

PHYSICAL NEEDS ASSESSMENT

prepared for

St. Petersburg Housing Authority
2001 Gandy Boulevard, North
St. Petersburg, Florida 33702
Pamela Hobbs



PHYSICAL NEEDS ASSESSMENT AND ENERGY AUDIT
OF
JORDAN PARK
1245 JORDAN PARK STREET SOUTH
ST. PETERSBURG, FLORIDA 33712

PREPARED BY:

EMG

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EMG PROJECT #:

118891.16R000-001.052

DATE OF REPORT:

April 4, 2016

ON SITE DATE:

March 7, 2016



engineering | environmental | capital planning | project management

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Immediate Repairs Report
Jordan Park
4/4/2016



Report Section	ID	Cost Description	Quantity	Unit	Unit Cost	Subtotal	Deficiency Repair Estimate *
1.2	418933	Engineer, Structural, Exterior Enevelope, Evaluate/Report	1	EA	\$6,957.50	\$6,958	\$6,958
3.2	418808	ADA, Miscellaneous, Light Switches and Other Controls, Modify	5	EA	\$227.70	\$1,139	\$1,139
3.2	418807	ADA, Miscellaneous, Fire Alarm Devices, Strobe/Horn, Install	5	EA	\$253.00	\$1,265	\$1,265
3.2	418810	ADA, Parking, Designated Stall with Pavement Markings & Signage (Van), Install	2	EA	\$1,391.50	\$2,783	\$2,783
5.2	418816	Asphalt Pavement, Parking Lot, Seal & Stripe	44700	SF	\$0.38	\$16,986	\$16,986
6.3	422257	Soffit, Gypsum Board, Replace	1000	SF	\$9.91	\$9,910	\$9,910
6.3	418827	Roof, Asphalt Shingle, Replace	155000	SF	\$3.42	\$530,100	\$530,100
6.4	418828	Exterior Wall, Stucco, 1-2 Stories, Replace	10000	SF	\$18.18	\$181,800	\$181,800
6.4	418831	Exterior Wall, Concrete Block (CMU), 1-2 Stories, Repoint	500	SF	\$8.16	\$4,080	\$4,080
6.6	418921	Window, Aluminum Double-Glazed 12 SF, 1-2 Stories, Replace	2300	EA	\$584.21	\$1,343,683	\$1,343,683
6.6	418922	Window, Aluminum Double-Glazed 24 SF, 1-2 Stories, Replace	25	EA	\$870.45	\$21,761	\$21,761
6.7	418929	Structural Flooring/Decking, Concrete, Replace	500	SF	\$29.24	\$14,620	\$14,620
8.1	418947	Interior Door, Wood Hollow-Core, Replace	552	EA	\$596.52	\$329,279	\$329,279
8.1	418944	Interior Door, Bi-Fold, Replace	1205	EA	\$762.99	\$919,403	\$919,403
8.1	418939	Interior Wall Finish, Gypsum Board/Plaster/Metal, Prep & Paint	575000	SF	\$1.42	\$816,500	\$816,500
8.1	418936	Interior Floor Finish, Vinyl Tile (VCT), Replace	20000	SF	\$4.80	\$96,000	\$96,000
8.1	418938	Interior Floor Finish, Carpet Residential-Grade Nylon, Replace	218000	SF	\$5.19	\$1,131,420	\$1,131,420
8.2	418953	Dishwasher, Residential, Replace	238	EA	\$806.06	\$191,842	\$191,842
8.2	418955	Refrigerator, Residential, 14-18 CF, Replace	100	EA	\$956.04	\$95,604	\$95,604
8.2	418963	Range Hood, Vented or Ventless, Residential, Replace	237	EA	\$271.61	\$64,372	\$64,372
8.2	418957	Refrigerator, Residential, 14-18 CF, Replace	138	EA	\$956.04	\$131,934	\$131,934
8.2	418960	Range, Gas, Residential, Replace	237	EA	\$768.11	\$182,042	\$182,042
8.2	418949	Kitchen Counter, Plastic Laminate, Postformed, Replace	1185	LF	\$43.90	\$52,022	\$52,022
8.3	418974	Condenser, Air-Cooled, 2 Ton, Replace	187	EA	\$2,587.75	\$483,909	\$483,909
8.3	418977	Condenser, Air-Cooled, 2 Ton, Replace	50	EA	\$2,587.75	\$129,388	\$129,388
8.3	418979	Air Handler, Interior, 200 to 400 CFM, Replace	142	EA	\$2,473.25	\$351,202	\$351,202
8.3	418981	Air Handler, Interior, 401 to 800 CFM, Replace	95	EA	\$3,351.83	\$318,424	\$318,424
8.4	418996	Toilet, Flush Tank (Water Closet), Replace	441	EA	\$1,055.15	\$465,321	\$465,321
8.4	419000	Bathtub & Shower Enclosure, Fiberglass, Replace	332	EA	\$1,785.27	\$592,710	\$592,710
8.4	419011	Water Heater, Gas, Residential, 30 to 50 GAL, Replace	237	EA	\$2,349.48	\$556,827	\$556,827
8.4	418993	Bathroom Vanity Cabinet, Wood, with Cultured Marble Sink Top, 24 to 30", Replace	441	EA	\$1,082.84	\$477,532	\$477,532

9	419037	Interior Wall Finish, Gypsum Board/Plaster/Metal, Prep & Paint	5500	SF	\$1.42	\$7,810	\$7,810
9	419030	Interior Ceiling Finish, Acoustical Tile (ACT), Replace	500	SF	\$3.11	\$1,555	\$1,555
9	419025	Water Heater, Gas, Residential, 30 to 50 GAL, Replace	1	EA	\$2,349.48	\$2,349	\$2,349
9	419023	Condenser, Air-Cooled, 5 Ton, Replace	2	EA	\$4,237.42	\$8,475	\$8,475
9	419022	Air Handler, Interior, 401 to 800 CFM, Replace	3	EA	\$3,351.83	\$10,055	\$10,055
	425502	Exterior Column, Steel, Replace	3060	LF	\$17.37	\$53,152	\$53,152
	425505	Roof : Leak / Damage Repair	5000	SF	\$5.00	\$25,000	\$25,000

Immediate Repairs Total

\$9,629,210

* Location Factor (1.0) included in totals.

Replacement Reserves Report

Jordan Park



4/4/2016

Report Section	Location Description	ID	Cost Description	Lifespan (EUL)	E	A	RUL	Quantity	Unit	Unit Cost	Subtotal	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	Deficiency Repair Estimate
1.2	Residential Buildings	418933	P1000 Engineer, Structural, Exterior Enevelope, Evaluate/Report	0	0	0	1	EA		\$6,957.50	\$6,958	\$6,958																			\$6,958	
3.2	ADA Units	418808	Z1050 ADA, Miscellaneous, Light Switches and Other Controls, Modify	0	0	0	5	EA		\$227.70	\$1,139	\$1,139																			\$1,139	
3.2	ADA Units	418807	Z1050 ADA, Miscellaneous, Fire Alarm Devices, Strobe/Horn, Install	0	0	0	5	EA		\$253.00	\$1,265	\$1,265																			\$1,265	
3.2	Parking Areas	418810	Z1060 ADA, Parking, Designated Stall with Pavement Markings & Signage (Van), Install	0	0	0	2	EA		\$1,391.50	\$2,783	\$2,783																			\$2,783	
5.2	Parking Areas	418816	G2022 Asphalt Pavement, Parking Lot, Seal & Stripe	5	5	0	44700	SF		\$0.38	\$16,986	\$16,986				\$16,986						\$16,986				\$16,986					\$67,944	
5.2	Parking Areas	418815	G2022 Asphalt Pavement, Parking Lot, Cut & Patch	25	15	10	10000	SF		\$4.96	\$49,600											\$49,600									\$49,600	
5.2	site	418818	G2031 Concrete Sidewalk, Replace	30	15	15	5000	SF		\$19.82	\$99,100															\$99,100					\$99,100	
5.5	site	418824	G2041 Wood Board Fence (per SF Face), Replace	30	15	15	3000	SF		\$6.11	\$18,330															\$18,330					\$18,330	
5.5	site	418822	G2041 Wrought Iron Fence, 6' High (per LF), Replace	30	12	18	30	LF		\$45.67	\$1,370																	\$1,370			\$1,370	
5.5	Site	418825	G2047 Play Structure, Large, Replace	20	3	17	1	EA		\$53,130.00	\$53,130															\$53,130					\$53,130	
5.5	site	418820	G4021 Pole Light, Exterior, 135 to 1000 W HID (Fixture, Ballast, & Lamp), Replace	10	3	7	30	EA		\$2,246.90	\$67,407							\$67,407								\$67,407					\$134,814	
6.3	exterior walls	422257	B2016 Soffit, Gypsum Board, Replace	20	20	0	1000	SF		\$9.91	\$9,910	\$9,910																			\$9,910	
6.3	Roofs	418827	B3011 Roof, Asphalt Shingle, Replace	20	20	0	155000	SF		\$3.42	\$530,100	\$530,100																			\$530,100	
6.4	Buildings	418828	B2011 Exterior Wall, Stucco, 1-2 Stories, Replace	20	20	0	10000	SF		\$18.18	\$181,800	\$181,800																			\$181,800	
6.4	Jordan Park	418831	B2011 Exterior Wall, Concrete Block (CMU), 1-2 Stories, Repoint	25	25	0	500	SF		\$8.16	\$4,080	\$4,080																			\$4,080	
6.4	buildings	418829	B2011 Exterior Wall, Painted Surface, 1-2 Stories, Prep & Paint	10	3	7	277000	SF		\$2.87	\$794,990								\$794,990								\$794,990				\$1,589,980	
6.6	Residential Buildings	418921	B2021 Window, Aluminum Double-Glazed 12 SF, 1-2 Stories, Replace	30	30	0	2300	EA		\$584.21	\$1,343,683	\$1,343,683																			\$1,343,683	
6.6	Rental Office	418922	B2021 Window, Aluminum Double-Glazed 24 SF, 1-2 Stories, Replace	30	30	0	25	EA		\$870.45	\$21,761	\$21,761																			\$21,761	
6.6	Leasing Office	418924	B2031 Exterior Door, Fully-Glazed Wood Solid-Core, Replace	25	15	10	4	EA		\$1,982.31	\$7,929											\$7,929									\$7,929	
6.6	Residential Buildings	418923	B2032 Exterior Door, Steel, Replace	25	10	15	474	EA		\$950.12	\$450,357															\$450,357					\$450,357	
6.7	Patios	418929	B1012 Structural Flooring/Decking, Concrete, Replace	50	50	0	500	SF		\$29.24	\$14,620	\$14,620																			\$14,620	
6.7	Residential Buildings	418928	G2041 Wood Board Fence (per SF Face), Replace	30	15	15	2370	SF		\$6.11	\$14,481															\$14,481					\$14,481	
8.1	Apartment Units	418947	C1021 Interior Door, Wood Hollow-Core, Replace	20	20	0	552	EA		\$596.52	\$329,279	\$329,279																			\$329,279	
8.1	Apartment Units	418944	C1021 Interior Door, Bi-Fold, Replace	15	15	0	1205	EA		\$762.99	\$919,403	\$919,403														\$919,403					\$1,838,806	
8.1	apartment units	418946	C1021 Interior Door, Wood Hollow-Core, Replace	20	3	17	700	EA		\$596.52	\$417,564															\$417,564					\$417,564	
8.1	Apartment Units	418945	C1021 Interior Door, Bi-Fold, Replace	15	2	13	1205	EA		\$762.99	\$919,403													\$919,403							\$919,403	
8.1	Apartment Units	418939	C3012 Interior Wall Finish, Gypsum Board/Plaster/Metal, Prep & Paint	8	8	0	575000	SF		\$1.42	\$816,500	\$816,500							\$816,500							\$816,500					\$2,449,500	
8.1	Apartment Units	418934	C3012 Interior Wall Finish, Laminated Paneling, Replace	20	5	15	25000	SF		\$15.31	\$382,750															\$382,750					\$382,750	
8.1	Apartment Units	418935	C3024 Interior Floor Finish, Vinyl Tile (VCT), Replace	15	5	10	5000	SF		\$4.80	\$24,000										\$24,000										\$24,000	
8.1	Apartment Units	418936	C3024 Interior Floor Finish, Vinyl Tile (VCT), Replace	15	15	0	20000	SF		\$4.80	\$96,000	\$96,000														\$96,000					\$192,000	
8.1	Apartment Units	418938	C3025 Interior Floor Finish, Carpet Residential-Grade Nylon, Replace	7	7	0	218000	SF		\$5.19	\$1,131,420	\$1,131,420							\$1,131,420						\$1,131,420						\$3,394,260	
8.2	apartment Units	418953	E1094 Dishwasher, Residential, Replace	10	10	0	238	EA		\$806.06	\$191,842	\$191,842										\$191,842									\$383,685	
8.2	apartment Units	418955	E1094 Refrigerator, Residential, 14-18 CF, Replace	15	15	0	100	EA		\$956.04	\$95,604	\$95,604														\$95,604					\$191,208	
8.2	Apartment Units	418963	E1094 Range Hood, Vented or Ventless, Residential, Replace	15	15	0	237	EA		\$271.61	\$64,372	\$64,372														\$64,372					\$128,743	
8.2	Apartment Units	418957	E1094 Refrigerator, Residential, 14-18 CF, Replace	15	15	0	138	EA		\$956.04	\$131,934	\$131,934														\$131,934					\$263,867	
8.2	Apartment Units	418960	E1094 Range, Gas, Residential, Replace	15	15	0	237	EA		\$768.11	\$182,042	\$182,042														\$182,042					\$364,084	
8.2	Apartment Units	418949	E2012 Kitchen Counter, Plastic Laminate, Postformed, Replace	10	10	0	1185	LF		\$43.90	\$52,022	\$52,022									\$52,022										\$104,043	
8.2	apartment Units	418952	E2012 Kitchen Cabinet, Base and Wall Section, Wood, Replace	20	3	17	1185	LF		\$467.63	\$554,142															\$554,142					\$554,142	
8.2	Apartment Units	418951	E2012 Kitchen Counter, Plastic Laminate, Postformed, Replace	10	1	9	1185	LF		\$43.90	\$52,022									\$52,022								\$52,022			\$104,043	
8.3	Apartment Units	418974	D3032 Condenser, Air-Cooled, 2 Ton, Replace	15	15	0	187	EA		\$2,587.75	\$483,909	\$483,909														\$483,909					\$967,819	
8.3	Apartment Units	418977	D3032 Condenser, Air-Cooled, 2 Ton, Replace	15	15	0	50	EA		\$2,587.75	\$129,388	\$129,388														\$129,388					\$258,775	
8.3	1 and 2 bedroom Apartments	418979	D3041 Air Handler, Interior, 200 to 400 CFM, Replace	20	20	0	142	EA		\$2,473.25	\$351,202	\$351,202																			\$351,202	
8.3	2 and 3 bed apartments	418981	D3041 Air Handler, Interior, 401 to 800 CFM, Replace	20	20	0	95	EA		\$3,351.83	\$318,424	\$318,424																			\$318,424	
8.4	Apartment Bathrooms	418996	D2011 Toilet, Flush Tank (Water Closet), Replace	20	20	0	441	EA		\$1,055.15	\$465,321	\$465,321																			\$465,321	
8.4	Apartment Full Bathrooms	419000	D2015 Bathtub & Shower Enclosure, Fiberglass, Replace	20	20	0	332	EA		\$1,785.27	\$592,710	\$592,710																			\$592,710	
8.4	Jordan Park	419011	D2023 Water Heater, Gas, Residential, 30 to 50 GAL, Replace	10	10	0	237	EA		\$2,349.48	\$556,827	\$556,827									\$556,827										\$1,113,654	
8.4	Apartment Units	418993	E2012 Bathroom Vanity Cabinet, Wood, with Cultured Marble Sink Top, 24 to 30", Replace	20	20	0	441	EA		\$1,082.84	\$477,532	\$477,532																			\$477,532	
9	Community Building	419036	C3012 Interior Wall Finish, Laminated Paneling, Replace	20	7	13	2000	SF		\$15.31	\$30,620													\$30,620							\$30,620	
9	Community Building	419037	C3012 Interior Wall Finish, Gypsum Board/Plaster/Metal, Prep &																													

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PHYSICAL NEEDS ASSESSMENT

JORDAN PARK
1245 JORDAN PARK STREET SOUTH
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CERTIFICATION

EMG has completed a Physical Needs Assessment (PNA) of the subject property, Jordan Park, located at 1245 Jordan Park Street South in St. Petersburg, FL 33712. The PNA was performed on March 7, 2016.

The PNA was performed at the Housing Authority's request using methods and procedures consistent with good commercial and customary practice conforming to ASTM E2018-08, *Standard Guide for Property Condition Assessments: Baseline Property Condition Assessment Process*. Within this Physical Needs Assessment Report, EMG's follows the ASTM guide's definition of User, that is, the party that retains EMG for the preparation of a baseline PNA of the subject property. A User may include, without limitation, a purchaser, potential tenant, owner, existing or potential mortgagee, lender, or property manager of the subject property.

This report has been prepared for and is exclusively for the use and benefit of the Client identified on the cover page of this report. The purpose for which this report shall be used shall be limited to the use as stated in the contract between the client and EMG.

This report, or any of the information contained therein, is not for the use or benefit of, nor may it be relied upon by any other person or entity, for any purpose without the advance written consent of EMG. Any reuse or distribution without such consent shall be at the client's or recipient's sole risk, without liability to EMG.

The opinions EMG expresses in this report were formed utilizing the degree of skill and care ordinarily exercised by any prudent architect or engineer in the same community under similar circumstances. EMG assumes no responsibility or liability for the accuracy of information contained in this report which has been obtained from the Client or the Client's representatives, from other interested parties, or from the public domain. The conclusions presented represent EMG's professional judgment based on information obtained during the course of this assignment. EMG's evaluations, analyses and opinions are not representations regarding the building design or actual value of the property. Factual information regarding operations, conditions and test data provided by the Client or their representative has been assumed to be correct and complete. The conclusions presented are based on the data provided, observations made, and conditions that existed specifically on the date of the assessment.

EMG certifies that EMG has no undisclosed interest in the subject property, EMG's relationship with the Client is at arm's-length, and that EMG's employment and compensation are not contingent upon the findings or estimated costs to remedy any deficiencies due to deferred maintenance and any noted component or system replacements.

EMG's PNA cannot wholly eliminate the uncertainty regarding the presence of physical deficiencies and the performance of a subject property's building systems. Preparation of a PNA in accordance with Public Housing Modernization Standards Handbooks 7485.2 is intended to reduce, but not eliminate, the uncertainty regarding the potential for component or system failure and to reduce the potential that such component or system may not be initially observed. This PNA was prepared recognizing the inherent subjective nature of EMG's opinions as to such issues as workmanship, quality of original installation, and estimating the remaining useful life of any given component or system. It should be understood that EMG's suggested remedy may be determined under time constraints, formed without the aid of engineering calculations, testing, exploratory probing, the removal of materials, or design. Furthermore, there may be other alternate or more appropriate schemes or methods to remedy the physical deficiency. EMG's opinions are generally formed without detailed knowledge from individuals familiar with the component's or system's performance.

Any questions regarding this report should be directed to Edward Beeghly at ebeeghly@emgcorp.com or at 800.733.0660, 7607.

Prepared by: Shirleen Fisher,
Field Observer

Reviewed by:



Andrew Hupp
Program Manager

PHYSICAL NEEDS ASSESSMENT

JORDAN PARK
1245 JORDAN PARK STREET SOUTH
ST. PETERSBURG, FLORIDA 33712

EMG PROJECT NO: 118891.16R000-001.052

1. EXECUTIVE SUMMARY

1.1. SUMMARY OF FINDINGS

The St. Petersburg Housing Authority contracted with EMG to conduct a Physical Needs Assessment (PNA) of the subject property, Jordan Park, located at 1245 Jordan Park Street South in St. Petersburg, FL 33712. The PNA was performed on March 7, 2016.

STRUCTURES ASSESSED:	BUILDING TYPE	NO. OF BLDG.	NO. OF STORIES	APT. UNITS	UNITS ASSESSED	DATE OF CONST. PHASE-I	DATE OF CONST. PHASE-II	SIZE (SF):
Apartment Units	Duplex Homes	104	1-2	237	60	1943	2002	Varies
Community Building	Community Bldg.	1	2	0	0	2002	NA	Unknown

The site area is approximately 24.0 acres.

Summary of Physical Needs Assessment:

On-site amenities include an exercise room, playground, a community room, and a laundry room.

Generally, the property appears to have been constructed within industry standards in force at the time of construction, however the property has not been well maintained in recent years and is currently in fair condition.

According to property management personnel, the property has had an active capital improvement expenditure program over the past three years, primarily consisting of carpet, paint and appliance updates as-needed. Supporting documentation was not provided but some of the work is evident.

There are a number of Priority Deficiency Costs that have been identified during the evaluation period. These needs are identified in the various sections of this report and are summarized in the attached Replacement Reserves Report.

1.2. FOLLOW UP RECOMMENDATIONS

EMG recommends commissioning a structural engineering study in order to determine the extent of the termite damage. It appears that much of this damage is only limited to the exterior door frames, however it is necessary that an expert be bought in to determine the full extent of the problem. The cost for this study has been included in the Replacement Reserves Report.

1.3. OPINIONS OF PROBABLE COST

This section provides estimates for the repair and capital reserves items noted within this Physical Needs Assessment (PNA).

These estimates are based on invoice or bid documents provided either by the Owner/facility and construction costs developed from construction resources such as *R.S. Means* and *Marshall & Swift*, EMG's experience with past costs for similar properties, city cost indexes, and assumptions regarding future economic conditions.

1.4. METHODOLOGY

Physical Needs Assessment:

Based upon site observations, research, and judgment, along with referencing Expected Useful Life (EUL) tables from various industry sources, EMG opines as to when a system or component will most probably necessitate replacement. Accurate historical replacement records, if provided, are typically the best source of information. Exposure to the elements, initial quality and installation, extent of use, the quality and amount of preventive maintenance exercised, etc., are all factors that impact the effective age of a system or component. As a result, a system or component may have an effective age that is greater or less than its actual chronological age. The Remaining Useful Life (RUL) of a component or system equals the EUL less its effective age. Projections of Remaining Useful Life (RUL) are based on continued use of the Property similar to the reported past use. Significant changes in tenants and/or usage may affect the service life of some systems or components.

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The evaluation period identified in this report is defined as 20 years.

The physical condition of building component to be repaired is typically defined as being in one of five categories: Priority One through Five. For the purposes of this report, the following definitions are used:

Priority One – These items are to be addressed as Immediate. Items in this category require immediate action and include corrective measures to:

1. Correct life safety and/or code hazards
2. Repair item permitting water leaks into the building or structure
3. Repair mold or mildew conditions
4. Down unit repairs
5. Further study investigations

Priority Two – These items are to be addressed within the next 1 year. Items in this category require corrective measures to:

1. Return a system to normal operation
2. Stop deterioration to other systems
3. Stop accelerated deterioration
4. Replace items that have reached or exceeded their useful service life
5. ADA/UFAS deficiencies

Priority Three – These items are to be addressed within the next 2-3 years. Items in this category, if not corrected expeditiously, will become critical in the next several years. Items in this category include corrective measures to:

1. Stop intermittent interruptions
2. Correct rapid deterioration
3. Replace items that will reach or exceed their useful service life
4. Correct functionality and/or aesthetic issues that are not critical

Priority Four – These items are to be addressed within the next 3-5 years. Items in this category include conditions requiring appropriate attention to preclude predictable deterioration or potential downtime and the associated damage or higher costs if deferred further.

Priority Five – These items are to be addressed within 6-20 years. Items in this category represent a sensible improvement to the existing conditions. These are not required for the most basic function of the facility; however, Priority 5 projects will improve overall usability and/or reduce long-term maintenance costs.

2. PHYSICAL NEEDS ASSESSEMENT - PURPOSE AND SCOPE

2.1. PURPOSE

The purpose of this Physical Needs Assessment (PNA) is to assist the Client in evaluating the physical aspects of this property and how its condition may affect the soundness of the Client's financial decisions over time. For this PNA, representative samples of the major independent building components were observed and their physical conditions were evaluated. This included site and building exteriors, representative interior common areas, and a representative sample of the apartment units. Apartment unit observations include a minimum of 50 percent of the vacant units and all of the down units.

The property management staff and code enforcement agencies were interviewed for specific information relating to the physical property, code compliance, available maintenance procedures, available drawings, and other documentation. The property's systems and components were observed and evaluated for their present condition. EMG completed the *Systems and Conditions Table*, which lists the current physical condition and estimated remaining useful life of each system and component present on the property, as observed on the day of the site visit. The estimated costs for repairs and/or capital reserves are included in the enclosed cost tables. All findings relating to these opinions of probable costs are included in the narrative sections of this report.

The physical condition of building systems and related components are typically defined as being in one of five conditions: Excellent, Good, Fair, Poor, Missing/Failed, or a combination thereof. For the purposes of this report, the following definitions are used:

Excellent	=	New or very close to new; component or system typically has been installed within the past year, sound and performing its function. Eventual repair or replacement will be required when the component or system either reaches the end of its useful life or fails in service.
Good	=	Satisfactory as-is. Component or system is sound and performing its function, typically within the first third of its lifecycle. However, it may show minor signs of normal wear and tear. Repair or replacement will be required when the component or system either reaches the end of its useful life or fails in service.
Fair	=	Showing signs of wear and use but still satisfactory as-is, typically near the median of its estimated useful life. Component or system is performing adequately at this time but may exhibit some signs of wear, deferred maintenance, or evidence of previous repairs. Repair or replacement will be required due to the component or system's condition and/or its estimated remaining useful life.
Poor	=	Component or system is significantly aged, flawed, functioning intermittently or unreliably; displays obvious signs of deferred maintenance; shows evidence of previous repair or workmanship not in compliance with commonly accepted standards; has become obsolete; or exhibits an inherent deficiency. The present condition could contribute to or cause the deterioration of contiguous elements or systems. Either full component replacement is needed or repairs are required to restore to good condition, prevent premature failure, and/or prolong useful life.
Missing/Failed	=	Component or system has either failed or is missing where it should be present. Replacement, repair, or addition of component(s) or system(s) is recommended or required.

Throughout sections 5 through 9 of this report, each report section will typically contain three subsections organized in the following sequence:

- A descriptive table (and/or narrative), which identifies the components assessed, their condition, and other key data points.
- A simple bulleted list of Anticipated Lifecycle Replacements, which lists components and assets typically in Excellent, Good, or Fair condition at the time of the assessment but that will require replacement or some other attention once aged past their estimated useful life. These listed components are typically included in the associated inventory database with costs identified and budgeted beyond the first several years.
- A bulleted cluster of Actions/Comments, which include more detailed narratives describing deficiencies, recommended repairs, and short term replacements. The assets and components associated with these bullets are/were typically problematic and in Poor or Missing/Failed condition at the time of the assessment, with corresponding costs included within the first few years.

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2.2. DEVIATIONS FROM THE ASTM E2018-08 GUIDE

ASTM E2018-08, *Standard Guide for Property Condition Assessments: Baseline Property Condition Assessment Process* requires that any deviations from the Guide be so stated within the report. EMG's probable cost threshold limitation is reduced from the Guide's \$3,000 to \$2,000, thus allowing for a more comprehensive assessment on smaller scale properties. Therefore, EMG's opinions of probable costs that are individually less than a threshold amount of \$2,000 are omitted from this PNA. However, comments and estimated costs regarding identified deficiencies relating to life/safety or accessibility items are included regardless of this cost threshold.

In lieu of providing written record of communication forms, personnel interviewed from the facility and government agencies are identified in Section 2.5. Relevant information based on these interviews is included in Sections 2.5, 3.1, and other applicable report sections.

2.3. ADDITIONAL SCOPE CONSIDERATIONS

Items required by ASTM E2018-08 and Fannie Mae's *Exhibit III Specific Guidance to the Property Evaluator* are included within the Physical Needs Assessment (PNA). Additional "non-scope" considerations were addressed at the recommendation of EMG and subsequent contract with the Client. These additional items are identified as follows:

- Property disclosure information was obtained from the EMG's Pre-Survey Questionnaire
- An assessment of accessibility utilizing EMG's Accessibility Checklist
- A limited visual assessment and review of the property for mold growth, conditions conducive to mold growth, and evidence of moisture in accessible areas of the property
- Provide a statement on the property's Remaining Useful Life
- Provide cross reference indexing between cost tables and report text
- Determination of FEMA Flood Plain Zone for single address properties

2.4. PROPERTY'S REMAINING USEFUL LIFE ESTIMATE

Subject to the qualifications stated in this paragraph and elsewhere in this report, the Remaining Useful Life (RUL) of the property is estimated to be not less than 35 years. The Remaining Useful Life estimate is an expression of a professional opinion and is not a guarantee or warranty, expressed or implied. This estimate is based upon the observed physical condition of the property at the time of EMG's visit and is subject to the possible effect of concealed conditions or the occurrence of extraordinary events such as natural disasters or other "acts of God" that may occur subsequent to the date of EMG's site visit.

The Remaining Useful Life for the property is further based on the assumption that: (a) the immediate repairs, short term repairs, and future repairs for which replacement reserve funds are recommended are completed in a timely and workman-like manner, and (b) a comprehensive program of preventive and remedial property maintenance is continuously implemented using an acceptable standard of care. The Remaining Useful Life estimate is made only with regard to the expected physical or structural integrity of the improvements on the property, and no opinion regarding economic or market conditions, the present or future appraised value of the property, or its present or future economic utility, is expressed by EMG.

2.5. PERSONNEL INTERVIEWED

The following personnel from the facility and government agencies were interviewed in the process of conducting the PNA:

NAME AND TITLE	ORGANIZATION	PHONE NUMBER
Robin Adams Asset Management Officer	St. Petersburg Housing Authority	(727) 323-3171
Claude Bowyer	Winn Residential	(727) 218-8753

The PNA was performed with the assistance of Claude Bowyer, the on-site Point of Contact (POC), who was cooperative and provided information that appeared to be accurate based upon subsequent site observations. The on-site contact is completely knowledgeable about the subject property and answered most questions posed during the interview process. The POC's management involvement at the property has been for the past 14 months.

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2.6. DOCUMENTATION REVIEWED

Prior to the PNA, relevant documentation was requested that could aid in the knowledge of the subject property's physical improvements, extent and type of use, and/or assist in identifying material discrepancies between reported information and observed conditions. The review of submitted documents does not include comment on the accuracy of such documents or their preparation, methodology, or protocol. The following documents were provided for review while performing the PNA:

- Site plan
- Floor plan
- Capital improvement summary
- Warranty Information

No other documents were available for review. The Documentation Request Form is provided in Appendix E.

2.7. PRE-SURVEY QUESTIONNAIRE

A Pre-Survey Questionnaire was sent to the POC prior to the site visit. The questionnaire is included in Appendix E. Information obtained from the questionnaire has been used in preparation of this PNA.

2.8. WEATHER CONDITIONS

Weather conditions at the time of the site visit were clear, with temperatures in the 80s (°F) and light winds.

3. CODE INFORMATION, ACCESSIBILITY, AND MOLD

3.1. CODE INFORMATION AND FLOOD ZONE

According to Robin Adams of the St Petersburg Housing Authority, there are no outstanding building code violations on file. The Building Department does not have an annual inspection program. They only inspect new construction, work that requires a building permit, and citizen complaints. Copies of the original Certificates of Occupancy were requested but were not available.

According to Robin Adams of the St Petersburg Housing Authority, there are no outstanding fire code violations on file. The most recent inspection was conducted by the Fire Department within the last year. The Fire Department inspects the property on an annual basis.

According to the Flood Insurance Rate Map, published by the Federal Emergency Management Agency (FEMA) and dated September 3, 2003, the property is located in Zone X, defined as an area outside the 500-year flood plain with less than 0.2% annual probability of flooding. Annual Probability of Flooding of Less than one percent.

3.2. ADA ACCESSIBILITY

Section 504 of the Rehabilitation Act of 1973 is a Federal accessibility law that was enacted on June 2, 1988. Section 504 applies to multifamily properties that have 15 or more units. The property must have a minimum of five percent mobility accessible units and two percent of the units for visual / audio hearing impairments. Exceptions can be considered due to undue financial burdens or structural restrictions. However, the exceptions do not relieve the recipients from compliance utilizing other units/buildings or other methods to achieve reasonable accommodations.

Reasonable Accommodations as described in 24 CFR 8.4(b)(i), 8.24 and 8.33 are described as follows: When a family member requires an accessible feature(s) or policy modification to accommodate a disability, property owners must provide such feature(s) or policy modification unless doing so would result in a fundamental alteration in the nature of its program or result in a financial and administrative burden.

The Uniform Federal Accessibility Standard (UFAS) 24 CFR part 40 was adopted by HUD and made effective October 4, 1984. The UFAS applies only to new construction or to alterations to the existing buildings. Alterations are defined as work that costs 50 percent or more of the building's value when the work performed occurs within a twelve month period. Apartments modified for mobility impaired residents are to comply with UFAS.

Generally, Title III of the Americans with Disabilities Act (ADA) prohibits discrimination by entities to access and use of "areas of public accommodations" on the basis of disability. Generally the rental office and access from the site to the rental office must be maintained and operated to comply with the Americans with Disabilities Act Accessibility Guidelines (ADAAG). Buildings completed and occupied after January 26, 1992 are required to comply fully with ADAAG. Existing facilities constructed prior to this date are held to the lesser standard of complying to the extent allowed by structural feasibility and the financial resources available; otherwise a reasonable accommodation must be made.

During the PNA, observations and sample measurements for accessibility were conducted. The scope of the observations is set forth in the EMG Accessibility Checklist provided in Appendix D. It is understood by the Client that the observations described herein does not comprise an Accessibility Compliance Survey of every unit and only those units where access was provided by the client were reviewed. Only a representative sample of areas were observed and, other than as shown on the accessibility checklist, actual measurements were not taken to verify compliance.

The accessibility standards that apply to the Property are Section 504, UFAS and where applicable, the ADA for access to the rental office. However, as the property is not new construction, or completing substantial rehabilitation or other rehabilitation, the property is only required to complete reasonable accommodations. Property management stated that Section 504 requests are completed on an individual case-by-case basis. Based on EMG's observations and interview of the Property Manager, the property is generally not compliant with Section 504. Presently, 5% percent of the units are defined as accessible for individuals with mobility impairments according to property management. There are two units at present which have visual / audio modifications, not meeting the requirement of two percent accessible requirements of Section 504.

Based on EMG's assessment, the property is not in general compliance with the requirements of Section 504 and the ADA.

In addition, although defined as accessible, non-compliant components and features were observed throughout the designated accessible units, accessible routes, general site, and common areas. Consideration should be given to correcting these features and components to comply 24 CFR 8.23 (b) *Other Alternations*. It is recommended that CMHA modify their Barrier Removal Plan / Transition Plan to incorporate EMG's findings noted in the following categories.

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Based on EMG's observations, the facility generally appeared to be accessible as stated within the defined priorities of Section 504, UFAS and the ADA.

Parking

- Adequate number of designated parking stalls and signage for vans are not provided.

Additional hearing impaired units

- Add visual alarm to existing audible fire alarm or smoke detector.
- Add light connection to doorbell or knocker at front door.

Corrections of these conditions should be addressed from a liability standpoint, but are not necessarily code violations. The UFAS and Americans with Disabilities Act Accessibility Guidelines concern civil rights issues as they pertain to the disabled and are not a construction code, although many local jurisdictions have adopted the Guidelines as such. The cost to address the achievable items noted above are detailed in the Replacement Reserves Report. Unless Life/Safety (Immediate Repair) is a concern, the accessible improvements are defined as short term improvements (Year 1).

3.3. MOLD

As part of the PNA, EMG completed a limited, visual assessment for the presence of visible mold growth, conditions conducive to mold growth, or evidence of moisture in readily accessible areas of the property. EMG interviewed property personnel concerning any known or suspected mold contamination, water infiltration, or mildew-like odor problems.

This assessment does not constitute a comprehensive mold survey of the property. The reported observations and conclusions are based solely on interviews with property personnel and conditions observed in readily accessible areas of the property at the time of the assessment. Sampling was not conducted as part of the assessment.

EMG did not note any visual indications of the presence of visible mold growth, conditions conducive to mold growth, or evidence of moisture in any readily accessible areas of the property. No further action or investigation is recommended regarding mold at the property.

4. EXISTING BUILDING EVALUATION

4.1. APARTMENT UNIT TYPES AND UNIT MIX

The appendices contain floor plan illustrations, which graphically represent the various unit types. The gross area measurements in the chart below are an approximation, are based on information provided by on-site personnel, and are not based on actual measurements. Due to the varying methods that could be utilized by others to derive square footage, the area calculations in the chart below do not warrant, represent, or guarantee the accuracy of the measurements.

APARTMENT UNIT TYPES AND MIX		
QUANTITY	TYPE	FLOOR AREA
33	1 Bedroom/ 1 Bathroom	660 SF
109	2 Bedroom/ 1.5 Bathroom	1,136 SF
90	3 Bedroom/ 2 Bathroom	1,330 SF
5	4 Bedroom/ 2 Bathroom	1,432 SF
There are currently 8 vacant units.		
There are currently 0 down units.		
237	TOTAL	

4.2. APARTMENT UNITS OBSERVED

Over ten percent of the apartment units were observed in order to establish a representative sample and to gain a clear understanding of the property's overall condition. Other areas accessed included the exterior of the property, a representative sample of the roofs, and the community building. The following apartments were observed.

UNIT #	TYPE	COMMENTS
1265	2 Bedroom/ 1.5 Bathroom	Vacant. Fair condition.
2420	3 Bedroom/ 2 Bathroom	Vacant. Fair condition. New Appliances. Carpet scheduled for replacement.
974	1 Bedroom/ 1 Bathroom	Occupied. Good condition.
972	1 Bedroom/ 1 Bathroom	Occupied. Good condition.
970	1 Bedroom/ 1 Bathroom	Occupied. Good condition.
2333	1 Bedroom/ 1 Bathroom	Occupied. Good condition.
2335	1 Bedroom/ 1 Bathroom	Occupied. Fair condition.
2320	1 Bedroom/ 1 Bathroom	Vacant. Good condition.
2310	1 Bedroom/ 1 Bathroom	Occupied. Fair condition.
2336	2 Bedroom/ 1.5 Bathroom	Vacant. Fair condition. ADA Unit not ready for occupancy.
2330	3 Bedroom/ 2 Bathroom	Vacant. Poor condition. Not ready for occupancy.
2432	2 Bedroom/ 1.5 Bathroom	Vacant. Poor condition. Not ready for occupancy.
1011	3 Bedroom/ 2 Bathroom	Occupied. Good condition. ADA Unit.

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UNIT #	TYPE	COMMENTS
1015	2 Bedroom/ 1.5 Bathroom	Occupied. Fair condition.
1017	2 Bedroom/ 1.5 Bathroom	Occupied. Good condition.
1004	3 Bedroom/ 2 Bathroom	Occupied. Good condition.
1002	2 Bedroom/ 1.5 Bathroom	Occupied. Fair condition.
1000	3 Bedroom/ 2 Bathroom	Occupied. Good condition.
1260-1	2 Bedroom/ 1.5 Bathroom	Occupied. Fair condition. ADA Unit.
1260-2	1 Bedroom/ 1 Bathroom	Occupied. Fair condition. ADA Unit.
1260-3	2 Bedroom/ 1.5 Bathroom	Occupied. Good condition. ADA Unit.
1260-4	2 Bedroom/ 1.5 Bathroom	Occupied. Good condition. ADA Unit.
1260-5	1 Bedroom/ 1 Bathroom	Occupied. Fair condition.
1260-6	2 Bedroom/ 1.5 Bathroom	Occupied. Good condition.
1204	3 Bedroom/ 2 Bathroom	Occupied. Good condition.
1202	3 Bedroom/ 2 Bathroom	Occupied. Good condition.
1105	3 Bedroom/ 2 Bathroom	Occupied. Fair condition.
1135	2 Bedroom/ 1.5 Bathroom	Occupied. Good condition.
1206	2 Bedroom/ 1.5 Bathroom	Occupied. Fair condition.
1229	2 Bedroom/ 1.5 Bathroom	Occupied. Fair condition.
1271	2 Bedroom/ 1.5 Bathroom	Occupied. Fair condition.
2409	3 Bedroom/ 2 Bathroom	Occupied. Fair condition.
2443	3 Bedroom/ 2 Bathroom	Occupied. Fair condition.
2421	3 Bedroom/ 2 Bathroom	Occupied. Good condition.
2408	3 Bedroom/ 2 Bathroom	Occupied. Fair condition.
2351	3 Bedroom/ 2 Bathroom	Occupied. Fair condition.
1230	4 Bedroom/ 2 Bathroom	Occupied. Fair condition.
2440	3 Bedroom/ 2 Bathroom	Occupied. Fair condition.
2442	2 Bedroom/ 1.5 Bathroom	Occupied. Fair condition.
2431	2 Bedroom/ 1.5 Bathroom	Occupied. Fair condition.
2435	3 Bedroom/ 2 Bathroom	Occupied. Good condition.
2300	3 Bedroom/ 2 Bathroom	Occupied. Fair to poor condition.
2320	3 Bedroom/ 2 Bathroom	Occupied. Fair to poor condition.
2315	2 Bedroom/ 1.5 Bathroom	Occupied. Good condition.
2351	3 Bedroom/ 2 Bathroom	Occupied. Fair condition.
2371	3 Bedroom/ 2 Bathroom	Occupied. Fair condition.
2370	3 Bedroom/ 2 Bathroom	Occupied. Good condition.
2414	2 Bedroom/ 1.5 Bathroom	Occupied. Fair condition.
2416	3 Bedroom/ 2 Bathroom	Occupied. Good condition.
2323	3 Bedroom/ 2 Bathroom	Occupied. Good condition.
2321	3 Bedroom/ 2 Bathroom	Occupied. Good condition.

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UNIT #	TYPE	COMMENTS
2319	3 Bedroom/ 2 Bathroom	Occupied. Fair condition.
2317	3 Bedroom/ 2 Bathroom	Occupied. Fair to poor condition.
2305	2 Bedroom/ 1.5 Bathroom	Occupied. Good condition.
1100	3 Bedroom/ 2 Bathroom	Occupied. Good condition.
2301	1 Bedroom/ 1 Bathroom	Occupied. Fair condition.
1024	4 Bedroom/ 2 Bathroom	Occupied. Fair condition.
1225	4 Bedroom/ 2 Bathroom	Occupied. Fair condition.
1244	2 Bedroom/ 1.5 Bathroom	Occupied. Good condition. Recently occupied.
1210	2 Bedroom/ 1.5 Bathroom	Occupied. Fair condition.

All areas of the property were available for observation during the site visit.

A "down unit" is a term used to describe a non-rentable apartment unit due to poor conditions such as fire damage, water damage, missing appliances, damaged floor, wall or ceiling surfaces, or other significant deficiencies. According to the POC, there are no down units.

5. SITE IMPROVEMENTS

5.1. UTILITIES

The following table identifies the utility suppliers and the condition and adequacy of the services.

SITE UTILITIES		
UTILITY	SUPPLIER	CONDITION AND ADEQUACY
Sanitary sewer	St. Petersburg Department of Public Works	Fair
Storm sewer	St. Petersburg Department of Public Works	Fair
Domestic water	St. Petersburg Department of Public Works	Fair
Electric service	Duke Energy	Fair
Natural gas service	TECO	Fair

Actions/Comments:

- According to the POC, the utilities provided are adequate for the property. There are no unique, on-site utility systems such as emergency electrical generators, septic systems, water or waste water treatment plants, or propane gas tanks.

5.2. PARKING, PAVING, AND SIDEWALKS

ITEM	DESCRIPTION
Main Ingress and Egress	Jordan Park Street South
Access from	South
Additional Entrances	Yes
Additional Access from	North, East and West

PAVING AND FLATWORK			
ITEM	MATERIAL	LAST WORK DONE	CONDITION
Entrance Driveway Apron	Concrete	2001	Good
Parking Lot	Asphalt	2001	Fair
Drive Aisles	Concrete	2001	Good
Service Aisles	Concrete	2001	Good
Sidewalks	Cast In Place Concrete	2001	Good
Curbs	Cast in Place Concrete	2001	Good
Pedestrian Ramps	Cast in Place Concrete	2001	Good

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PARKING COUNT				
OPEN LOT	CARPORT	PRIVATE GARAGE	STREET PARKING STALLS	FREESTANDING PARKING STRUCTURE
16	N/A	N/A	300	N/A
Number of ADA Compliant Spaces			18	
Number of ADA Compliant Spaces for Vans			0	
Total Parking Spaces			300+	
Parking Ratio (Spaces/Apartments)			1.3	
Method of obtaining parking count			Point of Contact	

EXTERIOR STAIRS			
LOCATION	MATERIAL	HANDRAILS	CONDITION
Residences	Concrete stairs	Wood	Fair

Anticipated Lifecycle Replacements:

- Asphalt seal coating
- Asphalt mill and overlay

Actions/Comments:

- Based on client request, the first cost for Asphalt seal coating and striping has been moved into the rehab.

5.3. DRAINAGE SYSTEMS AND EROSION CONTROL

DRAINAGE SYSTEM AND EROSION CONTROL		
SYSTEM	EXISTS AT SITE	CONDITION
Surface Flow	<input checked="" type="checkbox"/>	Fair
Inlets	<input type="checkbox"/>	NA
Swales	<input checked="" type="checkbox"/>	Fair
Detention pond	<input checked="" type="checkbox"/>	Fair
Lagoons	<input type="checkbox"/>	NA
Ponds	<input checked="" type="checkbox"/>	Fair
Underground Piping	<input checked="" type="checkbox"/>	Fair
Pits	<input type="checkbox"/>	NA
Municipal System	<input checked="" type="checkbox"/>	Fair
Dry Well	<input type="checkbox"/>	NA

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Anticipated Lifecycle Replacements:

- No components of significance

5.4. TOPOGRAPHY AND LANDSCAPING

ITEM	DESCRIPTION						
Site Topography	Generally flat.						
Landscaping	Trees	Grass	Flower Beds	Planters	Drought Tolerant Plants	Decorative Stone	None
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>				
Irrigation	Automatic Underground		Drip		Hand Watering		None
	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>

RETAINING WALLS		
TYPE	LOCATION	CONDITION
None	--	--

Anticipated Lifecycle Replacements:

- Landscaping materials, no costs associated in the Replacement Reserves Report, costs should be included as routine maintenance.

Actions/Comments:

- The topography and adjacent uses do not appear to present conditions detrimental to the property. There are no significant areas of erosion.

5.5. GENERAL SITE IMPROVEMENTS

PROPERTY SIGNAGE	
Property Signage	Building Mounted
Street Address Displayed?	Yes

SITE AND BUILDING LIGHTING					
Site Lighting	None	Pole Mounted	Bollard Lights	Ground Mounted	Parking Lot Pole Type
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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SITE AND BUILDING LIGHTING			
Building Lighting	None	Wall Mounted	Recessed Soffit
		<input type="checkbox"/>	<input checked="" type="checkbox"/>

SITE FENCING		
TYPE	LOCATION	CONDITION
Wrought Iron	Throughout Site	Fair
Vinyl	Detention Pond	Good

REFUSE DISPOSAL				
Refuse Disposal	Individual Garbage Bins			
Dumpster Locations	Mounting	Enclosure	Contracted?	Condition
None	None	None	No	NA

OTHER SITE AMENITIES			
	DESCRIPTION	LOCATION	CONDITION
Playground Equipment	Plastic	Central Park	Good to Fair
Tennis Courts	None	NA	NA
Basketball Court	None	NA	NA
Swimming Pool	None	NA	NA

Anticipated Lifecycle Replacements:

- Exterior lighting
- Site fencing
- Playground equipment
- Playground surfaces

Actions/Comments:

- No significant repair actions or short term replacement costs are required. Routine and periodic maintenance is recommended.
- Sectional replacement of the wrought iron fence may be required, however it appears that scraping and painting is the predominant issue. Scraping and painting of metal fence should be considered routine maintenance.

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6. BUILDING ARCHITECTURAL AND STRUCTURAL SYSTEMS

6.1. FOUNDATIONS

BUILDING FOUNDATION		
ITEM	DESCRIPTION	CONDITION
Floor	Concrete Slab on grade	Good
Footings	Concrete perimeter footings	Good
Crawl Space (Senior Village)	Crawl space- dirt floor	Fair

Anticipated Lifecycle Replacements:

- No components of significance

Actions/Comments:

- The foundations are concealed and were not available for observation. There were no significant signs of movement or deflection. Walls and floors appear to be plumb, level, and stable. There are no significant signs of deflection or movement. The crawl space walls appear intact and structurally sound. There is no evidence of movement or water infiltration

6.2. SUPERSTRUCTURE

BUILDING SUPERSTRUCTURE		
ITEM	DESCRIPTION	CONDITION
Framing	Concrete Frame	Good
Upper Floors	Wood joists with plywood sheathing	Good
Roof Structure	Wood Rafters and Joists	Good
Roof Sheathing	Plywood	Good

Anticipated Lifecycle Replacements:

- No components of significance

Actions/Comments:

- The superstructure is concealed. Walls and floors appear to be plumb, level, and stable. There are no significant signs of deflection or movement.

6.3. ROOFING

PRIMARY ROOF			
Type	Pitched	Finish	Asphalt shingles
Maintenance	Outside Contractor	Roof Age	14 Yrs

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PRIMARY ROOF			
Flashing	Sheet metal	Warranties	None
Parapet and Copings	None	Roof Drains	None
Fascia	Wood	Insulation	Cellulose Blown
Soffits	Concealed Soffits	Skylights	No
Attics	Wood joists with plywood sheathing	Ponding	No
Ventilation Source-1	Ridge Vents	Leaks Observed	Yes
Ventilation Source-2	NA	Roof Condition	Fair

The primary roof is observed at multiple locations.

Anticipated Lifecycle Replacements:

- Asphalt shingles

Actions/Comments:

- The roof finishes were reportedly installed in 2001-2002. The roofs are no longer covered by a warranty. The cost for this work is located in the Replacement Reserve Report. This item should be considered a rehab item and be addressed in the near term.
- Roof leaks have occurred within the past year, and some of these leaks remain active. The leaks occur at porch roofs. All active leaks must be repaired.
- There are widespread moisture issues at the eaves and soffits of the residential buildings. This will require flashing and replacement of many of the soffits. The cost for this work is located in the Replacement Reserve Report. This item should be considered a rehab item and be addressed in the near term.
- There are various soffit vents that have been partially painted over. The vents must be cleaned free of obstruction or replaced. This work is considered to be routine maintenance.

6.4. EXTERIOR WALLS

BUILDING EXTERIOR WALLS		
TYPE	FINISH	CONDITION
Primary Finish	Stucco	Good to fair
Accented With	None	NA
Soffits	Concealed	Good
Column Enclosures	Foam Stucco	Fair to Poor

Building sealants (caulking) are located between dissimilar materials, at joints, and around window and door openings.

Anticipated Lifecycle Replacements:

- Exterior paint
- Stucco
- Masonry re-pointing

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Actions/Comments:

- The stucco has isolated areas of damaged stucco. The damaged stucco must be replaced. In addition to these repairs, the exterior walls will require painting. The cost for this work is located in the Replacement Reserve Report. This item should be considered a rehab item and be addressed in the near term.
- There is a small amount of vinyl siding on each residential building. This siding is minimal and should be replaced only as necessary. Due to the low square footage of the siding and the associated low costs, this should be replaced as part of routine maintenance.
- Like the vinyl siding the wood trim at the buildings is minimal, and should be replaced as necessary as part of routine maintenance.
- Caulking at windows and doors should be considered routine maintenance and be inspected annually.
- Isolated portions of the mortar joints along the concrete block are cracked at the community building. The concrete block mortar will require cleaning and repointing as part of the property management's routine maintenance program.
- There is evidence of termite damage. There are isolated instances of wood finish deterioration due to insect infestation at main door frames. A local, licensed exterminator must be retained to treat the property as required to eliminate the pest and associated threat. In addition to this work, an annual termite inspection program must be instituted. A cost allowance to conduct this inspection is also included.

6.5. EXTERIOR AND INTERIOR STAIRS

BUILDING EXTERIOR AND INTERIOR STAIRS					
TYPE	DESCRIPTION	RISER	HANDRAIL	BALUSTERS	CONDITION
Building Exterior Stairs	Steel-framed with textured metal treads	Open	Metal	Metal	Good
Building Interior Stairs	Wood-framed with Vinyl treads	Close	Wooden	None	Fair

Anticipated Lifecycle Replacements:

- No components of significance

Actions/Comments:

- No significant repair actions or short term replacement costs are required. Routine and periodic maintenance is recommended.

6.6. WINDOWS AND DOORS

BUILDING WINDOWS				
WINDOW FRAMING	GLAZING	LOCATION	WINDOW SCREEN	CONDITION
Aluminum-framed single hung	Double Pane	Residence - Exterior Walls	<input checked="" type="checkbox"/>	Fair

BUILDING DOORS						
Apartment Doors	Door Type			Condition		
	Solid Core Metal			Fair		
	Cylindrical Lockset	Handle	Security Chain	Deadbolts	Spy-Eyes	Door Knockers
	Yes	Lever and Knob	No	Keyed	Yes	Yes

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Apartment Screen Doors	Door Type	Condition
	Screen Door	Fair
Apartment Patio Door	Solid Core Metal	Fair to Poor
Service Door	Solid Core Metal	Fair
Main building Entrance Door	Solid Core Metal	Fair

Anticipated Lifecycle Replacements:

- Windows
- Exterior metal doors and door frames
- Metal patio doors
- Wooden doors at Leasing office

Actions/Comments:

- The windows display isolated evidence of condensation at the Community Building. The damaged windows must be replaced. The cost for this work is located in the Replacement Reserve Report. This item should be considered a rehab item and be addressed in the near term.
- The windows throughout the property are beginning to show problems. In many cases there are broken seals, units cannot open and close properly and latches no longer properly lock the units. The cost for this work is located in the Replacement Reserve Report. This item should be considered a rehab item and be addressed in the near term.
- The exterior doors presented in fair condition, however EMG recommends replacing them at the same time as the windows. Because of this the cost for this work is located in the Replacement Reserve Report. This item should be considered a rehab item.
- Screen doors are not located on every unit. Replacement of the screen doors is not a requirement and therefore should be done as routine maintenance should the housing authority wish to continue replacement.

6.7. PATIO, TERRACE, AND BALCONY

BUILDING PATIO, TERRACE AND BALCONY			
TYPE	DESCRIPTION	ENCLOSURE	CONDITION
Ground Floor Patio	None	None	NA
Upper Level Balcony	Located between load bearing walls	Painted Metal-Guardrails	Fair
Balcony Decks	Concrete topping	Stucco Finished Columns and Wood Railing	Fair
Exterior Stairs	Metal framed with textured metal treads	Painted Metal-Guardrails	Good

Anticipated Lifecycle Replacements:

- Patio and balcony fence walls

Actions/Comments

- The wooden balcony fence walls should be replaced as necessary as part of routine maintenance
- The concrete balcony decks and concrete first floor patio decks will require attention. Cracks will need to be repaired and sealed. An allowance for this work has been included in the Replacement Reserves Report. This repair and replacement is recommended in the rehab.

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6.8. COMMON AREAS AND INTERIOR FINISHES

Not applicable. There are no interior common areas.

7. BUILDING MECHANICAL AND ELECTRICAL SYSTEMS

7.1. BUILDING HEATING, VENTILATING, AND AIR CONDITIONING (HVAC)

There is no common heating cooling or distribution system on the property. For apartment unit HVAC systems see section 8.3. For Leasing office HVAC see section 9.

7.2. BUILDING PLUMBING

BUILDING PLUMBING SYSTEM		
TYPE	DESCRIPTION	CONDITION
Water Supply Piping	Copper and CVPC Pipe	Fair
Waste/Sewer Piping	Cast Iron Pipe	Fair
Vent Piping	PVC Pipe	Fair
Water Meter Location	Community Building	

There is no common water heating or distribution system on the property. For apartment unit DHW systems see section 8.4. For Leasing office DHW see section 9.

7.3. BUILDING GAS DISTRIBUTION

Gas service is supplied from the gas main on the adjacent public street. The gas meters and regulators are located along the exterior walls of the buildings. The gas distribution piping within each building is malleable steel (black iron).

Anticipated Lifecycle Replacements:

- No components of significance

Actions/Comments:

- The pressure and quantity of gas appear to be adequate.
- The gas meters and regulators appear to be functioning adequately and will require routine maintenance.
- Only limited observation of the gas distribution piping can be made due to hidden conditions.

7.4. BUILDING ELECTRICAL

There is no primary electrical system on the property. Each building has its own electricity meters and each residential building has their own breaker panels. More information on this can be found in section 8.5.

There are no emergency electrical systems at the property such as emergency generators or emergency lighting.

7.5. BUILDING ELEVATORS AND CONVEYING SYSTEMS

Not applicable. There are no elevators or conveying systems.

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7.6. FIRE PROTECTION SYSTEMS

ITEM	DESCRIPTION					
Type	There are no commercial fire protection systems at the property. Fire extinguishers and smoke detectors are located throughout the facility.					
Fire Alarm System	None	<input type="checkbox"/>	Battery Operated Smoke Detectors	<input checked="" type="checkbox"/>	Strobe Light Alarms	<input type="checkbox"/>
	Central Alarm Panel	<input type="checkbox"/>	Hard-wired Smoke Detectors	<input type="checkbox"/>	Illuminated EXIT Signs	<input type="checkbox"/>
	Battery backup Light Fixtures	<input type="checkbox"/>	Hard-wired Smoke Detectors/ with battery Backup	<input type="checkbox"/>	Annunciator Panels	<input type="checkbox"/>
Sprinkler System	None	<input checked="" type="checkbox"/>	Standpipes	<input type="checkbox"/>	Flow Switches	<input type="checkbox"/>
	Pull Station	<input type="checkbox"/>	Fire Pumps	<input type="checkbox"/>	Siamese Connections	<input type="checkbox"/>
	Alarm horns	<input type="checkbox"/>	Backflow Preventer	<input type="checkbox"/>	Hose Cabinets	<input type="checkbox"/>
Central Alarm Panel System	Location of Alarm Panel			Age of Alarm panel		
	NA			NA		
Fire Extinguishers	Last Service Date			Estimated Quantity		
	November, 2015			237		
Hydrant Location	NA					
Siamese Location	NA					
Special Systems	Kitchen Suppression System		<input type="checkbox"/>	Computer Rm. Suppression System		<input type="checkbox"/>

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8. DWELLING UNITS

8.1. INTERIOR FINISHES

The following table generally describes the interior finishes in the apartment units:

TYPICAL APARTMENT FINISHES (TYPE 1)			
ROOM	FLOOR	WALLS	CEILING
Living room	Laminated Wood	Painted Drywall	Painted drywall
Kitchen	Laminated Wood	Painted Drywall	Painted drywall
Bedroom	Laminated Wood / Carpet	Painted Drywall	Painted drywall
Bathroom	Laminated Wood	Painted Drywall	Painted drywall
Stairwell	Sheet Vinyl	Painted Drywall	Painted drywall
Hallways	Laminated Wood	Painted Drywall	Painted drywall
Mechanical	Laminated Wood	Painted Drywall	Painted drywall
Overall General Condition	Fair	Fair	Good

TYPICAL APARTMENT FINISHES (TYPE 2, SENIOR VILLAGE)			
ROOM	FLOOR	WALLS	CEILING
Living room	Vinyl Tile	Painted Drywall	Painted drywall
Kitchen	Vinyl Tile	Painted Drywall	Painted drywall
Bedroom	Carpet	Painted Drywall	Painted drywall
Bathroom	Vinyl tile	Painted Drywall	Painted drywall
Stairwell	Sheet Vinyl	Painted Drywall	Painted drywall
Hallways	Vinyl Tile	Painted Drywall	Painted drywall
Overall General Condition	Fair	Fair	Good

APARTMENT INTERIOR DOORS		
ITEM	TYPE	CONDITION
Interior Doors	Hollow Core	Good
Door Framing	Wooden	Good
Closet Doors-Type1	Painted Hollow Core	Good
Closet Doors-Type2	Wooden-bifold	Good

Anticipated Lifecycle Replacements:

- Carpet
- Vinyl tile
- Laminated wood flooring

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- Interior paint
- Interior doors

Actions/Comments:

- The interior finishes in the apartment units vary in age and condition and will require regular lifecycle replacements per the above list, typically performed upon unit turnover.
- The property is planning a major upgrade on the facility, because of this we recommend moving the first cycle of the lifecycle replacements for Carpet, Vinyl Tile, Laminate Flooring, interior doors, and Interior Paint into the rehab costs.

8.2. DWELLING APPLIANCES

Each apartment unit kitchen typically includes the following appliances:

APARTMENT KITCHEN APPLIANCES				
ITEM	TYPE			CONDITION
Refrigerator	Frost-free	Fair	18 Cuft	Fair
Cooking Range	Natural gas			Fair
Range Hood	Ductless			Fair
Dishwasher	Provided			Fair
Food Disposer	Provided			Fair
Kitchen Cabinet	Stained Wood			Fair
Kitchen Countertop	Plastic laminated wood			Fair
Apartment Laundry	Combination Washer/Dryer (Senior Village)			

Anticipated Lifecycle Replacements:

- Refrigerators
- Ranges
- Range hoods
- Dishwashers
- Kitchen cabinets
- Kitchen countertops

Actions/Comments:

- The kitchen countertops have several instances of damage. Damaged countertops should be replaced.
- The property is planning a major upgrade on the facility, because of this we recommend moving the first cycle of the lifecycle replacements for Refrigerators, Ranges, Range Hoods, Dishwashers and Kitchen Countertops into the rehab costs.

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8.3. HVAC

APARTMENT HEATING SYSTEM					
Primary Heating System Type	Forced Air Furnace				
Heating Fuel	Hot Water				
Heating System Types	1-Bed	2-Bed	3-Bed	4-bed	
Input Capacity	40MBh	40MBH	60MBh	75MBH	
Manufactured Rated Efficiency	NA	NA	NA	NA	
Age	14	14	14	14	
Heating Plant Condition	Fair	Fair	Fair	Fair	

APARTMENT COOLING SYSTEM					
Primary Cooling System Type	Choose an item.				
Cooling System Types	1-Bed	2-Bed	3-Bed	4-bed	
Cooling Capacity	1.5 Ton	2 Ton	2.5 Ton	2.5 Ton	
Manufactured Rated Efficiency	12 EER	12 EER	12 EER	12 EER	
Refrigerant	R-22	R-22	R-22	R-22	
Age	14	14	14	14	
Cooling Plant Condition	Fair	Fair	Fair	Fair	

DISTRIBUTION SYSTEM	
Fan Coil System	No
Location of Fan Coil System	Mechanical Closet
Ductwork	Yes
Common Area Temperature Control:	Non-Programmable
Bathroom Exhaust Fan	Yes

Air distribution is provided to supply air registers by ducts concealed above the ceilings. The heating and cooling system are controlled by local thermostats.

Natural ventilation is provided by operable windows. Mechanical ventilation is provided in the bathrooms by ceiling exhaust fans.

Anticipated Lifecycle Replacements:

- Split system furnaces and condensing units

Actions/Comments:

- Approximately 85 percent of the HVAC equipment is original. HVAC equipment is replaced on an "as needed" basis.
- The HVAC equipment appears to be functioning adequately overall. The property management staff was interviewed about the historical and recent performance of the equipment and systems. No chronic problems were reported and an overall sense of satisfaction with the systems was conveyed. However, due to the inevitable failure of parts and components over time, the equipment will require replacement during the reserve term. Because the property is planning a rehab, we recommend to replace all of the AC condensers at the residential units as part of the rehab.
- The existing furnaces utilize potable domestic water as their heating source. This type of system can have potential health issues. It is recommended that when these units are replaced that consideration be given to utilize furnaces with gas-fired or electric heaters. At a minimum, the isolation valves for these heating coils should be lockable so that only trained personnel can turn off water flow to these units to avoid the potential for creating stagnant water in the coils that can be reintroduced into the potable water system. EMG recommends replacing all of these air handlers at the residential units as part of the rehab.

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8.4. PLUMBING

APARTMENT PLUMBING FIXTURES		
ITEM	TYPE	CONDITION
Bath Tub	Enameled Steel	Fair
Tub/Shower Surround	Ceramic Tile	Fair
Water Closet (GPF)	1.6 GPF	Fair
Bathroom Faucet (GPM)	2.2 GPM	Fair
Shower head (GPM)	2.5 GPM	Fair
Kitchen Faucet (GPM)	2.2 GPM	Fair
Bathroom Vanity Cabinet	Wooden	Fair

DOMESTIC WATER HEATER	
Domestic Water Heater	Gas Fired Storage Tank
Water Heater Volume	50 gal
Input Capacity	62,500 Btuh
Water Heater Location	Mechanical Closet
Set point Temperature	122 F
DWH Condition	Fair

Anticipated Lifecycle Replacements:

- Water heaters
- Tubs and shower surrounds
- Toilets
- Sinks
- Vanities
- Faucets

Actions/Comments:

- The pressure and quantity of hot water appear to be adequate, and the water pressure appears to be sufficient in the apartment units. No significant repair actions or short term replacement costs are required. Routine and periodic maintenance is recommended.
- The vast majority of the water heaters are original. Unit water heaters are replaced on an "as needed" basis.
- The property is planning a major upgrade on the facility, because of this we recommend moving the first cycle of the lifecycle replacements for water heaters, tubs and shower surrounds, toilets, and vanities into the rehab costs.

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8.5. ELECTRICAL

The electrical service to each apartment unit is 100 amps. A circuit breaker panel inside each unit supplies the HVAC system, appliances, receptacles and light fixtures.

APARTMENT ELECTRICAL SERVICE	
Electric Service Rating to Each Apt.	100 Amps
Circuit Breaker Panel in Each Apt.	<input checked="" type="checkbox"/>
GFCI Plug in Kitchen	<input checked="" type="checkbox"/>
GFCI Plug in Bathrooms	<input checked="" type="checkbox"/>

The apartment units have incandescent light fixtures. Each apartment unit has at least one cable television outlet and telephone jack. The table below provides the typical light fixtures observed in the apartments.

APARTMENT LIGHTING FIXTURES		
Location	Typical Lamp Type	ECM
Living Room	Incandescent Lamps	<input checked="" type="checkbox"/>
Kitchen	Incandescent Lamps	<input checked="" type="checkbox"/>
Bedrooms	Incandescent Lamps	<input checked="" type="checkbox"/>
Hallways	Incandescent Lamps	<input checked="" type="checkbox"/>
Bathrooms	Incandescent Lamps	<input checked="" type="checkbox"/>
Entry and Patio	Incandescent Lamps	<input checked="" type="checkbox"/>

Anticipated Lifecycle Replacements:

- No components of significance
- Circuit breaker panels
- Interior unit light fixtures

Actions/Comments:

- No significant repair actions or short term replacement costs are required. Routine and periodic maintenance is recommended.
- The light fixtures throughout most of the units utilize older, inefficient incandescent lamps. Replacement of incandescent bulbs with CFL lamps and newer fixtures with electronic ballasts is highly recommended to save substantial amounts of energy. These replacements should be considered routine maintenance.
- The current electrical system at the Project Site is adequately configured with regard to "provided" versus "demanded" electrical capacity for each apartment unit.

8.6. FURNITURE, FIXTURES AND EQUIPMENT (FF&E)

Not applicable. There are no furnished apartments.

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9. OTHER STRUCTURES

The community building is located near the main entrance to the property. The community building is constructed of, and finished with, materials similar to the apartment buildings with the exception of the additional use of acoustical ceiling tiles. See Sections 6 and 7 for descriptions and comments. The community building includes a central laundry facility. The following systems are unique to the community building.

BUILDING CENTRAL HEATING SYSTEM	
Primary Heating System Type	Forced Air Furnace
Quantity	3
Heating Fuel	Potable Hot Water
Heating System Input Capacity (btuh)	Not Available
Manufactured Rated Efficiency	NA
Location of Equipment	Mechanical Closets
Space Served by System	Building
Age	2002
Heating Plant Condition	Fair

BUILDING CENTRAL COOLING SYSTEM	
Primary Cooling System Type	Package Units
Quantity	3
Refrigerant	R-22
Cooling System Capacity (Tons)	5.0 Ton (3x)
Cooling Tower Size	NA
Manufactured Rated Efficiency	12 EER
Location of Equipment	Adjacent to Building
Space Served by System	Building
Age	2002
Cooling Plant Condition	Fair

DISTRIBUTION SYSTEM	
Hot/ chilled Water Distribution System	Two pipe system
Hot Water Circulation Pump Size and Qty.	NA
Chilled Water Circulation Pump Size and Qty	NA
Air Distribution System	Constant
Air Handling Unit Location	Mechanical Closets
Air Handling Unit- Serving	Building
Location Fan Coil Unit (s)	None
Spaces Served by Fan Coil Unit (s)	None
Common Area Temperature Control	Non-Programmable
Building Ventilation	Toilet Exhaust Fans
Distribution System Condition	Fair

DOMESTIC WATER HEATERS OR BOILERS	
Component(s)	Water Heater
Fuel	Natural Gas
Storage Capacity	50 gal
Input Capacity	62,500 Btuh

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DOMESTIC WATER HEATERS OR BOILERS	
Supplementary Storage Tanks?	No
Storage Tank Volume	NA
Quantity of Storage Tanks	NA
Boiler or Water Heater Condition:	Fair
Domestic Hot Water Circulation Pump/s (HP)	NA
Pressure and Flow of Hot Water	Adequate
Domestic Water Booster Pumps (hp)	NA
Pressure and Flow of City Water	Adequate

COMMON AREA PLUMBING FIXTURES	
Water Closets	Commercial Flush Tank
Water Closets Rating	1.6 GPF
Common Area Faucet , GPM	2.2 GPM
Condition	Fair
Drinking Fountain	Refrigerated

BUILDING ELECTRICAL SYSTEMS			
Electrical lines run	Underground	Transformer	Pole-mounted
Service size (Amps)	200 Amps	Volts	120/208 Volt, three-phase
Meter and panel location	Exterior Wall	Branch wiring	Copper
Conduit	Metallic	Circuit Breaker Panel	Located throughout the building
Number of Buildings	Single	Building Intercom System	No
Distribution Condition	Fair		
Panel and Transformer Condition	Fair		
Lighting Condition	Fair		

ITEM	FIRE PROTECTION SYSTEMS DESCRIPTION					
Type	None					
Fire Alarm System	None	<input type="checkbox"/>	Battery Operated Smoke Detectors	<input type="checkbox"/>	Strobe Light Alarms	<input type="checkbox"/>
	Central Alarm Panel	<input checked="" type="checkbox"/>	Hard-wired Smoke Detectors	<input type="checkbox"/>	Illuminated EXIT Signs	<input checked="" type="checkbox"/>
	Battery backup Light Fixtures	<input checked="" type="checkbox"/>	Hard-wired Smoke Detectors/ with battery Backup	<input checked="" type="checkbox"/>	Annunciator Panels	<input type="checkbox"/>
Sprinkler System	None	<input checked="" type="checkbox"/>	Standpipes	<input type="checkbox"/>	Flow Switches	<input type="checkbox"/>
	Pull Station	<input type="checkbox"/>	Fire Pumps	<input type="checkbox"/>	Siamese Connections	<input type="checkbox"/>
	Alarm horns	<input type="checkbox"/>	Backflow Preventer	<input type="checkbox"/>	Hose Cabinets	<input type="checkbox"/>

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ITEM	FIRE PROTECTION SYSTEMS DESCRIPTION			
Type	None			
Central Alarm Panel System	Location of Alarm Panel		Age of Alarm panel	
	Mechanical Closet		2002	
Fire Extinguishers	Last Service Date		Estimated Quantity	
	November 2015		3	
Hydrant Location	Building Exterior			
Siamese Location	NA			
Special Systems	Kitchen Suppression System	<input type="checkbox"/>	Computer Rm. Suppression System	<input type="checkbox"/>

LIGHTING FIXTURES		
Location	Typical Lamp Type	ECM
Corridor	T12 - Linear Fluorescent	<input checked="" type="checkbox"/>
Lobby	Incandescent Lamps	<input checked="" type="checkbox"/>
Laundry Room	T12 - Linear Fluorescent	<input checked="" type="checkbox"/>
Exercise Room	T12 - Linear Fluorescent	<input checked="" type="checkbox"/>
Bathrooms	T12 - Linear Fluorescent	<input checked="" type="checkbox"/>

APPLIANCES				
ITEM	TYPE			CONDITION
Refrigerator	Frost-free	Fair	18 Cuft	Fair
Kitchen Cabinet	Stained Wood			Fair
Kitchen Countertop	Plastic laminated wood			Fair

	LAUNDRY ROOM
Laundry Room Location	1st Floor
Property owned / leaded	Leased
No. of Top Load Washers	7
No. of Front Load Washers	1
Total Washers Per Location	8
Washer Manufacturer	Speed Queen

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	LAUNDRY ROOM
Clothes Dryer Type	Gas
No. of Dryers	8
Dryer Input Heat Capacity	Btuh
Dryer Manufacturer	Speed Queen

Actions/Comments:

- The ceiling tiles have isolated areas of water-damaged ceiling tiles throughout the building. The damaged ceiling tiles need to be replaced. This should be replaced during the rehab.
- All major HVAC and DHW will require replacement during the reserve term. The cost for this work is included in the replacement reserve report. All HVAC in the community building should be replaced during the rehab.
- The washers and dryers are owned and maintained by an outside contractor.
- The existing furnaces utilize potable domestic water as their heating source. This type of system can have potential health issues. It is recommended that when these units are replaced that consideration be given to utilize furnaces with gas-fired or electric heaters. At a minimum, the isolation valves for these heating coils should be lockable so that only trained personnel can turn off water flow to these units to avoid the potential for creating stagnant water in the coils that can be reintroduced into the potable water system.
- The light fixtures throughout most of the units utilize older, inefficient incandescent lamps and T-12 lamps. Replacement of incandescent bulbs with CFL lamps and newer fixtures with electronic ballasts and T-8 lamps is highly recommended to save substantial amounts of energy. EMG recommends replacement of fluorescent fixtures in the community building as part of routine maintenance, no costs are associated in the replacement reserves.
- Interior painting will require replacement during the reserve term. This is recommended during the rehab.
- Interior flooring will require replacement during the reserve term. This is recommended during the rehab.
- The windows and exterior doors in the community building will require replacement during the reserve term. These units are discussed and costs included in section 6.6 and should be replaced during the rehab.
- The plumbing fixtures in the community building should be replaced as necessary. Due to the relatively low cost of each item, these fixtures should be replaced as part of routine maintenance.

10. APPENDICES

APPENDIX A: PHOTOGRAPHIC RECORD

APPENDIX B: SITE PLAN

APPENDIX C: SUPPORTING DOCUMENTATION

APPENDIX D: EMG ACCESSIBILITY CHECKLIST

APPENDIX E: PRE-SURVEY QUESTIONNAIRE

APPENDIX F: ACRONYMS

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APPENDIX A:
PHOTOGRAPHIC RECORD



PHOTO #1: FRONT ELEVATION, LEASING OFFICE



PHOTO #2: LEASING OFFICE

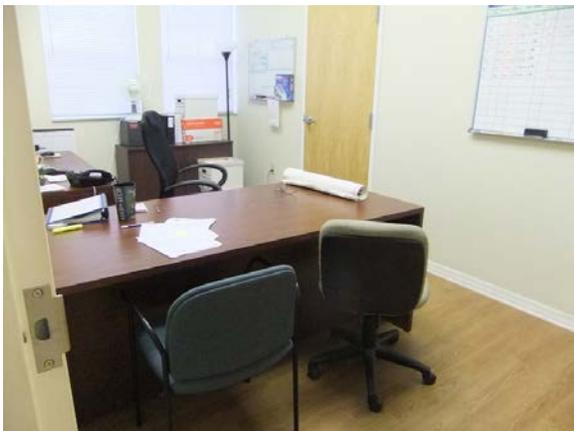


PHOTO #3: TYPICAL OFFICE SPACE



PHOTO #4: TYPICAL OFFICE SPACE



PHOTO #5: TYPICAL LIGHTING AT LEASING OFFICE



PHOTO #6: TYPICAL LIGHTING AND DROPPED CEILING OF OFFICE SPACE



PHOTO #7: LEASING OFFICE COMMON AREA KITCHEN



PHOTO #8: LEASING OFFICE ACCESSIBLE RESTROOM

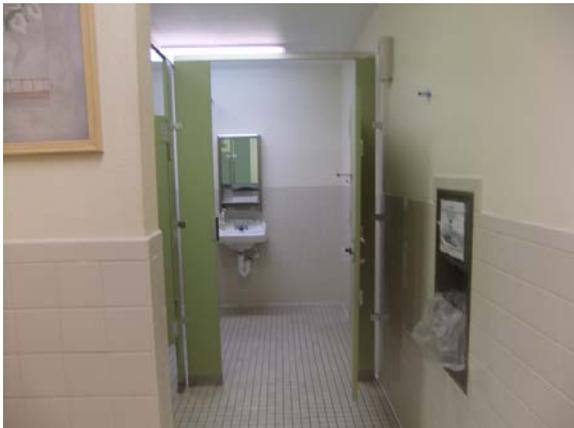


PHOTO #9: ACCESSIBLE RESTROOM



PHOTO #10: COMMON AREA RESTROOM (MISSING INSULATION BENEATH SINK)



PHOTO #11: ACCESSIBLE RESTROOM IN LEASING OFFICE



PHOTO #12: COOLING FOR LEASING OFFICE



PHOTO #13: COMMON AREA LAUNDRY ROOM



PHOTO #14: COMMON AREA LAUNDRY ROOM



PHOTO #15: POND LOCATED ON PROPERTY ADJACENT TO LEASING OFFICE



PHOTO #16: SITE FENCING



PHOTO #17: SITE FENCING



PHOTO #18: SITE DRAINAGE



PHOTO #19: CONCRETE WORK, EXAMPLE



PHOTO #20: EXTERIOR METAL STAIRS



PHOTO #21: COMMUNITY PLAYGROUND



PHOTO #22: TYPICAL RESIDENTIAL BUILDING - FRONT AND SIDE ELEVATION



PHOTO #23: TYPICAL RESIDENTIAL BUILDING - REAR ELEVATION



PHOTO #24: TYPICAL RESIDENTIAL BUILDING



PHOTO #25: *PAD MOUNTED TRANSFORMER*



PHOTO #26: *TYPICAL VIEW OF COMMUNITY*



PHOTO #27: *GAS METER AT RESIDENTIAL UNIT*



PHOTO #28: *ELECTRIC METERS AT RESIDENTIAL BUILDING*



PHOTO #29: *2.7 TON AC. MAUFACTURED IN 2001.*



PHOTO #30: *2.5 TON AC. MANUFACTURED 2007*



PHOTO #31: FRONT PORCH LIGHTING



PHOTO #32: CONCRETE SLAB FOR FRONT PORCH



PHOTO #33: FRONT DOOR



PHOTO #34: TYPICAL LIVING ROOM

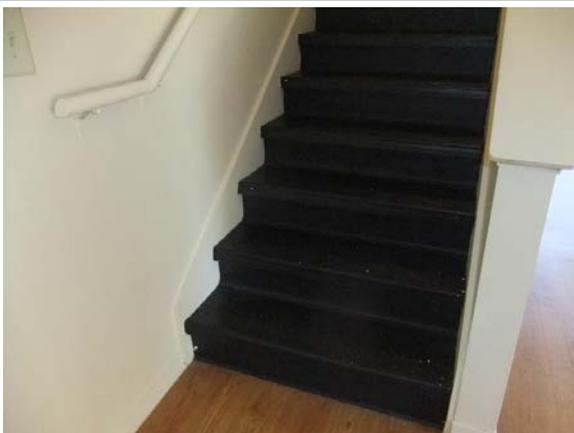


PHOTO #35: TYPICAL STAIRCASE TO UPPER LEVEL



PHOTO #36: TYPICAL FIRST FLOOR HALF BATH



PHOTO #37: TYPICAL KITCHEN



PHOTO #38: TYPICAL NATURAL GAS RANGE



PHOTO #39: TYPICAL KITCHEN SINK, COUNTER, AND CABINETS



PHOTO #40: TYPICAL GARBAGE DISPOSAL



PHOTO #41: TYPICAL DISHWASHER



PHOTO #42: TYPICAL AIR HANDLER UNIT



PHOTO #43: TYPICAL DIGITAL THERMOSTAT



PHOTO #44: TYPICAL NATURAL GAS WATER HEATER

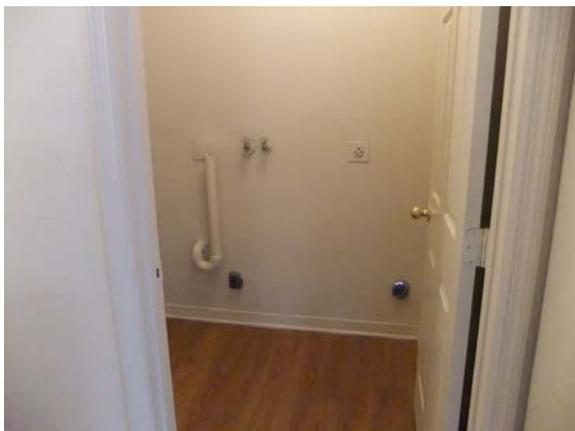


PHOTO #45: CLOSET WITH WASHER/DRYER HOOK-UP



PHOTO #46: TYPICAL FULL BATHROOM



PHOTO #47: TYPICAL SHOWER AND SHOWER SURROUND



PHOTO #48: TYPICAL BATHROOM LIGHTING



PHOTO #49: TYPICAL APARTMENT WINDOWS



PHOTO #50: VENT TO CRAWLSPACE



PHOTO #51: VENT FOR TYPICAL EFFICIENCY DHW



PHOTO #52: VENT FOR HIGH EFFICIENCY DHW



PHOTO #53: APARTMENT AHU



PHOTO #54: APARTMENT AHU



PHOTO #55: APARTMENT LIVING AREA



PHOTO #56: APARTMENT KITCHEN



PHOTO #57: APARTMENT BEDROOM



PHOTO #58: APARTMENT BATHROOM



PHOTO #59: SINGLE STORY APARTMENTS



PHOTO #60: CONCRETE SIDEWALK IN SINGLE STORY APARTMENT AREA

PHYSICAL NEEDS ASSESSMENT

JORDAN PARK
1245 JORDAN PARK STREET SOUTH
ST. PETERSBURG, FLORIDA 33712

EMG PROJECT NO: 118891.16R000-001.052

APPENDIX B:
SITE PLAN



Site Plan



Project Name:

Jordan Park

Project Number:

118891.16R000-001.052

Source:

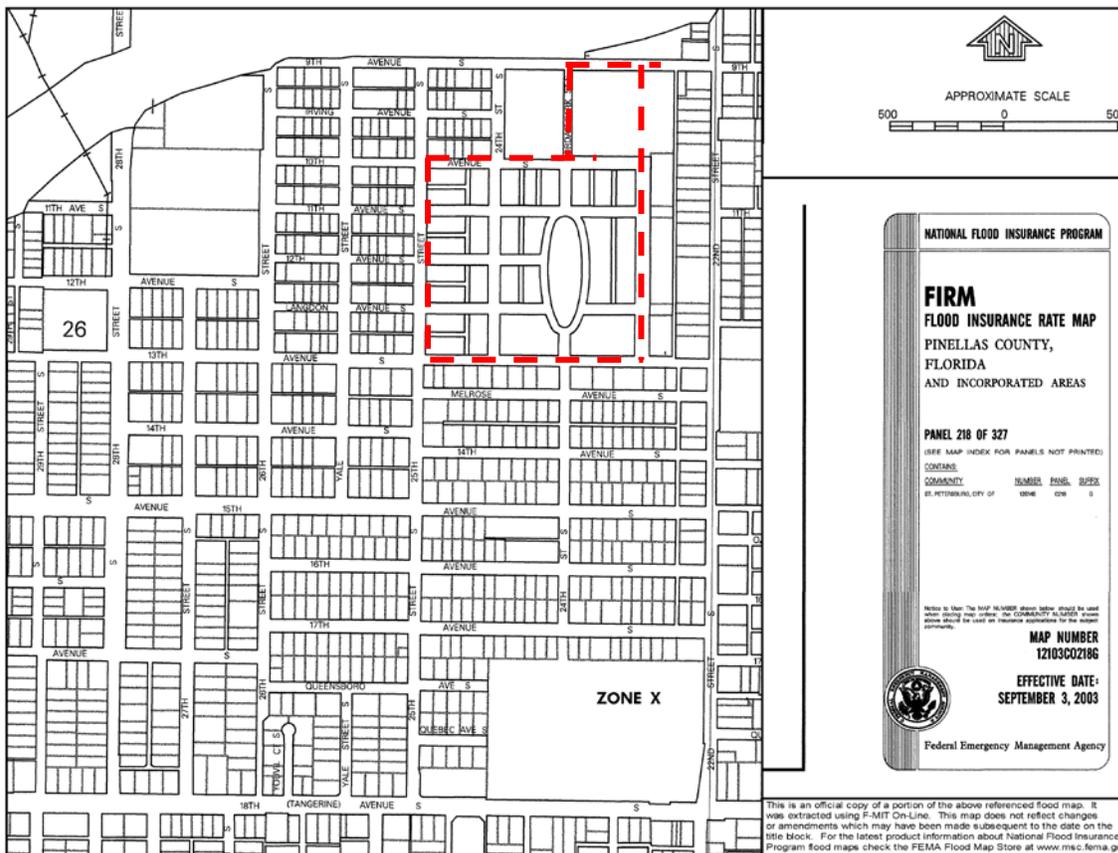
Bing.com

On-Site Date:

March 7th and 8th, 2016

APPENDIX C:
SUPPORTING DOCUMENTATION

Floodplain Map



NATIONAL FLOOD INSURANCE PROGRAM

FIRM
FLOOD INSURANCE RATE MAP
PINELLAS COUNTY,
FLORIDA
AND INCORPORATED AREAS

PANEL 218 OF 327
(SEE MAP INDEX FOR PANELS NOT PRINTED)

CONTAINS	NUMBER	PANEL	SUFFIX
COMMUNITY	12103CO2186	12103	CO2186
ST. PETERSBURG, CITY OF	12103	CO2186	S

Notes to User: This map NUMBER shown below should be used when ordering maps online. The COMMUNITY NUMBER shown above should be used on insurance applications for the subject community.

MAP NUMBER
12103CO2186

EFFECTIVE DATE:
SEPTEMBER 3, 2003

Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov

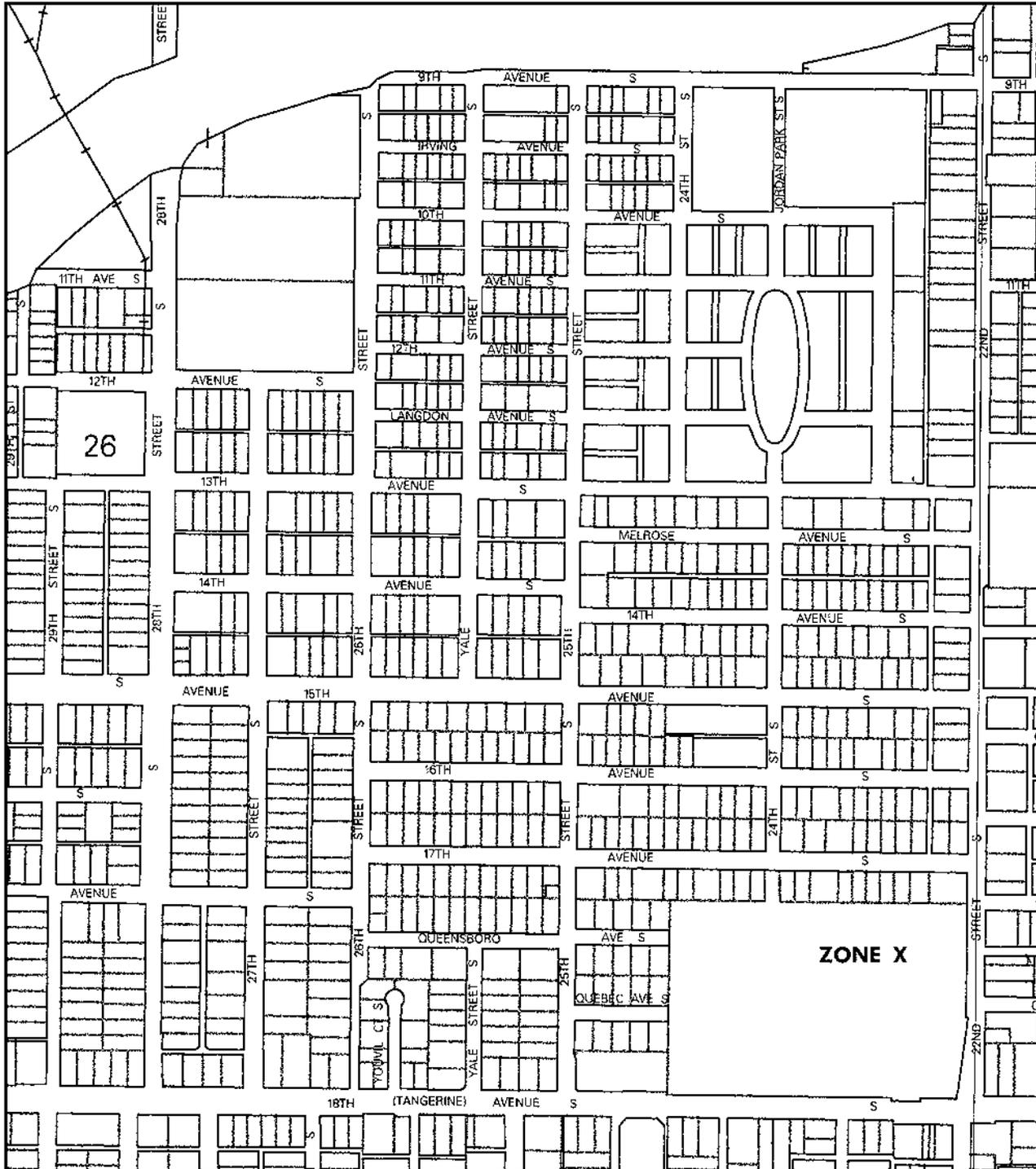


Project Name:
Jordan Park Apartments

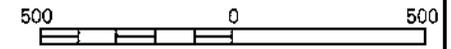
Project Number:
118891.16R000-001.052

Source:
FEMA
Date: September 3, 2003

On-Site Date:
March 7th and 8th, 2016



APPROXIMATE SCALE



NATIONAL FLOOD INSURANCE PROGRAM

**FIRM
FLOOD INSURANCE RATE MAP
PINELLAS COUNTY,
FLORIDA
AND INCORPORATED AREAS**

PANEL 218 OF 327

(SEE MAP INDEX FOR PANELS NOT PRINTED)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
ST. PETERSBURG, CITY OF	126148	0218	3

Notice to User: The MAP NUMBER shown below should be used when placing map orders; the COMMUNITY NUMBER shown above should be used on insurance applications for the subject community.

**MAP NUMBER
12103C02186**

**EFFECTIVE DATE:
SEPTEMBER 3, 2003**



Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov

PHYSICAL NEEDS ASSESSMENT

1245 JORDAN PARK STREET SOUTH
ST. PETERSBURG, FLORIDA 33712

EMG PROJECT NO: 118891.16R000-001.052

APPENDIX D:
EMG ACCESSIBILITY CHECKLIST



EMG ACCESSIBILITY CHECKLIST

Property Name: Jordan Park

Date: March 7, 2016

Project Number: 118891.16R-001.052

EMG Accessibility Checklist						
UFAS/ADA Accessibility						
	Building History	Yes	No	N/A	Unk	Comments
1.	Has the management previously completed an accessibility review?				√	
2.	Does an accessibility compliance plan exist for the property?				√	
3.	Has the plan been reviewed/approved by outside agencies (engineering firms, building department, other agencies)?				√	
4.	Have any accessibility related complaints been received in the past?		√			
5.	Is the property Section 504 compliant?	√				
	Building Access	Yes	No	N/A	Comments	
1.	Are there an adequate number (per regulation) of wheelchair accessible parking spaces available at the rental office (96" wide/ 60" aisle)		√			
2.	Is there at least one wheelchair accessible van parking space (96" wide/ 96" aisle) for every 8 standard accessible spaces?		√			
3.	Are accessible parking spaces located on the shortest accessible route of travel from an accessible building entrance?	√				
4.	Does signage exist directing you to wheelchair accessible parking and an accessible building entrance?			√		
5.	Is there a ramp from the parking to an accessible building entrance (1:12 slope or less)			√		
6.	If the main entrance is inaccessible, are there alternate accessible entrances?			√		
7.	Is the accessible entrance doorway at least 32" wide?	√				
8.	Is the door handle easy to open? (lever/push type knob, no twisting required, no higher than 48" above floor)	√				

EMG Accessibility Checklist

EMG Accessibility Checklist					
Building Access		Yes	No	N/A	Comments
9.	Are entry doors other than revolving doors available?	√			
Rental office		Yes	No	N/A	Comments
1.	Is the entry door to the rental office 3'wide with no step or threshold over ½" tall?	√			
2.	Is there a counter or table at 30" high for wheelchair access to fill out a rental application?	√			
3.	Is there clearance behind the counter for an employee in a wheelchair?	√			
Building Corridors and Elevators		Yes	No	N/A	Comments
1.	Is the path of travel free of obstructions and wide enough for a wheelchair (at least 60" wide)?	√			
2.	Are floor surfaces firm, stable and slip resistant (carpets wheelchair friendly)?	√			
3.	Do obstacles (phones, fountains, etc.) protrude no more than 4" into walkways or corridor?		√		
4.	Are elevators controls low enough to be reached from a wheelchair (48" front approach/54" side approach)?			√	
5.	Are there raised elevator markings in Braille and standard alphabet for the blind?			√	
6.	Are there audible signals inside cars indicating floor changes?			√	
7.	Do elevator lobbies have visual and audible indicators of the cars arrival?			√	
8.	Does the elevator interior provide sufficient wheelchair turning area (51" x 68" minimum)?			√	
9.	Is at least one wheelchair accessible public phone available?			√	
10	Are wheelchair accessible facilities (restrooms, exits, etc.) identified with signage?	√			
Common Area Restrooms		Yes	No	N/A	Comments
1.	Are common area public restrooms located on an accessible route?	√			
2.	Are pull handles push/pull or lever type?	√			

EMG Accessibility Checklist

EMG Accessibility Checklist					
Common Area Restrooms		Yes	No	N/A	Comments
3.	Are access doors wheelchair accessible (at least 32" wide)?	√			
4.	Are public restrooms large enough for wheelchair turnaround (60" turning diameter)?	√			
5.	Are stall doors wheelchair accessible (at least 32" wide)?	√			
6.	If stalls are too narrow can the toilet room be converted to a single occupant toilet room?	√			
7.	Are grab bars provided in toilet stalls (33"-36" above floor)?	√			
8.	Do sinks provide clearance for a wheelchair to roll under (29" clearance)?	√			
9.	Are sink handles operable with one hand without grasping, pinching or twisting?	√			
10.	Are exposed pipes under sink sufficiently insulated against contact?	√			
11.	Are soap dispensers, towel, etc. reachable (48" from floor for frontal approach, 54" for side approach)?	√			
12.	Is the base of the mirror no more than 40" off floor?	√			
Common Area Kitchen		Yes	No	N/A	Comments
1.	In a "U"-shaped kitchen is there 60" clear floor space width?			√	
2.	In a "U"-shaped kitchen with base cabinet removed from beneath sink, is there a minimum of 40" width?			√	
3.	In a "L"-shaped kitchen, is there a 40" width minimum maintained?			√	
4.	Are countertops a maximum of 24" deep and 36" high?			√	
5.	Knee space beneath cabinetry is 30" wide and 27" high.			√	
6.	Is insulation installed below sinks on piping?			√	
7.	Are adaptable units equipped with removable or retractable cabinetry fronts beneath sink or stove?			√	

EMG Accessibility Checklist

EMG Accessibility Checklist					
Common Area Laundry rooms		Yes	No	N/A	Comments
1.	Are the laundry rooms located on an accessible route?			√	
2.	Are the door handles push/pull or lever type?			√	
3.	Are the access doors wheelchair accessible (at least 32" clear width)?			√	
4.	Are laundry rooms large enough for wheelchair turnaround (60" turning diameter)?			√	
5.	Is there a front load washing machine			√	
6.	If clothes folding tables are provided is one section at 32" high with a clear area below the table?			√	
Fair Housing Accessibility / Section 504					
Access to Unit		Yes	No	N/A	Comments
1.	Property management reports that the number of units currently accessible and those adaptable meet FHA requirements of all ground floor units or 100% for a high rise.	√			
2.	Are 5% of the units fully accessible to those individuals with mobility impairments and 2% of units accessible to those individuals with audio / visual impairments?		√		
3.	Are there any barriers or structural restrictions preventing access to the building?		√		
4.	Are the accessible units on an accessible route?	√			
5.	Is the apartment entry corridor 36" wide, door 32" wide (frame to frame), threshold height less than ½", and appropriate door hardware present?	√			
Unit Living Space		Yes	No	N/A	Comments
1.	Is there access throughout unit?	√			
2.	Are electrical outlets 15" minimum above floor minimum?	√			
3.	Are environmental controls and switches 48" maximum above floor or lower?	√			

EMG Accessibility Checklist

EMG Accessibility Checklist					
	Unit Bathroom	Yes	No	N/A	Comments
1.	Is entry door at least 32" wide frame-to-frame?	√			
2.	Are switches & outlets in accessible locations?	√			
3.	Are bathroom walls around the toilet and tub/shower reinforced?			√	
4.	Is there a 30" x 48" clear floor space outside of door swing area?			√	
5.	Is there a 56" x 48" clear floor space in front of toilet (48" out from wall toilet is hung against)?			√	
6.	Is there a 30" x 48" clear floor space in front of lavatories (30" deep from front of counter)?			√	
7.	Is there a 30" x 48" clear floor space in front of tub/shower (30" out from tub/shower)?			√	
8.	Is vanity a maximum of 24" deep and 36" high?			√	
9.	Knee space beneath sink is 30" wide and 27" high.			√	
10.	Is shower stall 36"x 42" minimum with small lip?			√	
11.	Is insulation installed below sinks on piping?			√	
	Unit Kitchen	Yes	No	N/A	Comments
1.	In a "U"-shaped kitchen is there 60" clear floor space width?			√	
2.	In a "U"-shaped kitchen with base cabinet removed from beneath sink, is there a minimum of 40" width?			√	
3.	In a "L"-shaped kitchen, is there a 40" width minimum maintained?			√	
4.	Are countertops a maximum of 24" deep and 36" high?	√			
5.	Knee space beneath cabinetry is 30" wide and 27" high.	√			
6.	Is insulation installed below sinks on piping?				Required in adaptable unit regardless of occupancy.
7.	Are adaptable units equipped with removable or retractable cabinetry fronts beneath sink or stove?	√			

It is understood by the Client that the limited observation described herein does not comprise a full ADA Compliance Survey, and that such a survey is beyond the scope of EMG's Physical Condition Assessment. Only a representative sample of areas was observed and, other than as shown on the accessibility checklist, actual measurements were not taken to verify compliance.

ADAAG CRITERIA

Total Parking in Lot	Required Minimum Number of Accessible Spaces
1 to 25	1
26 to 50	2
51 to 75	3
76 to 100	4
101 to 150	5
151 to 200	6
201 to 300	7
301 to 400	8
401 to 500	9
501 to 1000	2% of total
1001 and over	20 plus 1 for each 100 over 1000

For further information or a copy of the Americans with Disabilities Act Accessibility Guidelines contact 1-800-949-4ADA

PHYSICAL NEEDS ASSESSMENT

1245 JORDAN PARK STREET SOUTH
ST. PETERSBURG, FLORIDA 33712

EMG PROJECT NO: 118891.16R000-001.052

APPENDIX E:
PRE-SURVEY QUESTIONNAIRE





Energy & PNA Audit (Residential) Pre-Survey Questionnaire

This questionnaire must be completed by the property owner, the owner's designated representative, or someone knowledgeable about the subject property. If the form is not completed, EMG's Project Manager will require **additional time** during the on-site visit with such a knowledgeable person in order to complete the questionnaire. During the site visit, EMG's Field Observer may ask for details associated with selected questions. This questionnaire will be utilized as an exhibit in EMG's final report.

Name of Institution:	Jordan Park Apartments		
Name of Building:	Building #:		
Name of person completing questionnaire:			
Length of Association With the Property:			Phone Number:

Site Information					
Year of Construction?	2001 - 2002				
No. of Stories?	Floors.	2			
Total Site Area?	Acres				
Total Building Area?	Sqft				
Area Heated (%)	%				
Area Cooled (%)	%				
Total Conditioned Area (%)	%				
Primary Heating System?	Hot water from water heater to air handler.				
Secondary Heating System?	N/A				
If Oil Used For Heating- Tank Capacity	N/A	Gallons	No. of Tanks		
Primary Cooling System & Capacity?	2 and 2 1/2 TONS R-22				
Do Any HVAC Systems Use R-11, R-12 or R-22 Refrigerants?	Yes				
	Elec.	Natural Gas	Propane	No.2 Oil	Dist. Steam
Primary Heating Fuel?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Secondary Heating Fuel?	N/A	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Domestic Water Heater Fuel?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Building Occupancy/Schedule			
Estimated No. of Residence	591		
No. of Staff Members	4		
Standard Staff Work Timing	7:00AM/PM - 5:00AM/PM 9-5		
Maintenance Staff Hours	8:00AM/PM - 4:00AM/PM 8-4		
Apartment Type	Qty	Area (Sqft)	No. of Bathrooms
No. of Apts. In Building:	N/A		
No. of Efficiency Apts:	N/A		1
No. of 1 Bedroom Apts:	33		1 // 1.5
No. of 2 Bedroom Apts:	109		1 // 1.5 // 2
No. of 3 Bedroom Apts:	90		1 // 1.5 // 2
No. of 4 Bedroom Apts:	5		1 // 1.5 // 2 // 3
No. of 5 Bedroom Apts:	N/A		1 // 1.5 // 2 // 3
No. of 6 Bedroom Apts:	N/A		1 // 1.5 // 2 // 3
No. of Vacant Apts:	4		
No. of Down Apts:	0		

Inspections	Date of Last Inspection	List of Any Outstanding Repairs Required
1. Elevators	N/A	REACT
2. HVAC Mechanical, Electric, Plumbing?	2.15.15	
3. Life-Safety/Fire?	2.15.15	
4. Roofs?	2.15.15	



Energy & PNA Audit (Residential) Pre-Survey Questionnaire

Key Questions	Response
Major Capital Improvements in Last 3 yrs.	0
Planned Capital Expenditure For Next Year?	0
Age of the Roof?	14 years
What bldg. Systems Are Responsibilities of Tenants? (HVAC/Roof/Interior/Exterior/Paving)	NONE

Unk = Unknown, NA = Not Applicable	Yes	No	NA	Unk	Comments
1. Are the plumbing fixtures Low Flow (Below 2.0GPM, .6GPF)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
2. Are there any vacant buildings or significant building areas?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
3. Do tenants pay for utilities at leased properties?	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Senior Village
4. Does the owner pay for exterior site lighting electricity?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	We pay - water/
5. Any Issues with exterior Lighting?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Sewer / Trash

Building Structure							Additional Comments?
		Y/N		Y/N		Y/N	
Roof Type:	Pitched?	Yes	Flat		Both		
Attic Insulation:	Batt		Cellulose	Yes	Fiberglass		
Window Frame:	Wooden		Vinyl		Metal	Yes	
Window Glazing:	Single	Yes	Double		Triple		
Structure	Wooden		Metal		Conc.	Yes	

Building Lighting			
Type of Linear Fluorescent Lamps? (T8/T12)	T12	Exterior Lighting Control (Timer/Photocell)	N/A
Type of Common Lamps? (Incan/CFLs)	Incan	Exterior Light Timing	N/A Hr
Lighting Sensors? (Y/N)	N/A	EXIT Lights (Incan/Fluor/LED)	N/A

Other Systems				
Item	Qty	Selection	Utility Company / Provider Name	
# of Elevators	0	Hydraulic/Traction		N/A
# of Electric Meters	239	Master/ Direct		
# of Nat. Gas Meters	239	Resi/Commercial/Indust.		
# of Water Meters	239			
# of Backup Generator	0	Fuel?:		

Preventive Maintenance of Mechanical System		
Systems	Annual Professional Maintenance	Seldom or Never Maintained
Tenant Space Heating Systems (Furnace/Boilers/Heat pumps)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Tenant Space Cooling Systems (Condensers/Window AC)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Domestic Water Heaters	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Building Appliances		
	Value	Additional Comments?
Percentage of Energy Star Certified Refrigerators (%)	20 %	
Percentage of Refrigerators older than 8 years (%)	80 %	Please provide general age of refrigerators here
Cooking Range Type (Electric/Gas/Propane)	GAS	
Laundry System (Leased/Owned)	LEASED	
No. of Washers	31	Stackable
No. of Dryers	31	Stackable



Energy & PNA Audit (Residential) Pre-Survey Questionnaire

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any Yes responses. (NA indicates "Not Applicable", Unk indicates "Unknown")

QUESTION	Y	N	Unk	NA	COMMENTS
ZONING, BUILDING DESIGN & LIFE SAFETY ISSUES					
1		✓			
2		✓			
3		✓			
4		✓			
5	✓				
6	✓				
7		✓			
8	✓				
GENERAL SITE					
9	✓				
10	✓				
BUILDING STRUCTURE					
11		✓			
12		✓			
13		✓			



Energy & PNA Audit (Residential) Pre-Survey Questionnaire

BUILDING ENVELOPE					
Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any Yes responses. (NA indicates "Not Applicable", Unk indicates "Unknown")					
QUESTION	Y	N	Unk	NA	COMMENTS
14		✓			
15		✓			
16		✓			
17		✓			
18		✓			
19	✓				
BUILDING HVAC AND ELECTRICAL					
20		✓			
21		✓			
22		✓			
23		✓			
24		✓			
ADA					
25		✓			
26		✓			
27		✓			
28		✓			



Energy & PNA Audit (Residential) Pre-Survey Questionnaire

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any Yes responses. (NA indicates "Not Applicable", Unk indicates "Unknown")

	QUESTION	Y	N	Unk	NA	COMMENTS
?	29 Has building ownership or management received any ADA related complaints?					
	30 Does elevator equipment require upgrades to meet ADA standards?				✓	
PLUMBING						
	31 Is the property served by a private water well?		✓			
	32 Is the property served by a private septic system or other waste treatment systems?		✓			
	33 Is polybutylene piping used?		✓			
	34 Are there any plumbing leaks or water pressure problems?		✓			

Issues or Concerns That EMG Should Know About?	
1.	
2.	
3.	

Items Provided to EMG Auditors					
	QUESTION	Yes	No	N/A	Additional Comments?
?	Access to 10% (GPNA), 25% (RAD) Apartments	✓	<input type="checkbox"/>	<input type="checkbox"/>	
	Access to All Mechanical Spaces	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Access to Roof/Attic Space	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Access to Building As-Built Drawings	✓	<input type="checkbox"/>	<input type="checkbox"/>	
	Site plan with bldg., roads, parking and other features	✓	<input type="checkbox"/>	<input type="checkbox"/>	
?	Access to last 12/24 Months Common Area Utility Data	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
?	Access to last 12/24 Months Tenant Utility Data	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
?	Contact Details of Mech, Elevator, Roof, Fire Contractors:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
?	List of Commercial Tenants in the property	<input type="checkbox"/>	✓	<input type="checkbox"/>	
?	Previous reports pertaining to the physical condition of property.	✓	<input type="checkbox"/>	<input type="checkbox"/>	<i>compliance dept</i>
?	ADA survey and status of improvements implemented.	<input type="checkbox"/>	✓	<input type="checkbox"/>	
?	Current / pending litigation related to property condition.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
?	Any brochures or marketing information.	✓	<input type="checkbox"/>	<input type="checkbox"/>	
?	Appraisal, either current or previously prepared.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
?	Summary of Projects executed in last 5 years	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Signature of person Interviewed or completing form

Date

PHYSICAL NEEDS ASSESSMENT

1245 JORDAN PARK STREET SOUTH
ST. PETERSBURG, FLORIDA 33712

EMG PROJECT NO: 118891.16R000-001.052

On the day of the site visit, provide EMG's Field Observer access to all of the available documents listed below. Provide copies if possible.

INFORMATION REQUIRED

1. All available construction documents (blueprints) for the original construction of the building or for any tenant improvement work or other recent construction work.
2. A site plan, preferably 8 1/2" X 11", which depicts the arrangement of buildings, roads, parking stalls, and other site features.
3. For commercial properties, provide a tenant list which identifies the names of each tenant, vacant tenant units, the floor area of each tenant space, and the gross and net leasable area of the building(s).
4. For apartment properties, provide a summary of the apartment unit types and apartment unit type quantities, including the floor area of each apartment unit as measured in square feet.
5. For hotel or nursing home properties, provide a summary of the room types and room type quantities.
6. Copies of Certificates of Occupancy, building permits, fire or health department inspection reports, elevator inspection certificates, roof or HVAC warranties, or any other similar, relevant documents.
7. The names of the local utility companies which serve the property, including the water, sewer, electric, gas, and phone companies.
8. The company name, phone number, and contact person of all outside vendors who serve the property, such as mechanical contractors, roof contractors, fire sprinkler or fire extinguisher testing contractors, and elevator contractors.
9. A summary of recent (over the last 5 years) capital improvement work which describes the scope of the work and the estimated cost of the improvements. Executed contracts or proposals for improvements. Historical costs for repairs, improvements, and replacements.
10. Records of system & material ages (roof, MEP, paving, finishes, furnishings).
11. Any brochures or marketing information.
12. Appraisal, either current or previously prepared.
13. Current occupancy percentage and typical turnover rate records (for commercial and apartment properties).
14. Previous reports pertaining to the physical condition of property.
15. ADA survey and status of improvements implemented.
16. Current / pending litigation related to property condition.

Your timely compliance with this request is greatly appreciated.

PHYSICAL NEEDS ASSESSMENT

1245 JORDAN PARK STREET SOUTH
ST. PETERSBURG, FLORIDA 33712

EMG PROJECT NO: 118891.16R000-001.052

APPENDIX F:
ACRONYMS



ASTM E2018-08 Acronyms

ADA - The Americans with Disabilities Act
ASTM - American Society for Testing and Materials
BOMA - Building Owners & Managers Association
BUR - Built-up Roofing
DWV – Drainage, Waste, Ventilation
EIFS - Exterior Insulation and Finish System
EMF – Electro Magnetic Fields
EMS - Energy Management System
EUL - Expected Useful Life
FEMA - Federal Emergency Management Agency
FFHA - Federal Fair Housing Act
FIRMS - Flood Insurance Rate Maps
FRT- Fire Retardant Treated
FOIA - U.S. Freedom of Information Act (5 USC 552 et seq.) and similar state statutes.
FOIL - Freedom of Information Letter
FM - Factory Mutual
HVAC - Heating, Ventilating and Air Conditioning
IAQ - Indoor Air Quality
MEP – Mechanical, Electrical & Plumbing
NFPA - National Fire Protection Association
PNA – Capital Needs Assessment
PCR - Property Condition Report
PML - Probable Maximum Loss
RTU - Rooftop Unit
RUL - Remaining Useful Life
STC – Sound Transmission Class
UBC – Uniform Building Code