises, Inc. ("Comas") of its desire to sell its retail fixtures to Coastal Sweets, LLC, a Florida limited liability company, d/b/a The Sweet Spot ("Sweet Spot"), and terminate its lease with the City that would have expired in November 2014.

Sweet Spot has expressed a desire to lease the approximately 2,068 square feet of retail space and to continue selling ice cream and other confections.

The proposed lease offers the following business points:

- Rent will be paid monthly in an amount equal to ten percent (10%) of the gross dollar amount collected in the previous month, plus applicable sales tax.
- Common Area Maintenance shall be prorated based on the Premises area to total area of the common area of Sunken Gardens.
- Sweet Spot will notify its vendors not to use 20th Avenue North as a through street and may not use more than five (5) parking spaces for its employees.
- Chad Boyd, the Manager of Coastal Sweets, LLC shall provide a personal guaranty for payments during the term of the lease.

In order to implement the proposed current lease with Sweet Spot, it will be necessary to terminate the existing lease with Comas prior to execution of the lease with Sweet Spot

The Sweet Spot is a locally-owned family business started in 2006 in North Carolina. The proprietor is a St. Petersburg resident, living in the Old Northeast. In addition to the Sweet Spot, the family owns and operates "Paradise Grille" in Pass-a-Grille Beach and Upham Beach, and "J's Restaurant" in Gulfport.

RECOMMENDATION: Administration recommends that City Council adopt the attached resolution authorizing the Mayor or his designee to execute a Lease Agreement with Coastal Sweets, LLC, a Florida limited liability company, d/b/a The Sweet Spot, to operate a customized ice cream retail store and uses ancillary thereto for term of five (5) years with one (1) five-year option to renew for space in the historic main building of Sunken Gardens located at 1961 - 4th Street North, St. Petersburg, Florida, and to terminate the current lease agreement with Comas Enterprises, Inc., a Florida corporation currently operating a Cold Stone Creamery franchise at the same location; and to execute all documents necessary to effectuate same; and providing an effective date

COST/FUNDING/ASSESSMENT INFORMATION: N/A

ATTACHMENTS: Resolution

APPROVALS: Administration: R. Murrell 9-30-13 JB
Budget: N/A
Legal: R/SB
(As to consistency w/attached legal documents)
Legal: 00182120.doc V. 1

Resolution No. 2013 - _____

A RESOLUTION AUTHORIZING THE MAYOR OR HIS DESIGNEE TO EXECUTE A LEASE AGREEMENT WITH COASTAL SWEETS, LLC, A FLORIDA LIMITED LIABILITY COMPANY, D/B/A THE SWEET SPOT, TO OPERATE A CUSTOMIZED ICE CREAM RETAIL STORE AND USES ANCILLARY THERETO FOR TERM OF FIVE (5) YEARS WITH ONE (1) FIVE-YEAR OPTION TO RENEW FOR SPACE IN THE HISTORIC MAIN BUILDING OF SUNKEN GARDENS LOCATED AT 1961 - 4TH STREET NORTH, ST. PETERSBURG, FLORIDA; AND TO TERMINATE THE CURRENT LEASE AGREEMENT WITH COMAS ENTERPRISES, INC., A FLORIDA CORPORATION CURRENTLY OPERATING A COLD STONE CREAMERY FRANCHISE AT THE SAME LOCATION; AND TO EXECUTE ALL DOCUMENTS NECESSARY TO EFFECTUATE SAME; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, Real Estate and Property Management received a request from Comas Enterprises, Inc. ("Comas") of its desire to sell its retail fixtures to Coastal Sweets, LLC, a Florida limited liability company, d/b/a The Sweet Spot ("Sweet Spot"), and terminate its lease with the City that would have expired in November 2014; and

WHEREAS, Sweet Spot has expressed a desire to lease the approximately 2,068 square feet retail space and to continue selling ice cream and other confections; and

WHEREAS, the proposed lease with Sweet Spot offers the following business points:

- Rent will be paid monthly in an amount equal to ten percent (10%) of the gross dollar amount collected in the previous month, plus applicable sales tax.
- Common Area Maintenance shall be prorated based on the Premises area to total area of the common area of Sunken Gardens.
- Sweet Spot will notify its vendors not to use 20th Avenue North as a through street and may not use more than five (5) parking spaces for its employees.
- Chad Boyd, the Manager of Coastal Sweets, LLC, shall provide a personal guaranty for payments during the term of the lease; and

WHEREAS, in order to implement the proposed lease with Sweet Spot, it will be necessary to terminate the existing lease with Comas prior to execution of the lease with Sweet Spot; and

WHEREAS, Sweet Spot is a locally-owned family business started in 2006, in North Carolina, the proprietor of which is a St. Petersburg resident, living in the Old Northeast; and

WHEREAS, in addition to the Sweet Spot, the family owns and operates "Paradise Grille" in Pass-a-Grille Beach and Upham Beach, and "J's Restaurant" in Gulfport.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of St. Petersburg, Florida that the Mayor or his designee is authorized to execute a lease agreement with Coastal Sweets, LLC, a Florida limited liability company, d/b/a The Sweet Spot, to operate a customized ice cream retail store and uses ancillary thereto for term of five (5) years with one (1) five-year option to renew for space in the historic main building of Sunken Gardens located at 1961 4th Street North, St. Petersburg, Florida and to terminate the current lease agreement with Comas Enterprises, Inc., a Florida corporation currently operating a Cold Stone Creamery franchise at the same location; and to execute all documents necessary to effectuate same.

This Resolution shall become effective immediately upon its adoption.

LEGAL:

City Attorney (Designee)

Legal: 00182120.doc V. 1

APPROVED BY:

David M. Metz, Director
Downtown Enterprise Facilities

APPROVED BY:

Bruce Grimes, Director
Real Estate & Property Management

Attached documents for item Authorizing the Mayor or his designee to sign the Local Government Verification of Contribution loan form for the amount of \$90,000 of HOME Program funding for each of the seven developments requesting local contributions as part of their application unde

ST. PETERSBURG CITY COUNCIL

Consent Agenda Meeting of October 17, 2013

TO: The Honorable Karl Nurse, Chair, and Members of City Council

SUBJECT: A resolution authorizing the Mayor or his designee to sign the Local Government Verification Of Contribution loan form for the amount of \$90,000 of HOME Program funding for each of the seven developments requesting local contributions as part of their application under the Florida Housing Finance Corporation ("FHFC") Request For Application number 2013-002; providing that the loan closing will be subject to the developer(s) obtaining the recommendation for approval of FHFC administered 9% Low Income Housing Tax Credit funding, final site plan approval, receipt of an approved HUD environmental review, and closing on the financing of the development by June 30, 2014; authorizing the Mayor or his designee to execute all documents necessary to effectuate this transaction; and providing an effective date.

EXPLANATION: In July 2013, the Florida Housing Finance Corporation ("FHFC") issued a schedule for the Request for Applications (RFA 2013-002) for the award of Low Income Housing Tax Credits ("LIHTC") which indicates that applications are due on October 30, 2013. In August, housing staff requested that proposals from developers interested in applying for the local contribution required for this competition be submitted to the City by September 10, 2013. Housing staff received seven applications and forwarded them to the City's Project Review Team ("PRT"), which is a group of development-related City staffers assembled to provide project review and critique. The PRT reviewed the merits of the proposals and is recommending that all seven be provided with a loan commitment for the purpose of the competition. The loan commitments will be subject to: 1) the developers obtaining recommendation of approval for FHFC administered 9% Low Income Housing Tax Credit funding, 2) final site plan approval, 3) receipt of an approved HUD environmental review, 4) closing on the financing of the development by June 30, 2014 and would be provided to the following developers for the following proposed developments:

1. Pinnacle at 930 Central, LLC for 930 Central Apartments
proposed to be located at 930 Central Avenue
2. Pinnacle at Heron Park, LLC for Pinnacle at Heron Park Apartments
proposed to be located at 1636 2nd Ave. N. & adjacent parcels
3. Urban Edge Partners II, Ltd. For Urban Landings
proposed to be located on 3rd St. S. at the SW intersection of 3rd St S and 4th Ave. S.
4. Vistas at Mirror Lake Limited Partnership for Vistas at Mirror Lake Apartments,
proposed to be located at 810 2nd Ave. N., 809 Arlington Ave. N.
5. Arlington Square Apartments Limited Partnership, for Arlington Square Apartments,
proposed to be located at 128 Martin Luther King Jr. St. N. & 931 Arlington Ave. N.
6. Blue HC 18, LLC for Primera Apartments
proposed to be located at 1942, 1950, 1962 and 2001 1st Ave. S., and
7. HTG Pinellas 1, LLC for Lakeview Gardens

proposed to be located at NW corner of Burlington Ave. N. and 8th St. N.

The FHFC competition requires that an applicant proposing the development of affordable multifamily housing as part of this competition, secure a local contribution toward the financing of the development. However, the FHFC has indicated that funding will be limited to 1 application per county for each of the four counties of Duval, Hillsborough, Orange and Pinellas. Therefore the City's exposure for these seven commitments of contribution would be for \$90,000. However, there is a provision in the application that states that a 5th application could be funded if there is enough funding available to fully fund the eligible housing credit request amount, which could potentially lead to a second \$90,000 being required. Therefore, the City's maximum total exposure of HOME funding would be for a combined amount of \$180,000 after the results of the competition are released.

Representatives from each group have stated that that they have the requisite affordable housing developer experience to qualify their development to obtain maximum scoring related to the developer experience requirements of the LIHTC funding. Representatives from each group have also stated that they have identified a site which should qualify their development to obtain scoring sufficient to receive LIHTC funding under RFA 2013-002.

Each group has requested that the City provide a non-recourse 0% interest subordinate loan of \$90,000 structured in a manner to equate to a \$75,000 Net Present Value minimum contribution loan amount as required by the FHFC after using the FHFC published Discount Rate of 5.5%. The City is currently allocated HOME Investment Partnership ("HOME") funds as a source for affordable housing development and the winning development, if awarded LIHTC funding, would be eligible to be funded by the City from HOME Program funds.

On September 26, 2013, the City's Housing Services Committee reviewed the merits of signing the forms for each of the seven applicants and voted that the request should be forwarded to City Council for approval at its October 17, 2013 meeting.

Each of the developers is moving forward with preparation for the FHFC application deadline and are hopeful to secure tax credit financing for their development as a result of this competition. The FHFC schedule indicates that it will request its board to approve the final ranking of LIHTC funding applicants on December 13, 2013 and requires all applicants to have a local commitment valid through June 30, 2014.

RECOMMENDATION: The Administration recommends adoption of the attached resolution authorizing the Mayor or his designee to sign the Local Government Verification Of Contribution loan form for the amount of \$90,000 of HOME Program funding for each of the seven developments requesting local contributions as part of their application under the Florida Housing Finance Corporation ("FHFC") Request For Application number 2013-002; providing that the loan closing will be subject to the developer(s) obtaining the recommendation for approval of FHFC administered 9% Low Income Housing Tax Credit funding, final site plan approval, receipt of an approved HUD environmental review, and closing on the financing of the development by June 30, 2014;

authorizing the Mayor or his designee to execute all documents necessary to effectuate this transaction; and providing an effective date.

COST/FUNDING/ASSESSMENT INFORMATION: Funds are available in previously allocated HOME Investment Partnership Funds (Fund 1113).

ATTACHMENTS: Resolution 2013-

APPROVALS:

Administration:  _____

Budget:  _____

Legal: 00182268.doc v. 2

A RESOLUTION AUTHORIZING THE MAYOR OR HIS DESIGNEE TO SIGN THE LOCAL GOVERNMENT VERIFICATION OF CONTRIBUTION LOAN FORM FOR THE AMOUNT OF \$90,000 OF HOME PROGRAM FUNDING FOR EACH OF THE SEVEN DEVELOPMENTS REQUESTING LOCAL CONTRIBUTIONS AS PART OF THEIR APPLICATION UNDER THE FLORIDA HOUSING FINANCE CORPORATION ("FHFC") REQUEST FOR APPLICATION NUMBER 2013-002; PROVIDING THAT THE LOAN CLOSING WILL BE SUBJECT TO THE DEVELOPER(S) OBTAINING THE RECOMMENDATION FOR APPROVAL OF FHFC ADMINISTERED 9% LOW INCOME HOUSING TAX CREDIT FUNDING, FINAL SITE PLAN APPROVAL, RECEIPT OF AN APPROVED HUD ENVIRONMENTAL REVIEW, AND CLOSING ON THE FINANCING OF THE DEVELOPMENT BY JUNE 30, 2014; AUTHORIZING THE MAYOR OR HIS DESIGNEE TO EXECUTE ALL DOCUMENTS NECESSARY TO EFFECTUATE THIS TRANSACTION; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of St. Petersburg, Florida ("City") has established the need for additional affordable rental housing units as a priority in its 2011-2016 Consolidated Plan; and

WHEREAS, in July 2013 the Florida Housing Finance Corporation ("FHFC") issued a Request for Applications ("RFA") 2013-002 for the award of Low Income Housing Tax Credits ("LIHTC") indicating that funding would be limited to 1 application per county for each of the four counties of Duval, Hillsborough, Orange and Pinellas; and

WHEREAS, seven developers submitted applications to the City requesting a local contribution for their applications and representing that they have the requisite affordable housing developer experience to qualify their development to obtain sufficient scoring related to the developer experience requirements of the Florida Housing Finance Corporation administered Low Income Housing Tax Credits ("LIHTC") under the FHFC request for applications 2013-002; and

WHEREAS, the developers also represent that they have identified sites which should qualify their development to obtain scoring sufficient to receive LIHTC funding under; and

WHEREAS, each developer has requested that the City provide a non-recourse 0% interest subordinate loan of \$90,000 structured in a manner to equate to a \$75,000 Net Present Value minimum contribution loan amount as required by the FHFC after using the FHFC published Discount Rate of 5.5%; and

WHEREAS, the City of St. Petersburg is currently allocated HOME Investment Partnership (“HOME”) funds as a source for affordable housing development; and

WHEREAS, the proposed developments, if awarded LIHTC funding, would be eligible to be funded by the City from HOME Program; and

WHEREAS, the units proposed would be reserved for households with incomes at and below 60% of the area median income (AMI) and will be required to remain affordable for the HOME program’s 20 year compliance period; and

WHEREAS, on September 19, 2013, the City’s Project Review Team reviewed the merits of the developments and agreed that the requests should be forwarded to the Housing Services Committee for approval; and

WHEREAS, on September 26, 2013, the Housing Services Committee reviewed the requests and recommended that a resolution authorizing support of the following seven applicants be forwarded to the full City Council for approval:

1. Pinnacle at 930 Central, LLC for 930 Central Apartments
proposed to be located at 930 Central Avenue
2. Pinnacle at Heron Park, LLC for Pinnacle at Heron Park Apartments
proposed to be located at 1636 2nd Ave. N. & adjacent parcels
3. Urban Edge Partners II, Ltd. For Urban Landings
proposed to be located on 3rd St. S. at the SW intersection of 3rd St S and 4th Ave. S.
4. Vistas at Mirror Lake Limited Partnership for Vistas at Mirror Lake Apartments,
proposed to be located at 810 2nd Ave. N., 809 Arlington Ave. N.
5. Arlington Square Apartments Limited Partnership, for Arlington Square Apartments,
proposed to be located at 128 Martin Luther King Jr. St. N. & 931 Arlington Ave. N.
6. Blue HC 18, LLC for Primera Apartments
proposed to be located at 1942, 1950, 1962 and 2001 1st Ave. S., and
7. HTG Pinellas 1, LLC for Lakeview Gardens
proposed to be located at NW corner of Burlington Ave. N. and 8th St. N.

NOW THEREFORE, BE IT RESOLVED by the City Council of the City of St. Petersburg, Florida, that the Mayor or his designee is authorized to sign the Local Government Verification Of Contribution loan form for the amount of \$90,000 for each of the seven developments requesting local contributions for an amount of \$90,000 of HOME Program funding as part of their application under the Florida Housing Finance Corporation (“FHFC”) Request for Application number 2013-002, provided that the loan

closing will be subject to the developer(s) obtaining recommendation for approval of FHFC administered 9% Low Income Housing Tax Credit funding, final site plan approval, receipt of an approved HUD environmental review, and closing on the financing of the development by June 30, 2014; and

BE IT FURTHER RESOLVED that the Mayor or his designee is authorized to execute all documents necessary to effectuate this transaction.

This Resolution shall become effective immediately upon its adoption.

LEGAL:



City Attorney (Designee)

HOUSING & COMMUNITY DEVELOPMENT:



Joshua Johnson, Director

Legal: 00182257.doc v. 2

Attached documents for item Authorizing the Mayor or his designee to negotiate and provide a 0% interest acquisition and development loan in the amount of \$110,000 from the Home Investment Partnership (HOME) Affordable Multi-Family Rental Program to Pinellas Affordable Living, Inc.

ST. PETERSBURG CITY COUNCIL
Consent Agenda
Meeting of October 17, 2013

TO: The Honorable Karl Nurse, Chair and Members of City Council

SUBJECT: A resolution authorizing the Mayor or his designee to negotiate and provide a 0% interest acquisition and development loan in the amount of \$110,000 from the Home Investment Partnership (HOME) Affordable Multi-Family Rental Program to Pinellas Affordable Living, Inc. for construction of Phase IV of the Broadwater Place Apartments; authorizing the Mayor or his designee to execute all documents necessary to effectuate this resolution; and providing an effective date.

EXPLANATION: Pinellas Affordable Living, Inc. ("PAL, Inc.") has requested that the City assist it with a 0% interest loan of \$110,000 for the acquisition and development of Phase IV of the Broadwater Place Apartments to be located at 3615(3611) -37th Street South ("Development"). Boley Centers, Inc. ("Boley") will be the Management Agent for Broadwater IV. It is anticipated that 10 one bedroom units will be constructed for chronically homeless, extremely low income households (at or below 30% of the Area Median Income) and will remain affordable for a period of 20 years. PAL, Inc. intends to respond to the Florida Housing Finance Corporations' ("FHFC") request for applications for developers providing housing for homeless which is due November 8, 2013. The City's loan commitment of \$110,000 will be used to show leverage funding and will be deferred for twenty years and then be forgiven at the end of the twenty year affordability period. In addition, Boley has received approval from HUD to add Broadwater IV to its HUD Continuum of Care grant award to provide subsidy for the operations of the units and to provide supported housing services. The City's Project Review Team ("PRT") reviewed the loan request on September 19, 2013 and has recommended approval.

In order to accomplish the funding for this loan, the Administration will reduce the larger than anticipated program income deposits in the Rehabilitation Loan program (Oracle 80918-13784) by \$110,000 and increase the HOME Investment Partnership (HOME) Affordable Multi-family Rental Program by the corresponding amount in order to provide a loan in the amount \$110,000 to PAL, Inc. for the acquisition and development of Phase IV of the Broadwater Place Apartments.

RECOMMENDATION: The Administration recommends approval of the attached resolution authorizing the Mayor or his designee to negotiate and provide a 0% interest acquisition and development loan in the amount of \$110,000 from the Home Investment Partnership (Home) Affordable Multi-Family Rental Program to Pinellas Affordable Living, Inc. for construction of Phase IV of the Broadwater Place Apartments; authorizing the Mayor or his designee to execute all documents necessary to effectuate this resolution; and providing an effective date.

COST/FUNDING/ASSESSMENT INFORMATION: Funds are available in previously allocated HOME Investment Partnership Funds (Fund 1113).

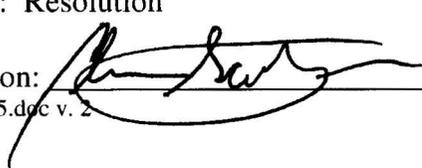
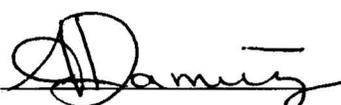
Attachments: Resolution

Approvals:

Administration:

Legal: 00182275.doc v. 2

Budget:

Resolution No. 2013- _____

A RESOLUTION AUTHORIZING THE MAYOR OR HIS DESIGNEE TO NEGOTIATE AND PROVIDE A 0% INTEREST ACQUISITION AND DEVELOPMENT LOAN IN THE AMOUNT OF \$110,000 FROM THE HOME INVESTMENT PARTNERSHIP (HOME) AFFORDABLE MULTI-FAMILY RENTAL PROGRAM TO PINELLAS AFFORDABLE LIVING, INC. FOR CONSTRUCTION OF PHASE IV OF THE BROADWATER PLACE APARTMENTS; AUTHORIZING THE MAYOR OR HIS DESIGNEE TO EXECUTE ALL DOCUMENTS NECESSARY TO EFFECTUATE THIS RESOLUTION; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City has established the need for additional affordable rental housing units as a priority in its 2011-2016 Consolidated Plan; and

WHEREAS, On September 10, 2013, Pinellas Affordable Living, Inc. ("PAL, Inc.") requested the City provide a 0% interest loan of \$110,000 so that PAL, Inc. can construct 10 one bedroom units which will be restricted as to rent and occupancy for chronically homeless persons who are very low income (at or below 30% of Area Median Income) as Phase IV of the Broadwater Place Apartments located at 3615 (3611) 7th Street South ("Development"); and

WHEREAS, the Development is anticipated to cost a total of approximately \$1,046,822 and PAL, Inc intends to apply to the Florida Housing Finance Corporation ("FHFC") for \$919,780 in development funds, and provide the remaining funds necessary for the Development; and

WHEREAS, The City's loan documents will provide that the loan be forgiven at the end of a successful twenty year affordability period; and

WHEREAS, on September 19, 2013, the City's Project Review Team reviewed the merits of the Development and agreed that the request should be forwarded to City Council for approval; and

WHEREAS, the Administration will reduce the larger than anticipated program income deposits in the Rehabilitation Loan program (Oracle 80918-13784) by \$110,000 and increase the HOME Investment Partnership ("HOME") Affordable Multi-family Rental Program by the corresponding amount in order to make available a total of \$110,000 to fund PAL, Inc.'s loan request.

NOW THEREFORE, BE IT RESOLVED by the City Council of the City of St. Petersburg, Florida, that the Mayor or his Designee is authorized to negotiate and provide a 0% interest acquisition and development loan in the amount of \$110,000 from the HOME Investment Partnership (HOME) Affordable Multi-family Rental Program to Pinellas Affordable Living, Inc. ("PAL, Inc.") for construction of Phase IV of the Broadwater Place Apartments; and

Attached documents for item Body Armor for the Police Department:

SAINT PETERSBURG CITY COUNCIL

Consent Agenda

Meeting of October 17, 2013

To: The Honorable Karl Nurse, Chair and Members of City Council

Subject: Approving an increase to the allocation for annual agreements for body armor to Signal 15, Inc. and two other vendors in the amount of \$60,000; which increases the total combined contract amount to \$170,000.

Explanation: On November 3, 2011 the City awarded blanket purchase agreements with renewals to Signal 15, Inc., LESC, Inc., and Galls, An Aramark Company LLC for body armor, at an estimated annual amount of \$110,000. The agreements expire January 31, 2014.

Planned requirements through the balance of the contract term will cause the contract amount to exceed the total estimated contract amount; therefore Council's approval is requested. Amounts paid to the four vendors pursuant to the increase will not exceed a combined total of \$170,000 through the term of the agreements.

The Procurement Department in cooperation with the Police Department, recommends approval of this change order:

Original Contract Sum	\$110,000
Change Order No. 1	<u>60,000</u>
Revised Contract Sum	\$170,000

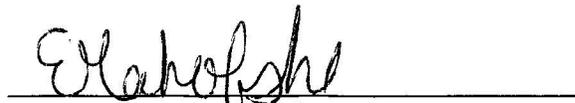
Cost/Funding/Assessment Information: Funds have been appropriated in the General Fund (0001), Police Department, Uniform Services Administration (140-1461).

Attachments: Resolution

Approvals:



Administrative



Budget

CB-11(a)

A RESOLUTION APPROVING A CHANGE ORDER TO AGREEMENTS WITH SIGNAL 15, INC., LESC, INC., AND GALLS, LLC IN THE TOTAL OF AMOUNT OF \$60,000 FOR A REVISED TOTAL COST NOT TO EXCEED \$170,000; AUTHORIZING THE MAYOR OR MAYOR'S DESIGNEE TO EXECUTE ALL DOCUMENTS NECESSARY TO EFFECTUATE THIS TRANSACTION; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, on November 3, 2011 City Council approved the award of Blanket Agreements to Galls, LLC, Survival Armor, Inc., LESC, Inc., Patrick's Uniforms of Florida, Inc. and Signal 15, Inc for protective body armor for the Police Department utilizing Florida State Contract No. 680-850-11-1 at an estimated annual cost not to exceed \$110,000; and

WHEREAS, planned requirements through the balance of the contract term (January 31, 2014) will cause the cost to exceed the total estimated amount; and

WHEREAS, the City desires to increase the total cost of the Agreements with Signal 15, Inc., LESC, Inc., and Galls, LLC; and

WHEREAS, the Procurement & Supply Management Department and the Police Department recommend approval of this Change Order.

NOW, THEREFORE BE IT RESOLVED by the City Council of the City of St. Petersburg, Florida, that a Change Order to the agreements (Blanket Agreements) with Signal 15, Inc., LESC, Inc., and Galls, LLC in the amount of \$60,000 for a revised total cost not to exceed \$170,000 is hereby approved and the Mayor or Mayor's Designee is authorized to execute all documents necessary to effectuate this transaction; and

This resolution shall become effective immediately upon its adoption.

Approved as to Form and Substance:



City Attorney (Designee)

SAINT PETERSBURG CITY COUNCIL

Consent Agenda

Meeting of October 17, 2013

To: The Honorable Karl Nurse, Chair and Members of City Council

Subject: Awarding a blanket purchase agreement to Point Blank Enterprises Inc for body armor for the Police Department at an estimated annual cost of \$40,000.

Explanation: This purchase is being made from Florida State Contract No. 680-850-11-1. The supplier will schedule fittings, then furnish and deliver body armor vests for the Police Department. Police officers select from a variety of manufacturers under current agreements with the city: Safariland, Armor Express, Point Blank, Survival Armor, GH Armor Systems by Sentry Armor Systems, Inc. and Protective Products. Since no one supplier provides a full range selection, these multiple awards were recommended to provide officers multiple choices for fit and comfort. Point Blank Enterprises is recommended for award due to the high quality, functionality, and optimum comfort of the body armor they offer.

The Procurement Department in cooperation with the Police Department, recommends for award utilizing Florida State Contract No. 680-850-11-1:

Point Blanket Enterprises, Inc.	\$40,000
---------------------------------	----------

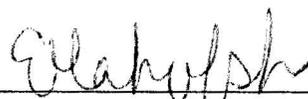
The Vendor has met the terms and conditions of Florida State Bid No. 680-850-11-1 dated January 31, 2011. This purchase is made in accordance with Section 2-243 (e) of the City Code which authorizes the Mayor or his designee to purchase supplies from a competitively bid proposal or contract secured by state, county or municipal government. A blanket purchase agreement will be issued to the supplier and will be binding only for the actual quantities ordered. Amounts paid to awardees of body armor agreements shall not exceed a combined total of the allocation approved by City Council. The contract will be effective from date of award through January 30, 2014.

Cost/Funding/Assessment Information: Funds have been appropriated in the General Fund (0001), Police Department, Uniform Services Administration (140-1461).

Attachments: Resolution

Approvals:


Karl Nurse 10/11/13
Administrative


Olaf Hoff
Budget

CB-11(b)

A RESOLUTION APPROVING THE AWARD OF AN AGREEMENT (BLANKET AGREEMENT) TO POINT BLANK ENTERPRISES, INC. AT AN ESTIMATED ANNUAL COST NOT TO EXCEED \$40,000 FOR PROTECTIVE BODY ARMOR FOR THE POLICE DEPARTMENT UTILIZING FLORIDA STATE CONTRACT NO. 680-850-11-1; AUTHORIZING THE MAYOR OR MAYOR'S DESIGNEE TO EXECUTE ALL DOCUMENTS NECESSARY TO EFFECTUATE THIS TRANSACTION; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Police Department is on a three-year replacement cycle for body armor and approximately; and

WHEREAS, pursuant to Section 2-241(f) of the City Code the City is permitted to utilize competitively bid proposals or contracts secured by State, County or municipal government when it is in the best interest of the City; and

WHEREAS, Point Blank Enterprises Inc. has met the specifications, terms and conditions of Florida State Bid No. 680-850-11-1; and

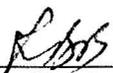
WHEREAS, the Procurement & Supply Management Department, in cooperation with the Police Department, recommends approval of this award.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of St. Petersburg, Florida that the award of an agreement (Blanket Agreement) to Point Blank Enterprises Inc. at an estimated annual cost not to exceed \$40,000 for protective body armor for the Police Department utilizing Florida State Contract No. 680-850-11-1 is hereby approved and the Mayor or Mayor's Designee is authorized to execute all documents necessary to effectuate this transaction; and

BE IT FURTHER RESOLVED that this agreement will be effective from the date of award through January 30, 2014.

This Resolution shall become effective immediately upon its adoption.

Approved as to Form and Substance:



City Attorney (Designee)

Attached documents for item Authorizing the Mayor or his designee to accept Assistance Funding (“Order”) from the Florida Fish and Wildlife Conservation Commission (“FFWCC”) Gopher Tortoise Habitat Management Program for a Gopher Tortoise Habitat Management Plan Phase II Project at

ST. PETERSBURG CITY COUNCIL

Consent Agenda

Meeting of October 17, 2013

To: The Honorable Karl Nurse, Chair, and Members of City Council

Subject: A resolution authorizing the Mayor or his designee to accept Assistance Funding ("Order") from the Florida Fish and Wildlife Conservation Commission ("FFWCC") Gopher Tortoise Habitat Management Program for a Gopher Tortoise Habitat Management Plan Phase II Project at Boyd Hill Nature Preserve at a maximum reimbursement amount of \$15,000; and to execute all other documents necessary to effectuate the Order; approving a supplemental appropriation in the amount of \$15,000 from the increase in the unappropriated balance of the General Fund (0001), resulting from these additional revenues, to the Parks & Recreation Boyd Hill Nature Trail (1902389) Gopher Tortoise Habitat Management Plan Phase II Project (TBD); and providing an effective date.

Explanation: The FFWCC Gopher Tortoise Habitat Management Program has awarded the City Assistance Funding ("Order") in the amount of \$15,000 for a Gopher Tortoise Habitat Management Plan Phase II Project on 96 acres at Boyd Hill Nature Preserve ("Preserve"). The Preserve has a large population of gopher tortoises and burrows; however, vegetation is becoming too dense to sustain the foraging and burrowing needs of the tortoises. The proposed management activities will create forest openings to increase suitable habitat at the site for the tortoises. Work under this Order includes a prescribed burn, mechanical and chemical treatment to reduce the vegetation at the site. In Florida, the gopher tortoise is listed as a "threatened" species, and therefore, the tortoise and its burrow are protected under state law.

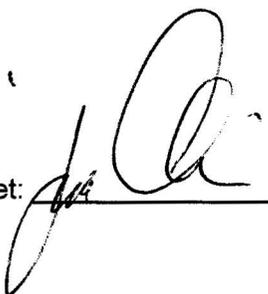
Recommendation: Administration recommends adoption of the attached resolution authorizing the Mayor or his designee to accept Assistance Funding ("Order") from the Florida Fish and Wildlife Conservation Commission ("FFWCC") Gopher Tortoise Habitat Management Program for a Gopher Tortoise Habitat Management Plan Phase II Project at Boyd Hill Nature Preserve at a maximum reimbursement amount of \$15,000; and to execute all other documents necessary to effectuate the Order; approving a supplemental appropriation in the amount of \$15,000 from the increase in the unappropriated balance of the General Fund (0001), resulting from these additional revenues, to the Parks & Recreation Boyd Hill Nature Trail (1902389) Gopher Tortoise Habitat Management Plan Phase II Project (TBD); and providing an effective date.

Cost/Funding/Assessment Information: Revenues of up to \$15,000 are to be received from this Order. A supplemental appropriation in the amount of \$15,000 from the increase in the unappropriated balance of the General Fund (0001) resulting from these additional revenues, to the Parks & Recreation Boyd Hill Nature Trail (1902389) Gopher Tortoise Habitat Management Plan Phase II Project (TBD) will be necessary.

Attachment: Resolution

Approvals:

Administration: 

Budget: 

Resolution No. 2013-_____

A RESOLUTION AUTHORIZING THE MAYOR OR HIS DESIGNEE TO ACCEPT ASSISTANCE FUNDING ("ORDER") FROM THE FLORIDA FISH AND WILDLIFE CONSERVATION COMMISSION ("FFWCC") GOPHER TORTOISE HABITAT MANAGEMENT PROGRAM FOR A GOPHER TORTOISE HABITAT MANAGEMENT PLAN PHASE II PROJECT AT BOYD HILL NATURE PRESERVE AT A MAXIMUM REIMBURSEMENT AMOUNT OF \$15,000; AND TO EXECUTE ALL OTHER DOCUMENTS NECESSARY TO EFFECTUATE THE ORDER; APPROVING A SUPPLEMENTAL APPROPRIATION IN THE AMOUNT OF \$15,000 FROM THE INCREASE IN THE UNAPPROPRIATED BALANCE OF THE GENERAL FUND (0001), RESULTING FROM THESE ADDITIONAL REVENUES, TO THE PARKS & RECREATION BOYD HILL NATURE TRAIL (1902389) GOPHER TORTOISE HABITAT MANAGEMENT PLAN PHASE II PROJECT (TBD); AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the FFWCC Gopher Tortoise Habitat Management Program has awarded the City Gopher Assistance Funding ("Order") in the amount of \$15,000 for a Gopher Tortoise Habitat Management Plan Phase II Project on 96 acres at Boyd Hill Nature Preserve ("Preserve"); and

WHEREAS, the Preserve has a large population of gopher tortoises and burrows; however, vegetation is becoming too dense to sustain the foraging and burrowing needs of the tortoises; and

WHEREAS, the proposed management activities will create forest openings to increase suitable habitat at the site for the tortoises; and

WHEREAS, the work under this Order includes a prescribed burn, mechanical and chemical treatment to reduce the vegetation at the site; and

WHEREAS, in Florida, the gopher tortoise is listed as a "threatened" species, therefore, the tortoise and its burrow are protected under state law.

NOW THEREFORE, BE IT RESOLVED by the City Council of the City of St. Petersburg, Florida, that the Mayor or his designee is authorized to accept Assistance Funding ("Order") from the Florida Fish and Wildlife Conservation Commission ("FFWCC") Gopher Tortoise Habitat Management Program for a Gopher Tortoise Habitat Management Plan Phase II Project at Boyd Hill Nature Preserve, at a maximum reimbursement amount of \$15,000; and to execute all other documents necessary to effectuate the Order; and

BE IT FURTHER RESOLVED that there is hereby approved from the increase in the unappropriated balance of the General Fund (0001) resulting from these additional revenues, the following supplemental appropriation for FY14:

Attached documents for item Ratifying the proposed labor agreement between the City of St. Petersburg and the Suncoast Police Benevolent Association (PBA) for the Police Sergeants and Lieutenants collective bargaining unit covering the job classifications within this bargaining unit

ST. PETERSBURG CITY COUNCIL

CONSENT AGENDA

Meeting of October 17, 2013

TO: The Honorable Karl Nurse, Chair, and Members of City Council

SUBJECT: Ratifying the proposed labor agreement between the City of St. Petersburg and the Suncoast Police Benevolent Association (PBA) for the Police Sergeants and Lieutenants collective bargaining unit covering the job classifications within this bargaining unit effective October 1, 2013, through September 30, 2016.

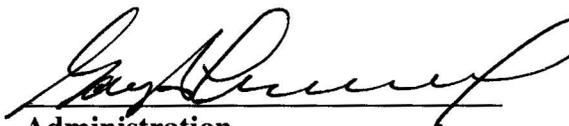
The City and the Union have reached tentative agreement on the terms of a three-year collective bargaining agreement with the PBA Police Sergeants and Lieutenants bargaining unit. Unit members will hold their ratification vote on October 11, 2013. If ratified by the membership, and approved and ratified by Council, the proposed agreement will take effect October 1, 2013.

The agreement provides a 2% general wage increase in FY 2014 for all members of the unit. Those unit members who have not reached the maximum step rates for their respective labor grades shall progress to the next higher steps on their classification anniversary dates. The agreement also provides unit members at the maximum step rate with 50 hours of personal leave. The parties have agreed to reopen negotiations to bargain the above for FYs 2015 and 2016. The agreement provides a 2% general wage increase minimum in FYs 2015 and 2016.

Cost/Funding Information:

Specific costs for the pay increases are within the budget provisions for FY 2014 and will come from funds within the operating budget for the General Fund, Police Department.

Attachment – Resolution

Approvals:  
Administration **Budget**

A RESOLUTION APPROVING THE NEGOTIATED AGREEMENT WITH THE SUNCOAST POLICE BENEVOLENT ASSOCIATION REPRESENTING THE POLICE SERGEANTS AND LIEUTENANTS FOR THE PERIOD OF OCTOBER 1, 2013 THROUGH SEPTEMBER 30, 2016, AND ESTABLISHING AN EFFECTIVE DATE FOR THIS RESOLUTION

WHEREAS, the City of St. Petersburg and the Suncoast Police Benevolent Association have reached a three-year agreement;

WHEREAS, the agreement provides a 2% general wage increase in FY 2014 for all members of the unit;

WHEREAS, unit members who have not yet reached the maximum step rates in their labor grades will progress to the next higher steps on their classification anniversary dates;

WHEREAS, certain unit members will also receive 50 hours of personal leave;

WHEREAS, the parties will reopen the Pay article to negotiate pay increases effective for FYs 2015 and 2016 with a minimum GWI of 2%; and

WHEREAS, the agreement also includes provisions for other terms and conditions of employment.

NOW THEREFORE, BE IT RESOLVED by the City Council of the City of St Petersburg, Florida, that the Agreement with the Suncoast Police Benevolent Association, for the period of October 1, 2013, through September 30, 2016, is approved.

This resolution shall become effective immediately upon its adoption.

APPROVED AS TO FORM AND CONTENT:


City Legal


Administration

Attached documents for item Approving a plat of Cove at Loggerhead Marina, generally located at 5950 - 34th Street South. (City file 13-20000006)



SAINT PETERSBURG CITY COUNCIL

Meeting of October 17, 2013

TO: THE HONORABLE KARL NURSE, CHAIR, AND MEMBERS OF CITY COUNCIL

SUBJECT: Resolution approving the plat of *Cove At Loggerhead Marina*, generally located at 5950 34th Street South (Our File: 13-20000006).

RECOMMENDATION: The Administration recommends **APPROVAL**.

DISCUSSION:

The applicant is requesting approval of a replat of approximately 15 acres to construct 158 townhomes. The property is zoned Corridor Commercial Suburban (CCS-1), Neighborhood Suburban Multi-family (NSM-1), Neighborhood Suburban (NS-1) and Neighborhood Planned Urban Development (NPUD-1). The property is generally located between 31st Street South and 34th Street South and south of 58th Avenue South. The purpose of the replat is to record the property boundaries in preparation of the townhome development.

Attachments: Map, Aerial, Resolution

APPROVALS:

Administrative: _____

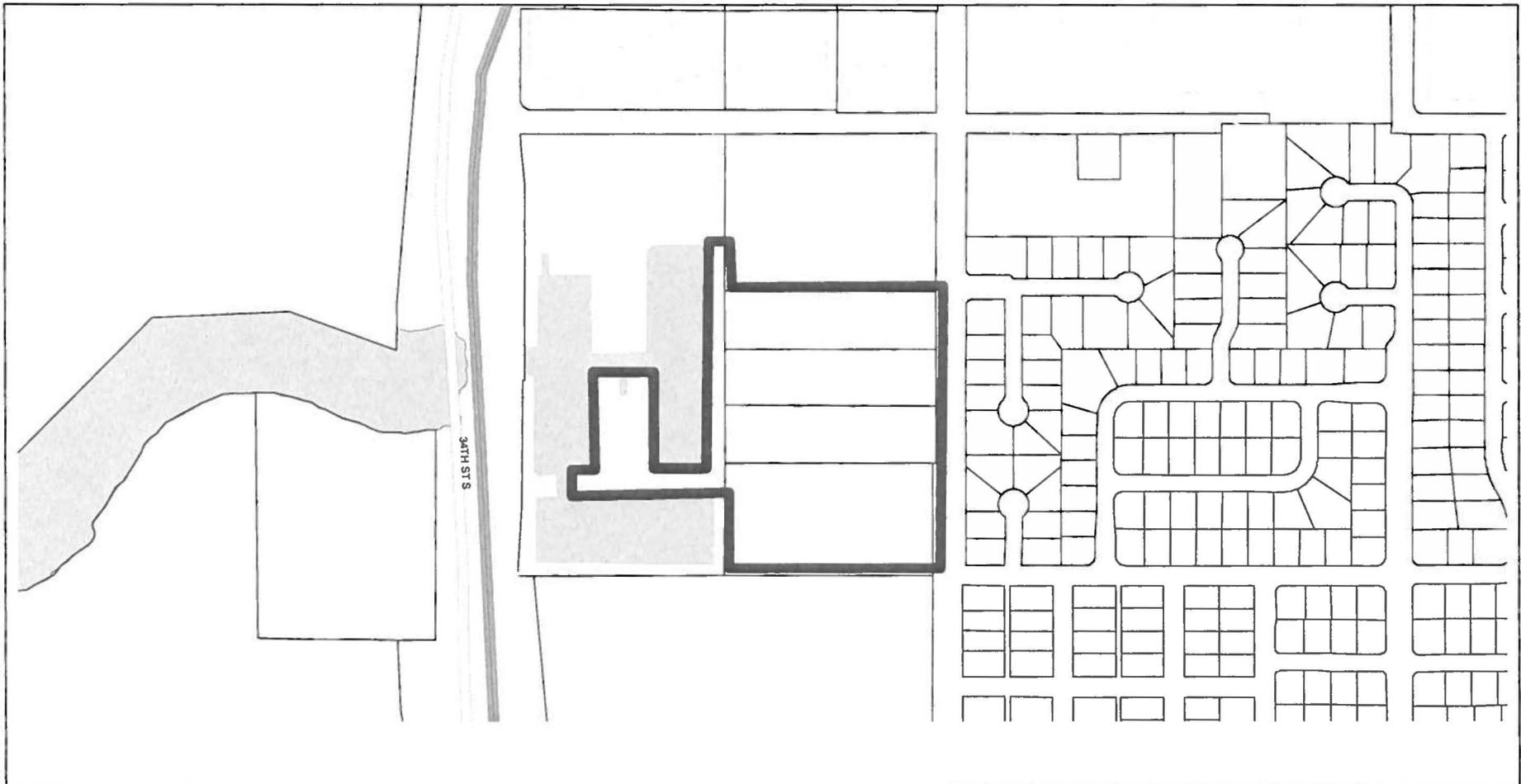
Chris Bellotti

OK

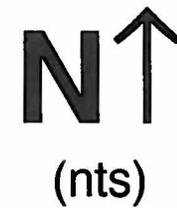
Budget: NA

Legal: _____

[Signature]

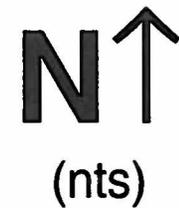


Planning & Economic Development
Department
Case No.: 13-20000006
Address: 5950 34th Street South





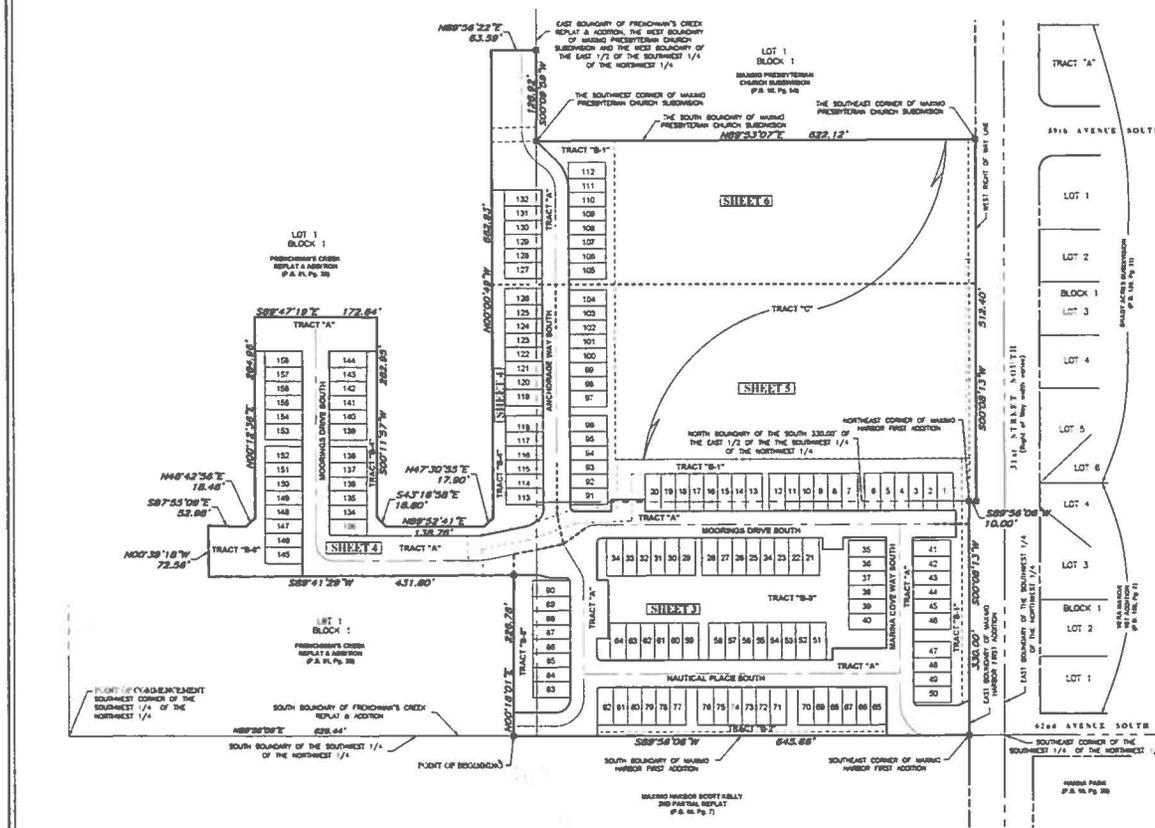
Planning & Economic Development
Department
Case No.: 13-20000006
Address: 5950 34th Street South



COVE AT LOGGERHEAD MARINA

A REPLAT OF LOT 1, BLOCK 1 OF MAXIMO HARBOR FIRST ADDITION AS RECORDED IN PLAT BOOK 69, PAGE 67 &
 A PARTIAL REPLAT OF FRENCHMAN'S CREEK REPLAT & ADDITION AS RECORDED IN PLAT BOOK 81, PAGE 38
 SECTION 11, TOWNSHIP 32 SOUTH, RANGE 16 EAST, CITY OF ST. PETERSBURG, PINELLAS COUNTY, FLORIDA

PLAT BOOK PAGE



TRACT DESIGNATIONS

TRACT "A" - containing (PRIVATE) EASEMENT, PUBLIC EASEMENT, RIGHTS OF ACCESS, EASEMENT, PRIVATE EASEMENT & PRIVATE DRAINAGE EASEMENT)

TRACTS "B-1", "B-2", "B-3", "B-4", "B-5" - containing (PRIVATE) EASEMENT, RIGHTS OF ACCESS, PRIVATE EASEMENT & PRIVATE DRAINAGE EASEMENT)

TRACTS "C" - containing (CONDOMINIUM EASEMENT)

KEY SHEET

NOTE: REFER TO THE FOLLOWING SHEETS OF THIS PLAT FOR DETAILED LABELLING AND DIMENSIONING.

LEGEND:

- ⊙ - indicates (P.R.M.) Permanent Reference Monument - 4"x4" Concrete Monument LB7768, unless otherwise noted.
- ⊙ - indicates (P.P.M.) Offset Permanent Reference Monument - 4"x4" Concrete Monument LB7768, unless otherwise noted.
- ⊙ - indicates (C.C.P.) Permanent Control Point LB7768
- (R) - indicates radial line
- (NR) - indicates non-rod line
- - indicates rodless bearing
- O.R. - Official Records Book
- L.A. - Landscape and Well Area

BASIS OF BEARINGS

The South boundary of the Southwest 1/4 of the Northwest 1/4 of Section 11, Township 32 South, Range 16 East, Pinellas County, Florida, has a Grid Bearing of N.87°58'08"E. The Grid Bearings as shown herein refer to the State Plane Coordinate System, North American Horizontal Datum of 1983 (NAD 83-1990 ADJUSTMENT) for the West Zone of Florida.

Lands shown hereon LESS Lots 1 through 158 are subject to a blanket assessment in favor of Duke Energy Florida, Inc. as recorded in Official Records Book 1537 Page 262 of the Public Records of Pinellas County, Florida.

11 LOT 11 (TYPICAL)

GeoPoint
 Surveying, Inc.

140 E. 56th Avenue
 Largo, Florida 34605
 www.geopointsurvey.com

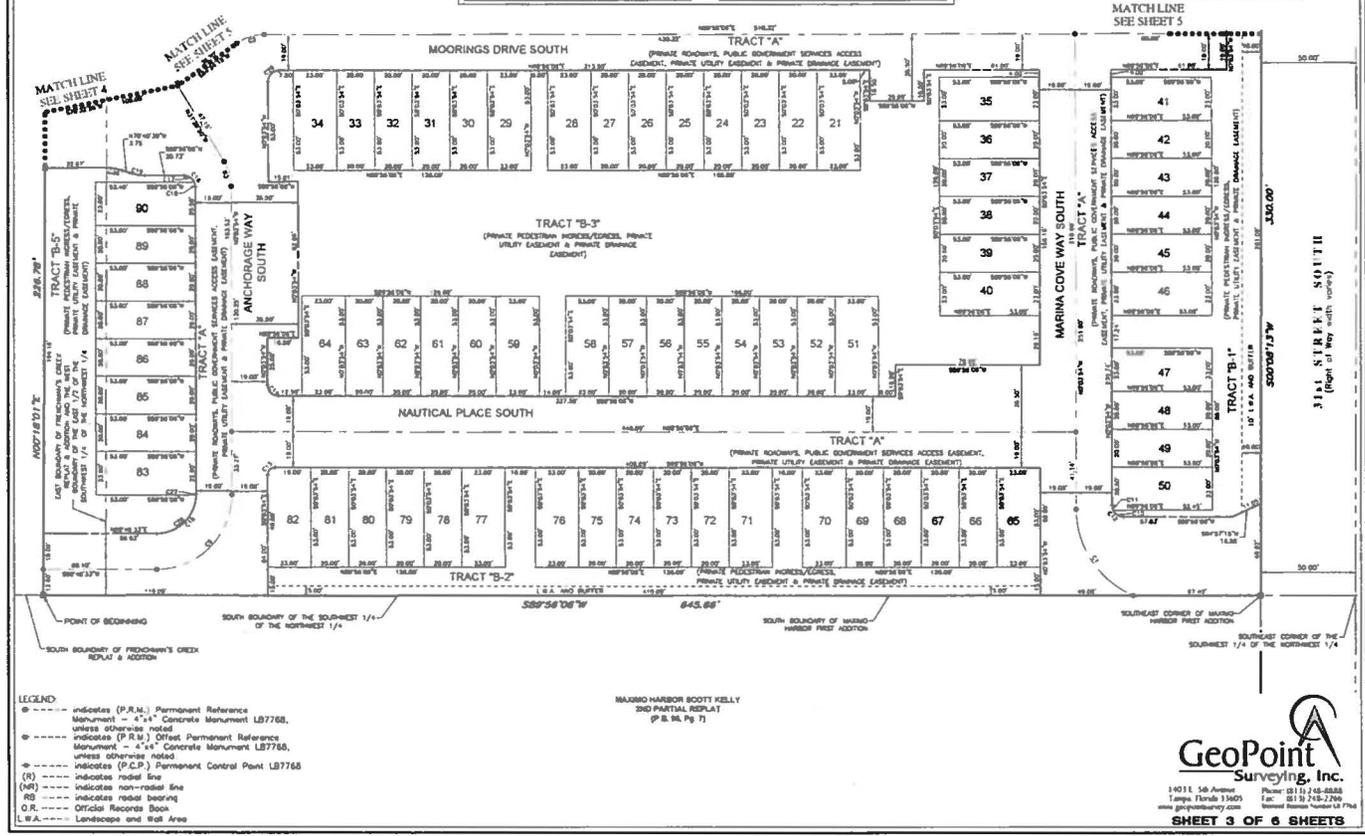
Phone (813) 442-8838
 Fax (813) 743-7766
 Telex Bureau Number 48 7766

SHEET 2 OF 6 SHEETS

COVE AT LOGGERHEAD MARINA

A REPLAT OF LOT 1, BLOCK 1 OF MAXIMO HARBOR FIRST ADDITION AS RECORDED IN PLAT BOOK 69, PAGE 67 &
 A PARTIAL REPLAT OF FRENCHMAN'S CREEK REPLAT & ADDITION AS RECORDED IN PLAT BOOK 81, PAGE 38
 SECTION 11, TOWNSHIP 32 SOUTH, RANGE 16 EAST, CITY OF ST. PETERSBURG, PINELLAS COUNTY, FLORIDA

CURVE DATA TABLE					CURVE DATA TABLE						
NO	RADIUS	DELTA	ARC	CHORD	BEARING	NO	RADIUS	DELTA	ARC	CHORD	BEARING
C1	30.00'	90°11'14"	30.00'	34.24'	S 27°16'27" E	C15	21.00'	90°32'17"	21.00'	23.87'	N 44°32'19" E
C2	25.00'	28°21'30"	13.56'	13.29'	S 72°19'11" W	C16	4.00'	90°00'00"	0.42'	0.40'	N 40°00'00" W
C3	40.00'	89°27'37"	62.74'	36.91'	N 4°33'19" E	C17	8.00'	89°27'37"	6.85'	6.44'	N 57°27'30" W
C4	25.00'	31°29'56"	13.71'	13.54'	N 18°46'32" E	C18	8.00'	34°27'30"	2.90'	2.80'	N 12°27'30" W
C10	6.00'	87°22'33"	6.02'	6.48'	S 57°22'30" E	C19	25.00'	18°23'16"	6.40'	6.47'	S 89°23'16" E
C11	8.00'	24°37'30"	2.80'	2.80'	S 17°37'30" E	C20	8.00'	90°00'00"	0.42'	0.40'	S 44°30'00" W
C12	6.00'	87°22'33"	6.02'	6.48'	S 57°22'30" E	C26	25.00'	18°23'16"	6.57'	6.57'	N 89°23'16" W
C13	4.00'	90°00'00"	0.39'	0.36'	S 44°30'00" W	C27	31.00'	7°03'00"	0.40'	0.40'	N 89°28'40" E
C14	8.00'	90°00'00"	0.42'	0.40'	S 40°00'00" E	C28	31.00'	89°47'10"	22.94'	20.28'	N 47°34'34" E



LEGEND

- ⊙ indicates (P.R.M.) Permanent Reference Monument - 4" x 4" Concrete Monument LB7768, unless otherwise noted
- ⊙ indicates (P.R.M.) Offset Permanent Reference Monument - 4" x 4" Concrete Monument LB7768, unless otherwise noted
- ⊙ indicates (P.C.P.) Permanent Central Point LB7768
- (R) indicates radial line
- (NR) indicates non-radial line
- NS indicates radial bearing
- O.R. indicates Official Records Book
- L.W.A. indicates Landscape and Wall Area

MAXIMO HARBOR SCOTT KELLY
 2ND PARTIAL REPLAT
 (P. 6, 16, Pg. 7)

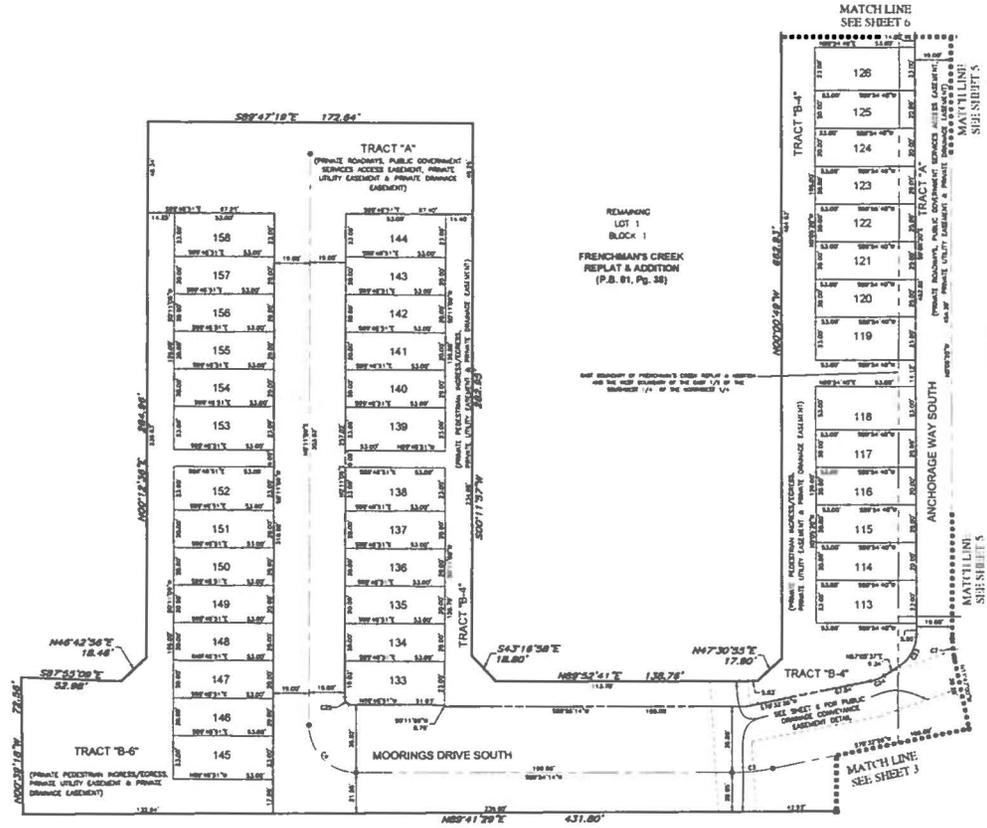
GeoPoint
 Surveying, Inc.
 1401 E. 56th Avenue Phone: (813) 242-8888
 Tampa, Florida 33605 Fax: (813) 242-2700
 www.geopointsurveying.com National Business Number US 776

SHEET 3 OF 6 SHEETS

COVE AT LOGGERHEAD MARINA

A REPLAT OF LOT 1, BLOCK 1 OF MAXIMO HARBOR FIRST ADDITION AS RECORDED IN PLAT BOOK 69, PAGE 67 &
 A PARTIAL REPLAT OF FRENCHMAN'S CREEK REPLAT & ADDITION AS RECORDED IN PLAT BOOK 81, PAGE 38
 SECTION 11, TOWNSHIP 32 SOUTH RANGE 16 EAST, CITY OF ST. PETERSBURG, PINELLAS COUNTY, FLORIDA

PLAT BOOK PAGE



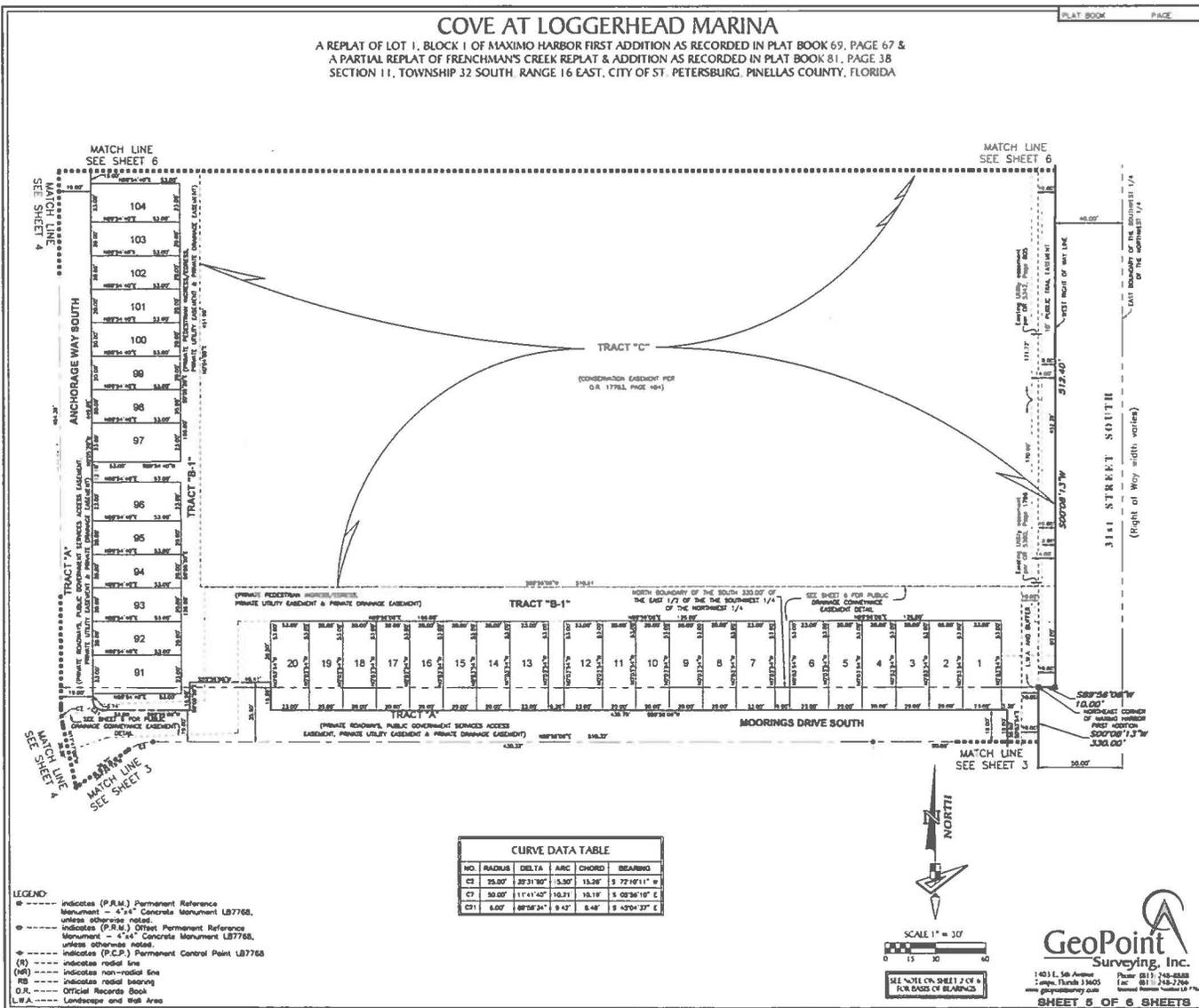
NO	RADIUS	DELTA	ARC	CHORD	BEARING
C3	110.00'	173.46'	31.83'	21.78'	S 84°12'30" E
C4	35.00'	87.675'	28.38'	35.44'	S 49°37'19" E
C7	30.00'	17.4146'	10.21'	10.19'	S 09°58'10" E
C8	30.00'	57.1073'	18.84'	18.14'	N 39°20'00" E
C9	30.00'	31.2844'	7.48'	7.44'	N 67°40'00" E
C10	3.00'	37.4734'	4.80'	4.54'	S 28°10'19" E

LEGEND:
 ● --- indicates (P.R.M.) Permanent Reference Monument - 4"x4" Concrete Monument LB7760, unless otherwise noted.
 ○ --- indicates (O.P.R.M.) Offset Permanent Reference Monument - 4"x4" Concrete Monument LB7760, unless otherwise noted.
 ⊕ --- indicates (P.C.P.) Permanent Control Point LB7768
 (R) --- indicates radial line
 (NR) --- indicates non-radial line
 RB --- indicates radial bearing
 O.R. --- Official Records Book
 L.S.A. --- Landscape and Soil Area

GeoPoint
 Surveying, Inc.
 1401 E. 5th Avenue
 Tampa, Florida 33605
 Phone: (813) 746-8888
 Fax: (813) 252-2766
 www.geopointsurveying.com
 SHEET 4 OF 5 SHEETS

COVE AT LOGGERHEAD MARINA

A REPLAT OF LOT 1, BLOCK 1 OF MAXIMO HARBOR FIRST ADDITION AS RECORDED IN PLAT BOOK 69, PAGE 67 &
 A PARTIAL REPLAT OF FRENCHMAN'S CREEK REPLAT & ADDITION AS RECORDED IN PLAT BOOK 81, PAGE 38
 SECTION 11, TOWNSHIP 32 SOUTH, RANGE 16 EAST, CITY OF ST. PETERSBURG, PINELLAS COUNTY, FLORIDA



CURVE DATA TABLE

NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C1	25.00'	29°31'30"	5.30'	15.28'	S 77°07'11" W
C2	50.00'	11°41'42"	10.31'	10.14'	S 02°56'10" E
C3	6.00'	88°58'24"	0.42'	0.48'	S 43°04'37" E

- LEGEND:**
- indicates (P.R.M.) Permanent Reference Monument - 4"x4" Concrete Monument LB7768, unless otherwise noted.
 - indicates (P.R.M.) Offset Permanent Reference Monument - 4"x4" Concrete Monument LB7768, unless otherwise noted.
 - indicates (P.C.P.) Permanent Control Point LB7768
 - (R) --- indicates radial line
 - (NR) --- indicates non-radial line
 - indicates radial bearing
 - Official Records Book
 - L.A. --- Landscape and Wall Area



GeoPoint
 Surveying, Inc.

1401 E. 56th Avenue
 Largo, Florida 34605
 www.geopointsurvey.com

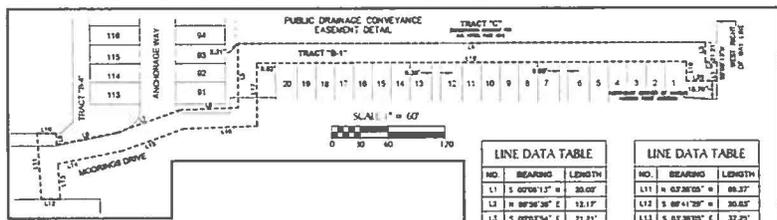
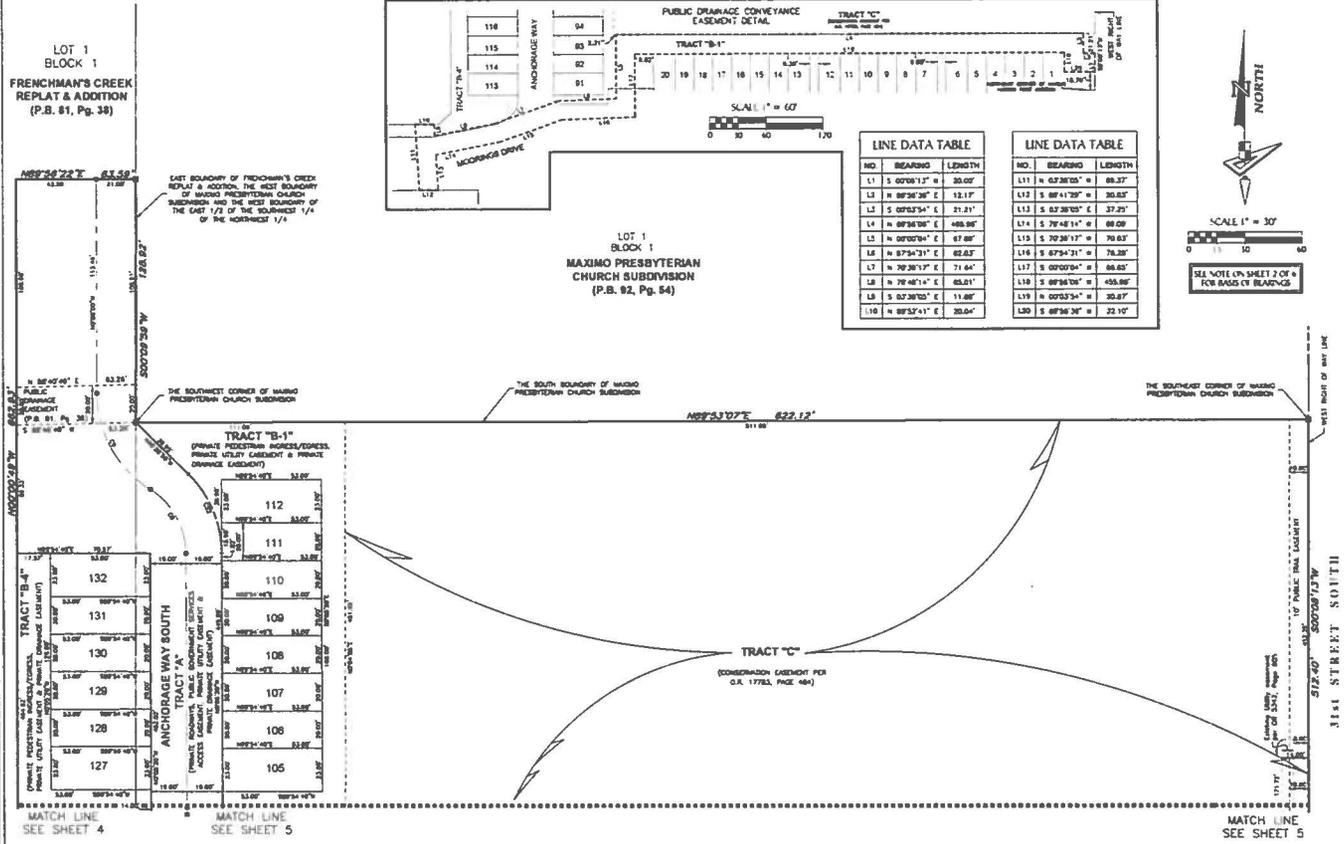
Phone: (813) 748-8528
 Fax: (813) 748-7766
 National Business Council ID #7746

SHEET 5 OF 6 SHEETS

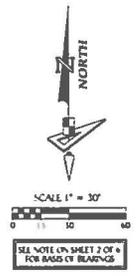
COVE AT LOGGERHEAD MARINA

A REPLAT OF LOT 1, BLOCK 1 OF MAXIMO HARBOR FIRST ADDITION AS RECORDED IN PLAT BOOK 69, PAGE 67 &
 A PARTIAL REPLAT OF FRENCHMAN'S CREEK REPLAT & ADDITION AS RECORDED IN PLAT BOOK 81, PAGE 38
 SECTION 11, TOWNSHIP 32 SOUTH, RANGE 16 EAST, CITY OF ST. PETERSBURG, PINELLAS COUNTY, FLORIDA

PLAT BOOK PAGE



LINE DATA TABLE			LINE DATA TABLE		
NO.	BEARING	LENGTH	NO.	BEARING	LENGTH
L1	S 07°04'11" E	30.00'	L11	N 43°38'03" W	88.37'
L2	N 89°38'38" E	12.17'	L12	S 88°41'29" W	30.65'
L3	S 07°03'54" E	21.21'	L13	S 83°38'03" E	37.29'
L4	N 89°38'38" E	68.88'	L14	S 78°48'14" W	68.09'
L5	S 07°07'04" E	67.88'	L15	S 70°38'17" W	70.83'
L6	N 87°54'31" E	82.83'	L16	S 87°34'31" W	78.28'
L7	N 70°38'17" E	71.64'	L17	S 09°07'54" W	66.85'
L8	N 78°48'14" E	85.21'	L18	S 89°48'54" W	455.88'
L9	S 83°38'03" E	11.88'	L19	N 00°37'54" W	20.87'
L10	N 89°37'41" E	35.04'	L20	S 89°38'38" W	32.10'



LEGEND

- Indicates (P.P.M.) Permanent Reference Monument - 4"x4" Concrete Monument LB7788, unless otherwise noted.
- Indicates (O.P.M.) Official Permanent Reference Monument - 4"x4" Concrete Monument LB7788, unless otherwise noted.
- Indicates (P.C.P.) Permanent Control Point LB7768
- (R) indicates radial line
- (NR) indicates non-radial line
- RB indicates radial bearing
- O.A. indicates Official Records Book
- WA indicates Landscape and Wall Area

CURVE DATA TABLE				
NO.	RADIUS	DELTA	ARC CHORD	BEARING
CB	48.00'	17°53'14"	48.44'	38.74' N 39°33'07" E
CC	80.00'	58°03'13"	68.79'	58.18' S 39°07'37" E
CD	38.00'	17°32'20"	48.24'	43.53' N 27°47'05" W

GeoPoint
 Surveying, Inc.

1101 E. 1st Avenue
 Tampa, Florida 33605
 www.geopointsurvey.com

Phone: (813) 726-8888
 Fax: (813) 726-2706
 Central Florida Office: (407) 886-8888

SHEET 6 OF 6 SHEETS

Attached documents for item Approving a plat of Allendale Court, generally located at the southwest corner of 34th Avenue North and 7th Street North (City File No. 12-20000002)



SAINT PETERSBURG CITY COUNCIL

Meeting of October 17, 2013

TO: THE HONORABLE KARL NURSE, CHAIR, AND MEMBERS OF CITY COUNCIL

SUBJECT: Resolution approving the plat of *Allendale Court*, generally located at the southwest corner of 34th Avenue North and 7th Street North (Our File: 12-20000002).

RECOMMENDATION: The Administration recommends **APPROVAL**.

DISCUSSION:

The applicant is requesting approval of a replat of the subject property to create 11 single-family lots. The property is zoned Neighborhood Traditional (NT-2), which is a single-family zoning district. The property is generally located on the southwest corner of 34th Avenue North and 7th Street North. The property is currently vacant and the applicant has completed some engineering work to prepare the property for development. Variances to the City Code requirements for lot width and that all lots front a public street were approved by the Development Review Commission for this plat (Case No. 12-20000002). The plat includes 11 single-family lots, a private drive, a common area and an area for stormwater retention.

Attachments: Map, Aerial, Resolution

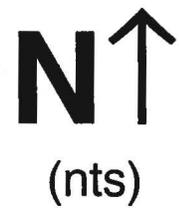
APPROVALS:

Administrative: Chris Elliott
Budget: NA
Legal: [Signature] 019



st.petersburg
www.stpete.org

Planning & Economic Development Department
Case No.: 12-20000002
Address: SW Corner of 34th Ave N & 7th St N





Planning & Economic Development Department

Case No.: 12-20000002

Address: SW Corner of 34th Ave N & 7th St N



ALLENDALE COURT

BEING A REPLAT OF LOT 2, BOND SUBDIVISION, PLAT BOOK 106, PAGE 73, PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, TOGETHER WITH A PORTION OF THE NORTH 1/2 OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 7, TOWNSHIP 31 SOUTH, RANGE 17 EAST, CITY OF ST. PETERSBURG, PINELLAS COUNTY, FLORIDA

PROPERTY DESCRIPTION:

PARCEL 1

THE EAST 299.35 FEET OF THE NORTH 1/2 OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 7, TOWNSHIP 31 SOUTH, RANGE 17 EAST, PINELLAS COUNTY, FLORIDA, LESS THE SOUTH 50 FEET THEREOF AND LESS THE EAST 25 FEET THEREOF AND LESS THE NORTH 20 FEET THEREOF FOR STREET PURPOSES.

AND

THE SOUTH 50 FEET OF THE NORTH 1/2 OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 7, TOWNSHIP 31 SOUTH, RANGE 17 EAST, PINELLAS COUNTY, FLORIDA.

LESS AND EXCEPT THAT PORTION OF THE ABOVE DESCRIBED CONVEYED TO WILLIAM BOND, JR., BY GENERAL WARRANTY DEED, RECORDED NOVEMBER 21, 2011 IN OFFICIAL RECORDS BOOK 17414, PAGE 80, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

ALSO LESS AND EXCEPT THAT PORTION OF THE ABOVE DESCRIBED PROPERTY KNOWN AS FIVE POINTS COMMERCIAL, RECORDED IN PLAT BOOK 106, PAGES 14 AND 15, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

ALSO LESS THAT PORTION FOR ROAD RIGHT-OF-WAY OF 9TH STREET NORTH AND LESS THE EAST 25 FEET THEREOF FOR STREET PURPOSES.

PARCEL 2

LOT 2, BLOCK 1, BOND SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN PLAT BOOK 106, PAGE 73, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

ALL THE ABOVE BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF LOT 2, BLOCK 1, BOND SUBDIVISION, ACCORDING TO THE PLAT AS RECORDED IN PLAT BOOK 106, PAGE 73 OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA FOR A POINT OF BEGINNING, SAID POINT BEING ON THE SOUTH RIGHT-OF-WAY LINE OF 34TH AVENUE NORTH (RIGHT-OF-WAY VARIES), THENCE CONTINUE ALONG SAID SOUTH RIGHT-OF-WAY LINE THE FOLLOWING COURSES: THENCE RUN N89°30'03"E 102.91 FEET; THENCE RUN N00°08'33"E 10.00 FEET; THENCE RUN N89°58'41"E 190.83 FEET TO A POINT OF INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF 7TH STREET NORTH (RIGHT-OF-WAY VARIES), THENCE RUN ALONG SAID WEST RIGHT-OF-WAY S.00°23'07"W 312.37 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH 1/2 OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 7, TOWNSHIP 31 SOUTH, RANGE 17 EAST, PINELLAS COUNTY, FLORIDA AND ALSO BEING ON AN EASTERLY PROLONGATION OF THE NORTH LINE OF SEIGNARY HEIGHTS, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 41, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA; THENCE RUN ALONG SAID SOUTH LINE AND SAID EASTERLY PROLONGATION AND NORTH LINE OF SEIGNARY HEIGHTS WEST 494.48 FEET; THENCE LEAVING SAID SOUTH LINE AND NORTH LINE OF SEIGNARY HEIGHTS RUN N00°14'00"E A DISTANCE OF 50.00 FEET TO THE SOUTHEAST CORNER OF LOT 1, BLOCK 1, BOND SUBDIVISION REPLAT, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 137, PAGES 85 AND 88 OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA; THENCE RUN N89°59'57"E ALONG THE SOUTH LINE OF SAID LOT 1, BLOCK 1, BOND SUBDIVISION, A DISTANCE OF 2019.9 FEET TO THE SOUTHWEST CORNER OF LOT 2, BLOCK 1, BOND SUBDIVISION; THENCE RUN N00°08'04"E ALONG THE WEST LINE OF SAID LOT 2, BLOCK 1, BOND SUBDIVISION A DISTANCE OF 252.12 FEET TO THE POINT OF BEGINNING.

CONTAINING 2.309 ACRES MORE OR LESS.

DEDICATION:

THE UNDERSIGNED HEREBY CERTIFIES THAT SHE IS THE OWNER OF THE ABOVE DESCRIBED PROPERTY, WHICH PROPERTY IS HEREBY PLATTED AS ALLENDALE COURT, AND THAT ALL RIGHT-OF-WAY AND THE ACCESS EASEMENT FOR GOVERNMENTAL SERVICES, UNLESS OTHERWISE STATED, SHALL BE DEEMED TO HAVE BEEN DEDICATED TO THE PUBLIC FOR THE USES AND PURPOSES THEREON STATED.

FIVE POINTS LAND COMPANY, INC. A FLORIDA CORPORATION
LINDA MELLENEY, PRESIDENT/DIRECTOR

WITNESS' SIGNATURE _____

WITNESS' SIGNATURE _____

WITNESS' PRINTED NAME _____

WITNESS' PRINTED NAME _____

ACKNOWLEDGEMENT:

STATE OF FLORIDA
COUNTY OF PINELLAS

I HEREBY CERTIFY THAT ON THIS _____ DAY OF _____, 2013 BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY, PERSONALLY APPEARED LINDA MELLENEY, AS PRESIDENT/DIRECTOR OF FIVE POINTS LAND COMPANY, INC. A FLORIDA CORPORATION, TO ME KNOWN TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE HEREINBEFORE CERTIFICATE OF DEDICATION AND SEVERALLY ACKNOWLEDGES THE EXECUTION THEREOF TO BE HER OWN FREE ACT AND DEED, AS SUCH OFFICER, FOR THE USES AND PURPOSES THEREIN MENTIONED, WITNESS MY HAND AND OFFICIAL SEAL AT THE STATE OF FLORIDA, COUNTY OF PINELLAS, THE DAY AND YEAR AFORESAID.

MY COMMISSION EXPIRES: _____ COMMISSION NO. _____

SIGNATURE OF NOTARY PUBLIC
STATE OF FLORIDA AT LARGE

PRINTED NAME OF NOTARY PUBLIC

CERTIFICATE OF APPROVAL BY CITY COUNCIL:

STATE OF FLORIDA
COUNTY OF PINELLAS

APPROVED FOR THE CITY OF ST. PETERSBURG, PINELLAS COUNTY, FLORIDA, THIS _____ DAY OF _____, 2013, PROVIDED THAT THIS PLAT IS RECORDED IN THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, WITHIN SIX (6) MONTHS FROM THE DATE OF THE MAYOR'S APPROVAL.

MAYOR

APPROVED BY THE CITY COUNCIL OF THE CITY OF ST. PETERSBURG, PINELLAS COUNTY, FLORIDA, THIS _____ DAY OF _____, A.D. 2013.

COUNCIL CHAIR

CERTIFICATE OF APPROVAL BY COUNTY CLERK:

STATE OF FLORIDA
COUNTY OF PINELLAS

I, KEN BURKE, CLERK OF THE CIRCUIT COURT OF PINELLAS COUNTY, FLORIDA, HEREBY CERTIFY THAT THIS PLAT HAS BEEN EXAMINED AND THAT IT COMPLES IN FORM WITH ALL THE REQUIREMENTS OF THE STATUTES OF THE STATE OF FLORIDA PERTAINING TO MAPS AND PLATS, AND THAT THIS PLAT HAS BEEN FILED FOR RECORD IN PLAT BOOK _____, PAGE(S) _____ OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA THIS _____ DAY OF _____, 2013 AT _____.

ATTEST: KEN BURKE,
CLERK OF PINELLAS COUNTY, FLORIDA

BY: _____
DEPUTY CLERK (SIGNATURE) (PRINTED NAME)

CERTIFICATE OF CONFORMITY BY REVIEWING SURVEYOR:

REVIEWED FOR CONFORMITY TO CHAPTER 177, PART 1 OF THE FLORIDA STATUTES BY A PROFESSIONAL SURVEYOR AND MAPPER UNDER CONTRACT BY THE CITY OF ST. PETERSBURG.

MATTHEW PICKEL, PROFESSIONAL SURVEYOR AND MAPPER DATE _____
STATE OF FLORIDA, LICENSED LAND SURVEYOR NUMBER 6123

SURVEYOR'S CERTIFICATE:

I, JOHN C. BRENDLA, OF JOHN C. BRENDLA & ASSOCIATES, INC. MAKER OF THIS PLAT, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND THAT IT IS A CORRECT REPRESENTATION OF THE LANDS PLATTED AND THIS PLAT COMPLIES WITH THE REQUIREMENTS OF CHAPTER 177 PART 1 OF THE FLORIDA STATUTES, AND I FURTHER CERTIFY THAT THIS PLAT MEETS ALL MATERIAL IN COMPOSITION REQUIRED BY FLORIDA STATUTE 177.091, AND THAT ON THE _____ DAY OF _____, 2013, THE PERMANENT REFERENCE MONUMENTS (PRMS) WERE PLACED AS SHOWN HEREON, AS REQUIRED BY LAW. SIGNED ON THIS _____ DAY OF _____, 2013.

JOHN C. BRENDLA, REGISTERED LAND SURVEYOR
STATE OF FLORIDA, LICENSED LAND SURVEYOR NO. 1269
(LICENSED BUSINESS NO. 760)

JOHN C. BRENDLA AND ASSOCIATES, INC.
Consulting Engineers and Land Surveyors



4015 82nd Avenue North
Pinellas Park, Florida 33781
Telephone (727) 576-7546
Facsimile (727) 577-9932

TRACT DATA:

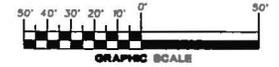
- TRACT "A" IS TO BE DEDICATED FOR 10' ADDITIONAL RIGHT-OF-WAY ALONG 34TH AVENUE NORTH BY THIS PLAT.
- TRACT "B" IS DESIGNATED FOR PRIVATE RETENTION AREA AND IS TO BE OWNED AND MAINTAINED IN ACCORDANCE WITH THE ALLENDALE COURT HOMEOWNERS ASSOCIATION DECLARATION.
- TRACT "C" IS DESIGNATED FOR PRIVATE INGRESS/EGRESS, A PRIVATE UTILITY EASEMENT AND PUBLIC ACCESS EASEMENT FOR GOVERNMENTAL SERVICES AND IS TO BE OWNED AND MAINTAINED IN ACCORDANCE WITH THE ALLENDALE COURT HOMEOWNERS ASSOCIATION DECLARATION. THE PUBLIC ACCESS EASEMENT FOR GOVERNMENTAL SERVICES EXISTS FOR ACCESS AND INGRESS AND EGRESS PURPOSES ONLY TO PROVIDE GOVERNMENT SERVICES, INCLUDING BUT NOT LIMITED TO, FIRE SERVICE, POLICE, EMERGENCY MEDICAL SERVICES, SANITATION AND CODE ENFORCEMENT.
- TRACT "D" IS DESIGNATED FOR A PRIVATE OPEN AREA AND IS TO BE OWNED AND MAINTAINED IN ACCORDANCE WITH THE ALLENDALE COURT HOMEOWNERS ASSOCIATION DECLARATION.

SURVEYOR'S REPORT:

- BASIS OF BEARINGS: THE SOUTH LINE OF THE NORTH 1/2 OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 7, TOWNSHIP 31 SOUTH, RANGE 17 EAST AS BEING WEST, ASSURED.
- NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
- ALL PUBLIC UTILITY EASEMENTS MUST PROVIDE THAT SUCH EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES; PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES. THIS SECTION SHALL NOT APPLY TO THOSE PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICULAR ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY.
- ALL ONSITE PRIVATE DRAINAGE EASEMENTS ARE TO BE MAINTAINED IN ACCORDANCE WITH THE HOMEOWNERS ASSOCIATION DECLARATION.

ALLEDALE COURT

BEING A REPLAT OF LOT 2, BOND SUBDIVISION, PLAT BOOK 106, PAGE 73, PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, TOGETHER WITH A PORTION OF THE NORTH 1/2 OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 7, TOWNSHIP 31 SOUTH, RANGE 17 EAST, CITY OF ST. PETERSBURG, PINELLAS COUNTY, FLORIDA



TRACT DATA:

- TRACT "A" IS TO BE DEDICATED FOR 10' ADDITIONAL RIGHT-OF-WAY ALONG 34TH AVENUE NORTH BY THIS PLAT.
- TRACT "B" IS DESIGNATED FOR A PRIVATE RETENTION AREA AND IS TO BE OWNED AND MAINTAINED IN ACCORDANCE WITH THE ALLEDALE COURT HOMEOWNERS ASSOCIATION DECLARATION.
- TRACT "C" IS DESIGNATED FOR PRIVATE INGRESS/EGRESS, A PRIVATE UTILITY EASEMENT AND PUBLIC ACCESS EASEMENT FOR GOVERNMENTAL SERVICES AND IS TO BE OWNED AND MAINTAINED IN ACCORDANCE WITH THE ALLEDALE COURT HOMEOWNERS ASSOCIATION DECLARATION. THE PUBLIC ACCESS EASEMENT FOR GOVERNMENTAL SERVICES EXISTS FOR ACCESS AND INGRESS AND EGRESS PURPOSES ONLY TO PROVIDE GOVERNMENTAL SERVICES, INCLUDING BUT NOT LIMITED TO, FIRE SERVICE, POLICE, EMERGENCY MEDICAL SERVICES, SANITATION AND CODE ENFORCEMENT.
- TRACT "D" IS DESIGNATED FOR A PRIVATE OPEN AREA AND IS TO BE OWNED AND MAINTAINED IN ACCORDANCE WITH THE ALLEDALE COURT HOMEOWNERS ASSOCIATION DECLARATION.

CURVE DATA TABLE

CURVE NO.	RADIUS	CENTRAL ANGLE	ARC	CHORD	CHORD BEARING
C1	12.00'	88°18'22"	17.77'	13.29'	N 44°54'12"E
C2	12.00'	88°25'04"	17.83'	13.31'	N 44°48'28"W

BOUNDARY CORNER ABBREVIATION/SYMBOL LEGEND:

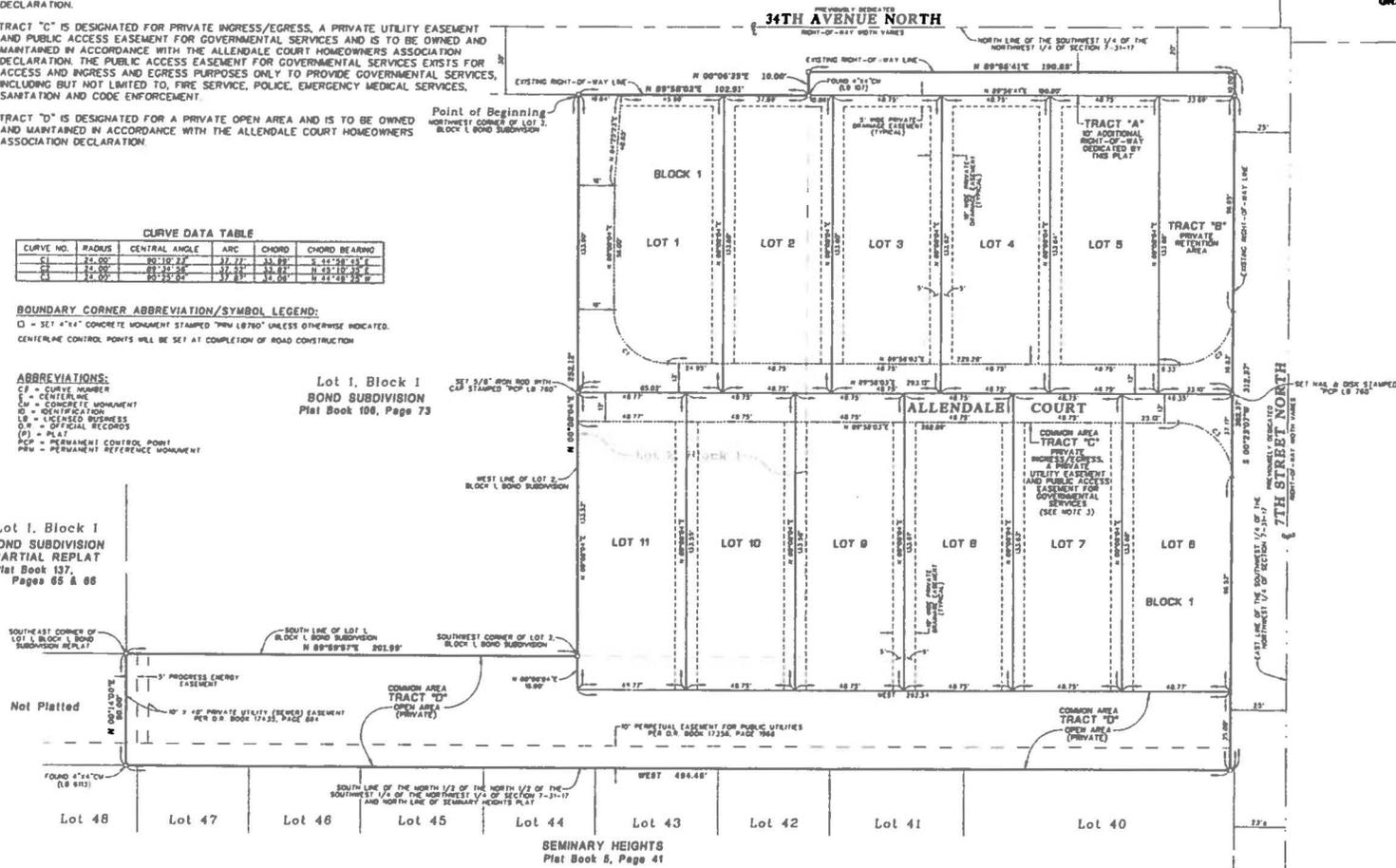
□ = SET "4" CONCRETE MONUMENT STAMPED "PIN 18760" UNLESS OTHERWISE INDICATED.
 ○ = CENTERLINE
 CENTERLINE CONTROL POINTS WILL BE SET AT COMPLETION OF ROAD CONSTRUCTION

ABBREVIATIONS:

CF = CURVE NUMBER
 C = CENTERLINE
 CM = CONCRETE MONUMENT
 ID = IDENTIFICATION
 LB = LICENSED BUSINESS
 O/S = OFFICIAL RECORDS
 (P) = PLAT
 PMP = PERMANENT CONTROL POINT
 PRM = PERMANENT REFERENCE MONUMENT

Lot 1, Block 1
 BOND SUBDIVISION
 Plat Book 106, Page 73

Lot 1, Block 1
 BOND SUBDIVISION
 PARTIAL REPLAT
 Plat Book 137,
 Pages 65 & 66



SURVEYOR'S REPORT:

- 1) BASIS OF BEARINGS: THE SOUTH LINE OF THE NORTH 1/2 OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 7, TOWNSHIP 31 SOUTH, RANGE 17 EAST AS BEING WEST, ASSUMED.
- 2) NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER DRAWING OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

- 3) ALL PUBLIC UTILITY EASEMENTS MUST PROVIDE THAT SUCH EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES; PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES. THIS SECTION SHALL NOT APPLY TO THOSE PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICULAR ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY.

- 4) ALL ONSITE PRIVATE DRAINAGE EASEMENTS ARE TO BE MAINTAINED IN ACCORDANCE WITH THE HOMEOWNERS ASSOCIATION DECLARATION.

JOHN C. BRENDLA AND ASSOCIATES, INC.
 Consulting Engineers and Land Surveyors

JCB
 LB 760



4015 82nd Avenue North
 Pinellas Park, Florida 33781
 Telephone (727) 576-7546
 Facsimile (727) 577-9932