



CITY OF ST. PETERSBURG, FLORIDA
PLANNING AND DEVELOPMENT SERVICES DEPARTMENT
URBAN PLANNING AND HISTORIC PRESERVATION DIVISION

STAFF REPORT

Community Planning and Preservation Commission
Certificate of Appropriateness Request

For **Public Hearing** and **Executive Action** on April 9, 2019 beginning at 2:00 p.m. in Council Chambers,
City Hall, 175 Fifth Street North, St. Petersburg, Florida

According to Planning and Development Services Department records, Commissioner Lisa Wannemacher resides or has a place of business within 2,000 feet of the subject property. All other possible conflicts should be declared upon the announcement of the item.



Case No.:	18-90200057
Address:	687 Central Avenue
Legal Description:	ORANGE PARK ADD (HISTORIC LANDMARK) BLK A, LOT 5 & W 4 FT OF LOT 4 LESS S 26.3FT OF EACH FOR RD R/W
Parcel ID No.:	19-31-17-64530-001-0050
Date of Construction:	1924
Local Landmark:	State Theatre (historic Alexander National Bank), HPC 91-02
Owner:	Landmark Theatre Group, LLC
Agent:	Jack Bodziak, AIA
Request:	Request for the approval of a Certificate of Appropriateness for the alteration of a local historic landmark

Historic Context and Significance

Constructed in 1924 as the Alexander National Bank, the State Theatre at 687 Central Avenue (“the subject property”) was designated as a local historic landmark in 1991 as a rare local example of high-level Beaux Arts and Neoclassical architecture. The building was financed by North Carolinian transplant Jacob Alexander and designed by architect Neil Reid of Atlanta firm Hentz, Reid, and Alder, who had been commissioned by the same individual for the construction of the nearby Alexander Hotel (local historic landmark HPC 86-10) in 1919.¹ Its original appearance is depicted in Figure 1.

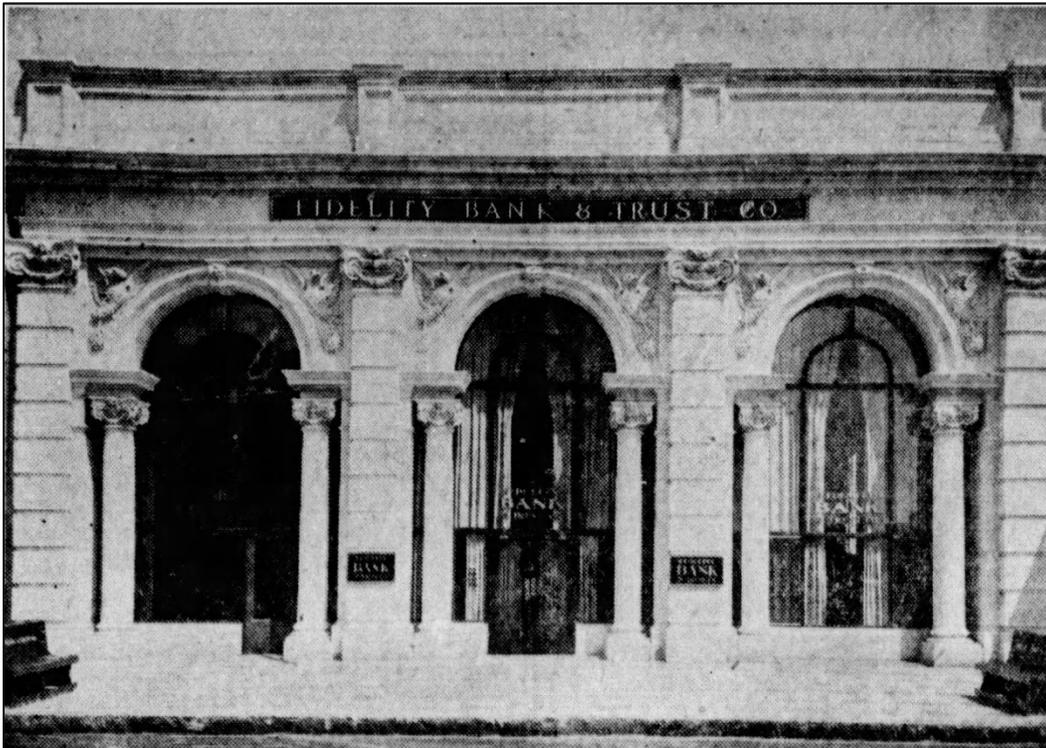


Figure 1: The subject property as shown in a 1929 advertisement for its new operation as the Fidelity Bank & Trust Company²

In 1949 the subject property was purchased for conversion to a new use as a movie theatre. The renovation, which lasted until early 1950, was designed by noteworthy St. Petersburg architect Archie G. Parish.³ Although the largest impacts of this renovation occurred inside, where the entire building was retrofitted with a lobby, concession stand, seats, and screen, the exterior was also altered somewhat to advertise the subject property’s new use:

“The theatre façade, which follows classical lines with six Ionic pillars and artistic embellishments, has been decorated further by a blue-ceilinged, neon lighted overhanging shelter above which is the large “State” sign. The foyer has terrazzo tile flooring and blue walls. Rest rooms tile and attractively decorated, are to the right and left; a carpeted staircase mounts to the left past a flower bin set inside a rough, yellow-brick low wall; in the rear center stand the candy and popcorn concessions.”⁴

¹ “Your Banking Home,” *St. Petersburg Times*, October 20, 1929.

² *Ibid.*

³ *Ibid.*

⁴ “State Theatre, City’s Newest Opens Saturday,” *St. Petersburg Times*, April 27, 1950.

It should be noted that the interior renovations that took place as part of the bank-to-theatre conversion necessitated exterior change. The arched portions of the three bays that define the building's façade were enclosed to conceal and house the structure of the new interior balcony. The undated photograph included as Figure 2 shows these blind upper arches, as well as the cantilevered awning sheltering the entrance, marquee, and blade sign.



Figure 2: Undated photograph of State Theatre after conversion to movie theatre. Note blind arches, signs, and awning. Photograph on file, City of St. Petersburg

The subject property was again altered circa 1990 for use as a jazz club, at which point it largely took on its present-day appearance through the introduction of glass block infill at its remaining original window openings (Figure 3) and a sign referencing the building's predominant arcade design (Figure 4). Despite these alterations, the original window openings and even portions of the 1950 sign brackets have been retained, resulting in a remarkable degree of historic integrity for a property that has been employed for three distinct commercial uses.



Figure 3: Circa 1990 glass blocks in former window openings



Figure 4: Circa 1990 marquee above 1950 awning

When the subject property was designated as a local historic landmark in 1991, its 1949-1950 conversion to a movie theatre had occurred less than 50 years prior. As such, the designation's period of significance was confined to the building's initial design and use as a bank only. However, the 1950 alterations can be viewed as significant in their own right, since over 50 years have now passed since their design. Further, they are representative of an early-Postwar approach to theatre design and are associated with Archie Parish, a local architect who was involved in the construction of a number of significant local landmarks including the Mark Dixon Dodd homes in the Driftwood Local Historic District and historic portions of the St. Petersburg Shuffleboard Club. Staff, therefore, recommends that the Commission review the following project for its appropriateness to not only the 1924 design of the subject property, but to significant features of its 1950 conversion to a downtown movie theatre.

Project Description

Project Description

The proposed project being considered in the evaluation of COA 18-90200057 is part of a rehabilitation that is intended to maintain the subject property's most recent use as a live music venue. Although interior alterations are beyond the purview of COA review, the intended function and desired rehabilitation of interior features dating to the 1950 theatre conversion – specifically the balcony – will impact the building's exterior in the case of the window restoration. Detailed plans are included in the application submissions in Appendix A. Briefly, the proposed project is to include:

- Front window openings:
 - Removal of circa 1990 glass block;
 - Installation of aluminum storefront windows and doors as shown in Figure 5.
- Sign:
 - New double-faced illuminated blade sign
 - Two electronic reader boards installed in a "V" over existing front entrance.

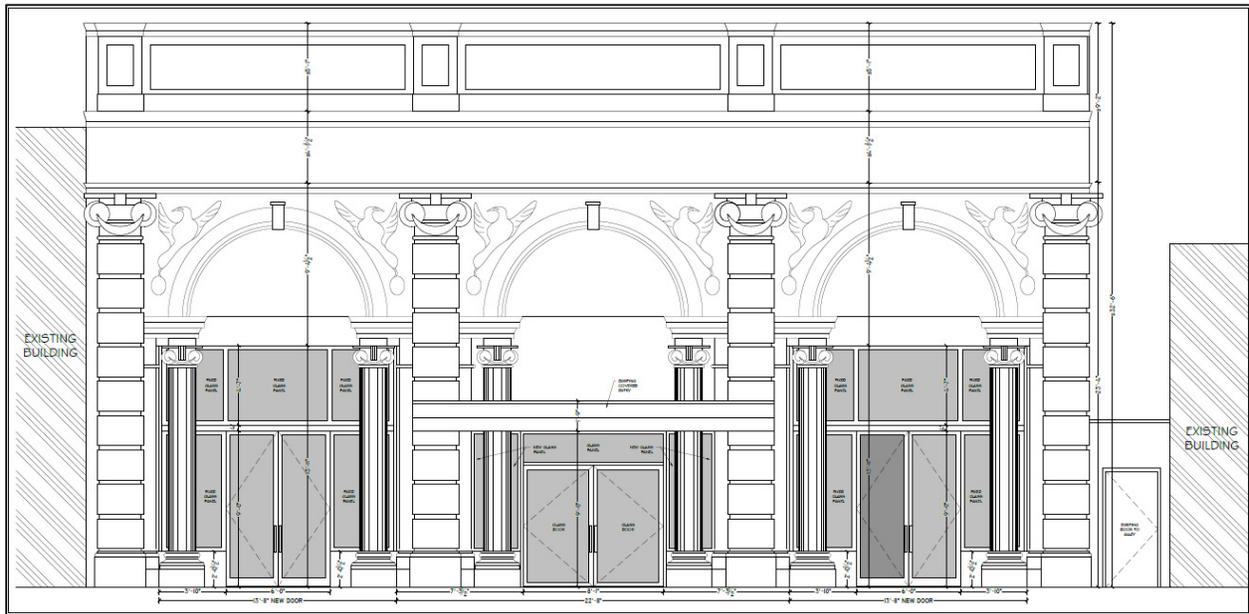


Figure 5: Proposed fenestration from application. New windows darkened.

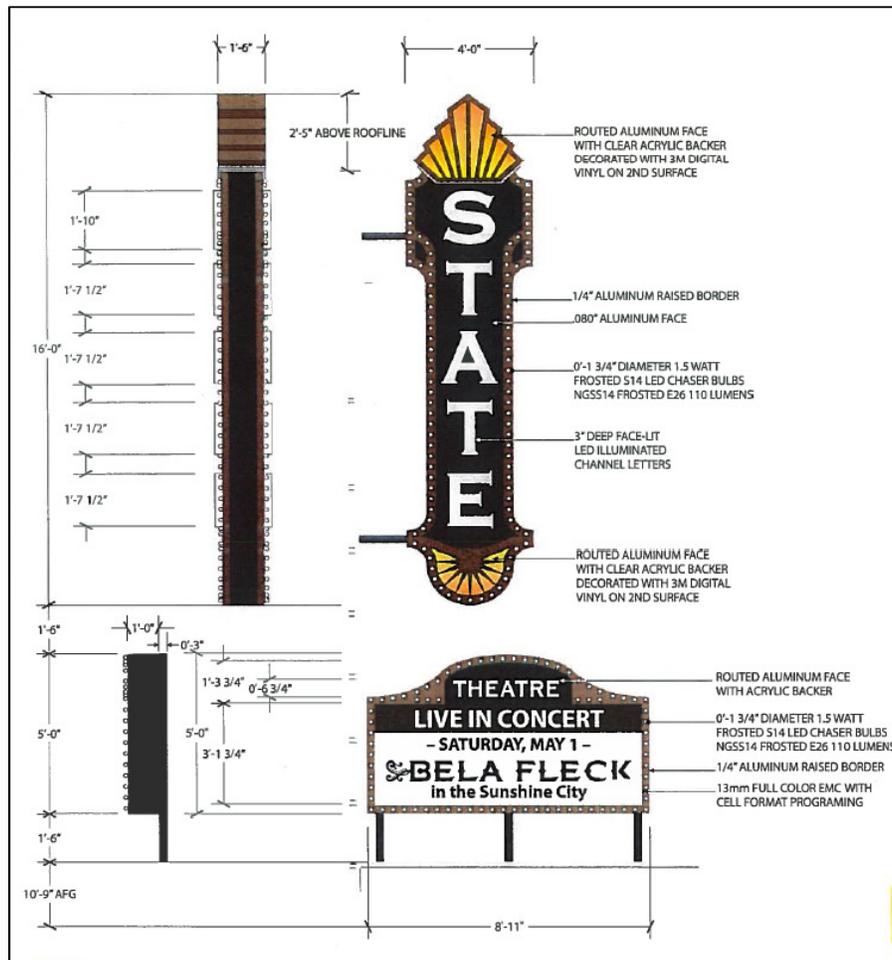


Figure 6: Proposed signage from application

Staff Findings

The criteria used in COA evaluations are listed below. Because of the complexity and heightened significance of this particular property, a discussion of staff findings follows.

General Criteria for Granting Certificates of Appropriateness and Staff Findings

1. *The effect of the proposed work on the landmark or the property upon which such work is to be done.*

With recommendations noted below, the proposed project appears to meet this criterion.

2. *The relationship between such work and other structures on the landmark site or other property in the historic district.*

With a scope of work limited to the south elevation of the subject property's façade, impact is confined. The project meets this criterion.

3. *The extent to which the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture and materials of the local landmark or the property will be affected.*

The project does not appear to successfully meet this criterion as proposed. Recommended Conditions of Approval will address stylistic changes.

4. *Whether the plans may be reasonably carried out by the applicant.*

The applicant appears to be able to complete the project.

5. *A COA for a noncontributing structure in a historic district shall be reviewed to determine whether the proposed work would negatively impact a contributing structure or the historic integrity of the district. Approval of a COA shall include any conditions necessary to mitigate or eliminate negative impacts.*

This criterion is not relevant.

Additional Guidelines for Alterations

1. *A local landmark should be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

The proposed project will restore the building to use as a live music venue. Its original use as a bank has been abandoned for over 70 years, and its continued use as a venue will retain changes that were made in its conversion to a movie theatre – alterations which staff suggests have since gained historic significance in their own right. Therefore, staff finds that the proposed project, with recommended Conditions of Approval, will meet this criterion.

2. *The distinguishing historic qualities or character of a building, structure, or site and its environment shall be preserved. The removal or alteration of any historic material or distinctive architectural features shall be avoided when reasonable.*

The glass blocks and arched marquee proposed for removal were added circa 1990 and are not historically significant. The proposed project, therefore, meets this criterion.

3. *Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings without sufficient documentary evidence, shall not be undertaken.*

The project does not appear to successfully meet this criterion as proposed, primarily because of the stylistic incongruity of the proposed signage. As addressed in the Conditions of Approval, a more streamlined aesthetic is recommended for these elements to recreate the 1950 signage.

4. *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved, as appropriate.*

Part of the propose project appears meet this criterion as proposed. As noted, the 1950 alterations are recommended for consideration by Commissioners as significant and character-defining elements of the subject property. With the recommended Conditions of Approval, the proposed windows will restore the 1950 configuration. Proposed ornamentation on the signage is out of context and a modified shape and style are proposed.

5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

The applicant has shown a great deal of commitment to the restoration and long-term preservation of the subject property's historic masonry. The proposed project appears to meet this criterion.

6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, texture, and other visual qualities and, where reasonable, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

With the recommended Conditions of Approval employed, the proposed project will meet this criterion.

7. *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

Detailed information has not been provided on this aspect of the project, but harsh cleaning is highly discouraged.

8. *Significant archaeological resources affected by a project shall be protected and preserved if designated pursuant to this section. If such resources must be disturbed, mitigation measures shall be undertaken.*

This criterion not relevant.

Additional Guidelines for Window Replacement

1. *Impact resistance. The replacement window and glass shall be impact resistant;*

Proposed windows appear to meet this criterion.

2. *Energy performance. The replacement window shall be Energy Star qualified for southern climate zones;*

The proposed windows do not appear to meet this criterion, though similar versions of the product line are available with insulating glass.

3. *Depth in wall. The replacement window shall be setback into the wall the same distance as the historic window;*

Although specific information on proposed window setback is not included in the application, the proposed windows do appear to follow the historic setback, running behind the façade's columns. Replication of the historic window depth should be a Condition of Approval.

4. *Frame size, shape and exterior trim. The replacement window shall be the same size and shape as the historic window and opening. Historic openings shall not be altered in size. Existing, exterior trim shall be retained, where practicable;*

Historic window units have been removed and evidence as to the details of trim work are limited, but the proposed windows appear to reference those visible following the subject property's 1950 renovation.

5. *Configuration. The replacement window shall have the same light configuration as the historic window. If the historic window configuration cannot be determined, the replacement window configuration shall be appropriate to the architectural style of the subject building;*

As discussed below, a full restoration of the 1924 window configuration does not appear to be feasible if the character-defining 1950 balcony is also preserved. As proposed, and with recommended Conditions of Approval, the windows will replicate the 1950 configuration.

6. *Proportions. The replacement window shall have the same visual qualities of the historic window, where commercially reasonable:*
 - a. *Muntins and mullions. Where provided, muntins and mullions shall have the same dimensions and profile of the historic muntins and mullions.*
 - b. *Stiles. For hung windows, stiles shall align vertically and be the same width at the upper and lower sashes.*
 - c. *Top, meeting and bottom rails, and blind stop. The top, meeting and bottom rails of a hung window, including the corresponding blind stop, shall have the same dimensions and profile of the historic window.*
 - d. *Finish. The finished surface and appearance shall match the historic window, where practicable.*

While not an exact replication, the proposed windows visually approximate the 1950 windows.

Evaluation

Windows

The subject property retains an impressive degree of integrity given the fact that its use has changed twice since its construction 94 years ago, including one drastic change in use from a bank to movie theatre in 1949-1950. The 1950 changes were not found to substantially decrease the subject property's integrity in 1991, when it was designated as a local historic landmark despite both 1950 alterations such as the construction of the broad cantilevered awning above the entrance, and circa 1990 alterations including glass block windows and arched marquee being present and, at the time, considered to have occurred outside of the resource's period of significance. The age of the 1950 alterations has now surpassed the requisite 50-year mark for consideration as significant and character-defining elements of the building's past.

When considered in conjunction with the restoration of the Art Deco-influenced theatre interior, a restoration that reflects the building's midcentury adaptive reuse not only preserves its architectural transformation but provides the opportunity for interpretation of an interesting note in the history of

downtown commercial buildings, especially banks, that occurred between the development booms of the 1920s and the post-World War II era. Beaux Arts banks like the subject property's initial presentation, with their strong references to classicism and association with the establishment are noted to have lost favor in the wake of the Great Depression. As a rapid pace of construction resumed throughout the United States following World War II, bank buildings exhibiting sleek and modern aesthetics – and often ample parking or even drive-up windows – became the preferred visual representation of banking institutions. Meanwhile, remaining prewar commercial buildings along downtown Main Streets such as St. Petersburg's Central Avenue vied to catch patrons' attention with flashy additions such as the subject property's large blade sign and marquee and grand, blue-ceilinged cantilevered awning.

The initial application for this COA initially included a full restoration of the façade windows to replicate their 1924 configuration. However, if a replication of the original "State" sign is approved, the retention of the stucco infill within the round arches is actually a more authentic configuration, as it reflects the postwar changes to the building. This infill appears to have been, and, indeed, remains necessary because of the construction of the interior balcony, which is being restored.

The 1950 windows can be seen in Figure 2 to have rested above low knee walls and feature primary entry doors at the center bay. There are secondary doorways at the first and third bays, where windows extend upward to end in alignment with the tops of the impostes from which the round arches begin their curvature. Staff recommendation is to replicate this historic upper terminus. The proposed doors appear to be taller than those seen in Figure 7, and there are slight changes to the proposed upper light configuration and knee wall heights, but these changes will not significantly impact the overall presentation of the building.

Because of the presence of the marquee in photographs following the 1950 theatre conversion, it is difficult to see whether the space behind the marquee was glazed or infilled with stucco, as proposed. This is a minimally visible location, due to the proposed replication of the "V" shaped marquee, so approval of the central bay as proposed is recommended.



Figure 7: Undated, shortly after 1950 conversion; top of window lined with red

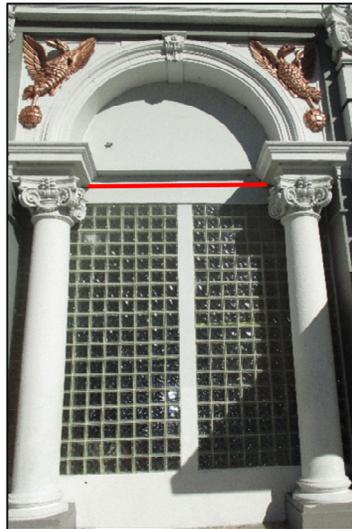


Figure 8: Existing conditions, shadow of ledge created between 1950 infill and circa 1990 glass block windows visible beneath red line

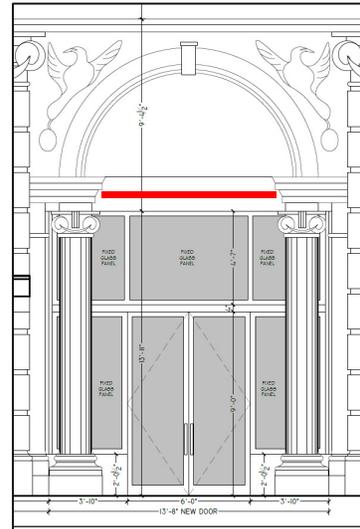


Figure 9: Proposed right bay; recommended upper terminus of glazed opening lined with red

Signage

The proposed signage is stated to be a reconstruction of the 1950 blade sign and marquee. According to City Code Section 16.40.120.3.6 – Signs of Historic Significance,

“A replica sign is permissible when based on sufficient historical documentation of the sign and its location. The sign to be replicated must have been originally installed at least 40 years prior to the date of application. In order to construct a replica sign, the sign being replicated must be a sign of historic significance. A replica sign shall meet the same criteria, reviews and processes as a sign of historic significance. A sign can be replicated only once. Replicas of replicas are not permitted. A replica sign must use historical materials and technologies, or use contemporary materials and technologies that visually match historical ones. Replica signs shall only be allowed on the property on which the sign of historic significance was originally erected and shall not be relocated. Variances to height and area shall not be required, however, the replica sign must meet setback requirements unless a variance is granted by the Commission.”

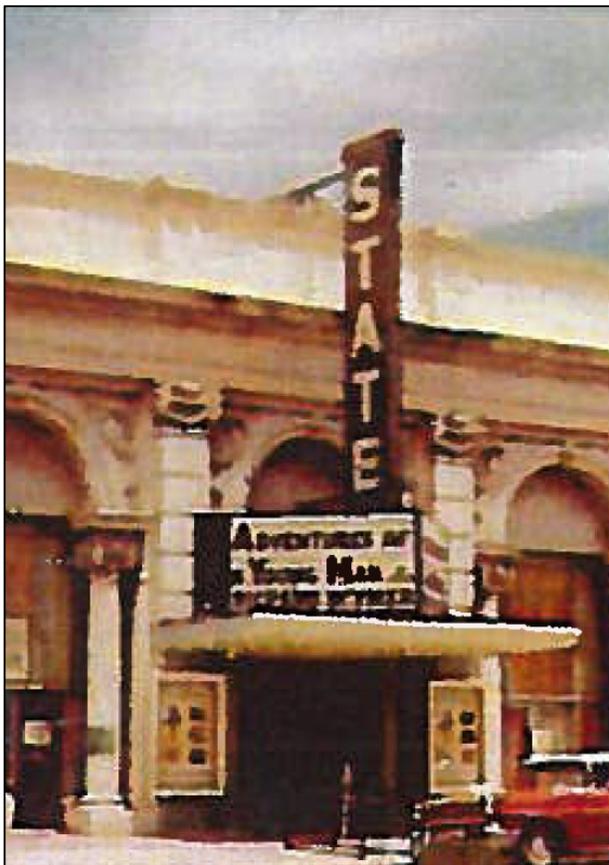


Figure 10: Undated photograph of 1950 blade sign and marquee, from application

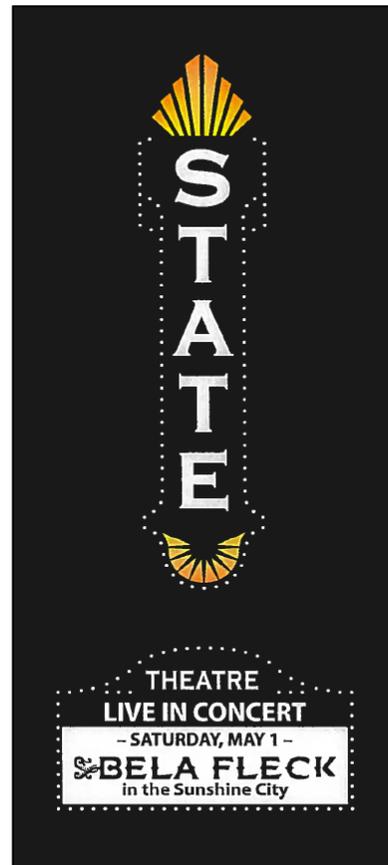


Figure 11: “Night View” of proposed signage, from application

According to Zoning staff, the maximum allowable area of sign face for the 57’9” width of the façade would typically be approximately 102 square feet. The proposed signage will appear to total approximately 153 square feet, based on staff calculations from plans provided. The exact dimensions of the 1950 sign are unknown, but the replication of the sign shown in Figure 10 would allow additional square footage, since the “State” blade and marquee have been identified in St. Petersburg’s Inventory of Signs of Historic Significance. It is suspected that applying the following recommended stylistic changes will sufficiently decrease the sign face area, as well as create signage that more appropriately replicates the historic condition:

- Use straight rectangular shapes at both blade sign and marquees, rather than curved signs;
- Eliminate upper and lower “Sunburst” flourishes;
- Eliminate “chaser bulb” borders of white lights surrounding each sign face;
- Employ more streamlined sans-serif typeface at “State” blade;
- Restrict overall footprint, as shown in Figure 12:
 - Blade shall extend no more than 12 inches above existing roofline;
 - Marquee shall not extend beyond edge of awning.

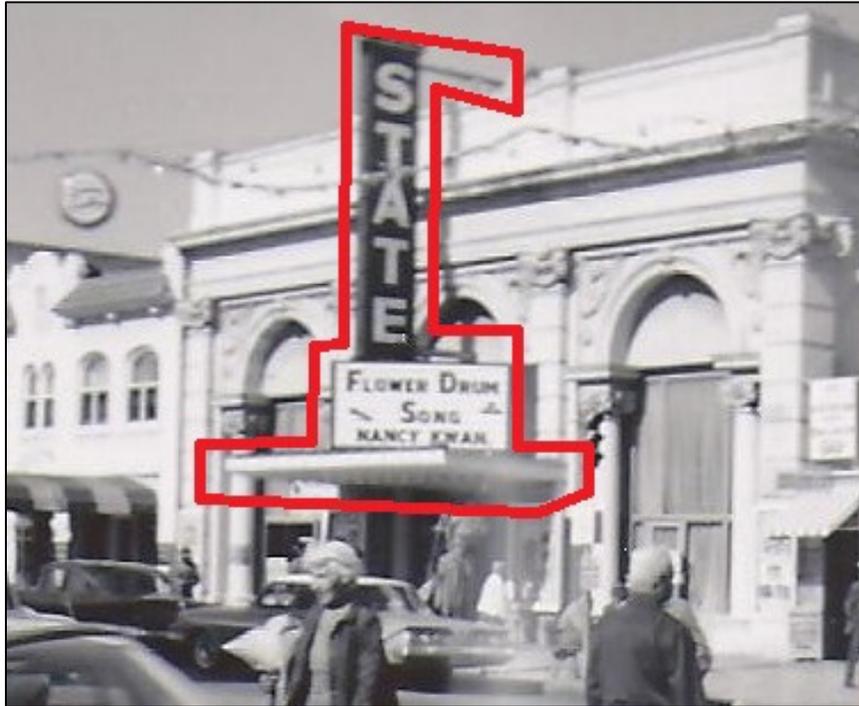


Figure 12: Footprint of 1950 blade, marquee, and awning

The proposed sign also features two faces of Electronic Message Centers (EMCs) at the marquee. Although the installation of EMCs within the boundaries of Local Historic Landmarks is generally not permissible, a COA may be granted for such by the CPPC in the case of performing arts venues such as the subject property. Due to the requirement that replications of signs of historic significance “must use historical materials and technologies, or use contemporary materials and technologies that visually match historical ones,” historic preservation staff does not support the approval of the introduction of EMC technology as part of the approval of the additional sign face square footage allowable for a replica sign

Staff Recommendation

Based on a determination of general consistency with Chapter 16, City Code of Ordinances, staff recommends that the Community Planning and Preservation Commission **approve** the Certificate of Appropriateness request for the alteration of the State Theatre, 687 Central Avenue, with the following conditions:

1. Window openings at first and third bays be extended upward to align with round arches as shown in photographs taken following the subject property’s 1950 renovation;
2. Windows and doors are to be set back in wall plane and run behind columns, as shown historically;

3. Sign to be modified to more accurately reflect a replication of the historic 1950 “State” blade and marquee:
 - a. Use straight rectangular shapes at both blade sign and marquees, rather than curved signs;
 - b. Eliminate upper and lower “Sunburst” flourishes;
 - c. Eliminate “chaser bulb” borders of white lights surrounding each sign face;
 - d. Employ more streamlined sans-serif typeface at “State” blade;
 - e. Restrict overall footprint, as seen historically:
 - i. Blade shall extend no more than 12 inches above existing roofline and make use of existing historic frame where possible;
 - ii. Marquee shall not extend beyond front or side edges of awning;
 - iii. Marquee shall use interchangeable letters, rather than EMCs.
4. All work, especially masonry cleaning and repairs, undertaken in the course of this rehabilitation to employ the gentlest means possible;
5. Any additional work necessary, including the need for exterior work that results from continued interior rehabilitation, to be discussed with staff for possible COA or further Commission review.

References

“State Theatre, City’s Newest Opens Saturday.” *St. Petersburg Times*. April 27, 1950. Accessed online via newspapers.com.

“Your Banking Home.” *St. Petersburg Times*. October 20, 1929. Accessed online via Newspapers.com.

Appendix A:

Application No. 18-90200057



st.petersburg
www.stpete.org

CERTIFICATE OF APPROPRIATENESS

Application No. 18-9020057.

List of Required Submittals

Included in this packet:

- General Information
- COA Approval Matrix
- Application
- Narrative

Only complete applications will be accepted:

- Completed COA application form
- Application fee payment
(See fee schedule in General Information section)
- Site plan or survey of the subject property:
 - To scale on 8.5" x 11" paper
 - North arrow
 - Setbacks of structures to the property lines
 - Dimensions and exact locations of all property lines, structures, parking spaces and landscaping
- Elevation drawings:
 - On 8.5" x 11", 8.5" x 14", or 11" x 17" paper
 - Depicts all sides of existing & proposed structure(s)
- Samples or a detailed brochure for new materials to be used N/A
- Photographs of the subject property and structures in question

The following items are optional, but strongly suggested:

- Floor plans:
 - To scale: on 8.5" x 11", 8.5" x 14", or 11" x 17" paper
 - North arrow
 - Locations of all doorways, windows, and walls (interior & exterior)
 - Dimensions and area of each room

Note: A Historic Preservation Inspection is required as part of the Building Permit process. A final building inspection will not be conducted until the Historic Preservation Inspection is approved or waived by Historic Preservation staff.

Planning and Economic
Development Department

Urban Planning and
Historic Preservation
Division

[http://www.stpete.org/
historic_preservation](http://www.stpete.org/historic_preservation)

City of St. Petersburg
P.O. Box 2842
St. Petersburg, FL 33713
727 / 893.7471

Last Updated: 09/12/2012

Completeness review by city staff: _____



st.petersburg
www.stpete.org

CERTIFICATE OF APPROPRIATENESS

Application No. _____

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Planning and Economic Development Department, located on the 8th floor of the Municipal Services Building, One Fourth Street North, St. Petersburg, Florida.

GENERAL INFORMATION

NAME of APPLICANT (Property Owner):

LANDMARK THEATRE GROUP LLC
600 FIRST AVENUE N, SUITE 303E

Street Address:

City, State, Zip:

ST. PETERSBURG FLORIDA 33701-3609

Telephone No:

KEVIN CHADWICK 813-352-1266

Email Address:

KWCHADWICK@GMAIL.COM

NAME of AGENT or REPRESENTATIVE:

JACK BODZIAK ARCHITECT AIA

Street Address:

2325 ULMERTON ROAD SUITE 21

City, State, Zip:

CLEARWATER FLORIDA 33762

Telephone No:

CELL 727 543 3568 OFFICE 727 327 1961

Email Address:

JACK@JABODZIAK.COM

PROPERTY INFORMATION:

Street Address:

687 CENTRAL AVENUE

Parcel ID or Tract Number:

ST PETERSBURG @ 7TH & CENTRAL

General Location:

PARCEL I.D.

19-31-17-64530-001-0050

Designation Number:

AUTHORIZATION

City staff and the designated Commission will visit the subject property during review of the requested COA. Any code violations on the property that are noted during the inspections will be referred to the city's Codes Compliance Assistance Department.

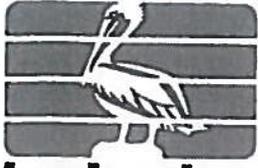
By signing this application, the applicant affirms that all information contained within this application packet has been read and that the information on this application represents an accurate description of the proposed work. The applicant certifies that the project described in this application, as detailed by the plans and specifications enclosed, will be constructed in exact accordance with aforesaid plans and specifications. Further, the applicant agrees to conform to all conditions of approval. It is understood that approval of this application by the Commission in no way constitutes approval of a building permit or other required City permit approvals. Filing an application does not guarantee approval.

- NOTES: 1) It is incumbent upon the applicant to submit correct information. Any misleading, deceptive, incomplete or incorrect information may invalidate your approval.
 2) To accept an agent's signature, a notarized letter of authorization from the property owner must accompany the application.

Signature of Owner / Agent:

Date:

10/19/18



st.petersburg
www.stpete.org

CERTIFICATE OF APPROPRIATENESS

NARRATIVE (PAGE 1 OF 2)

All applications must provide justification for the requested COA based on the criteria set forth in the Historic and Archaeological Preservation Overlay (City Code Section 16.30.070). These criteria are based upon the U.S. Secretary of the Interior's Standards for the Treatment of Historic Properties (available online at www.nps.gov/history/hps/tps/standards_guidelines.htm). Please type or print clearly. Illegible responses will not be accepted. Please use additional sheets of paper if necessary.

GENERAL INFORMATION

Property Address: 687 CENTRAL AVENUE COA Case No: _____

Type of Request

- Alteration of building/structure
- New Construction
- Relocation
- Demolition
- Alteration of archaeological site
- Site Work

Proposed Use

- Single-family residence
- Multi-family residence
- Restaurant
- Hotel/Motel
- Office
- Commercial
- Other

Estimated Cost of Work: \$ 250,000

WRITTEN DESCRIPTION OF PROPOSED WORK

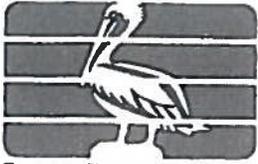
Explain what changes will be made to the following architectural elements and how the changes will be accomplished. Please provide a detailed brochure or samples of new materials.

1. Structural System

NO STRUCTURAL MODIFICATION

2. Roof and Roofing System

NONE



st.petersburg
www.stpete.org

CERTIFICATE OF APPROPRIATENESS

NARRATIVE (PAGE 2 OF 2)

3. Windows

RESTORE CENTRAL AVENUE ARCHED STOREFRONT
TO ORIGINAL STYLE, AND MATERIAL

4. Doors

DOORS AT MAIN ENTRY TO MATCH STOREFRONT RESTORATION
AND WITH ENTRY DOORS AT EAST AND WEST ARCHWAYS
ALL TO MATCH AS CLOSE AS POSSIBLE TO ORIGINAL

5. Exterior siding

NONE

6. Decorative elements

REMOVE KNEE WALLS AT ARCHED STOREFRONT AND
CLEAN UP ALL DECORATIVE ELEMENTS ON FACADE.

7. Porches, Carriage Porch, Patio, Carport, and Steps

NONE

8. Painting and/or Finishes

RE-PAINT FACADE TO REFLECT EXISTING GRAY
AND WHITE FINISHES

9. Outbuildings

NONE

10. Landscaping, Parking, Sidewalk, Garden features

NONE

11. Other

RECONSTRUCT SIGN ABOVE MAIN ENTRY TO
REFLECT ORIGINAL SIGN.



AFFLE



1

Scope of Work

Don Bell Signs to fabricate & deliver:
(1) Internally-illuminated blade sign,
as shown.

Notes(s):

All hardware to be non-corrosive.

Electrical _____ (TBD).

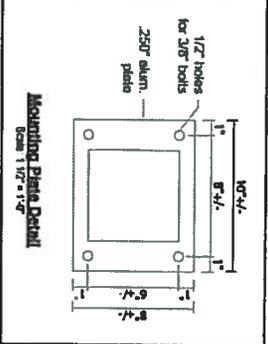
PRIMARY ELECTRIC BY OTHERS.

Note: This drawing is for estimating purposes only. A thorough and complete field survey of existing conditions is required to generate drawings that will provide the level of accuracy needed for production and attachment method.

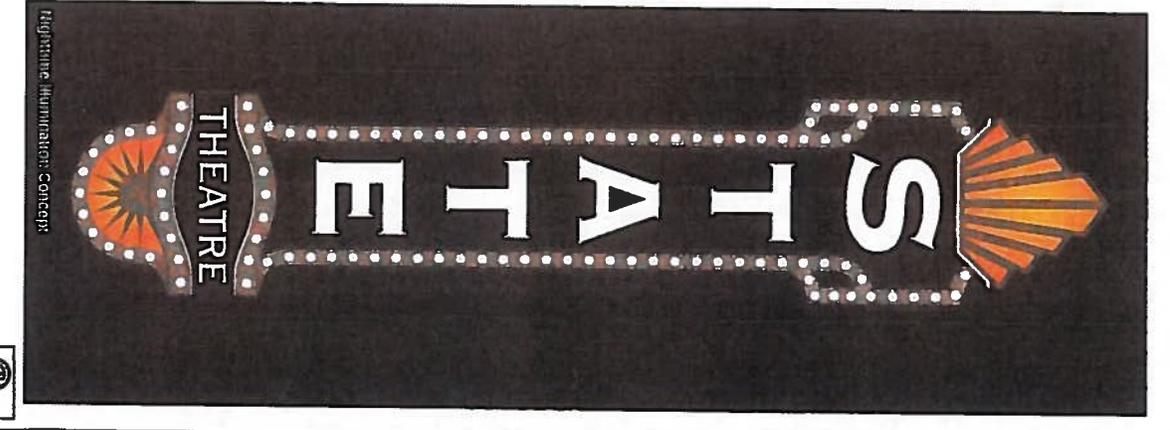
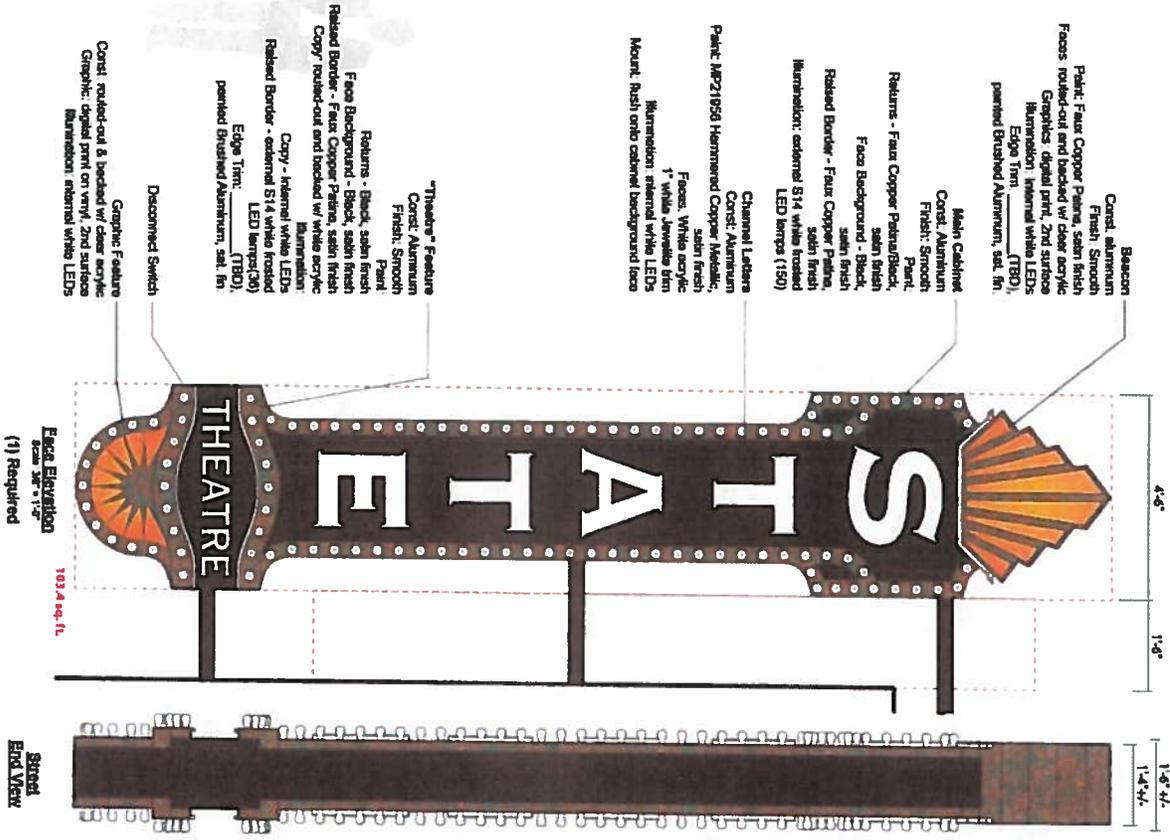
**ALL SIGNS WITH ELECTRICAL COMPONENTS TO BE MAINTAINED PER NEC 600.4 (M).
PRIMARY ELECTRIC BY OTHERS TO BE WITHIN SCOPE OF SIGN PER NEC 600.8 (ACTUAL LOCATION MAY VARY).
SWITCH AMPERE RATING SHALL BE NOT LESS THAN TWICE THE AMPERE RATING AS POWER SUPPLIES OR BALLASTS
(1) ONE 120V-2amp CIRCUIT(S) REQUIRED OR (TBD.)
PRIMARY ELECTRIC BY OTHERS**

Note: Field survey of building facade, canopy including all EXISTING former sign attachment points on facade, top of canopy & roof, to determine exact attachment method.

Note: Field survey required of building facade, canopy including all EXISTING former sign attachment points on facade, top of canopy & roof, to determine exact attachment method.



Font(s): Copperplate Gothic Heavy
Copperplate Gothic Bold



Note: This design pending engineering.



STATE
THEATER

Sheet # 1700174 R4

DATE: 7.20.17

DRAWN BY: M. De Bell

- R1 (8, 14, 18) MD
- R2 (10, 2, 18) MD
- R3 (10, 8, 18) MD
- R4 (10, 28, 18) MD

120 Volt 277 Volt

SHEET 1

State Theater

887 Central Avenue, North
St. Petersburg, FL
Izelle Eynell
As Noted
Adobe Illustrator CS10

PRIMARY ELECTRIC BY OTHERS.

This drawing is for estimating or bidding purposes only. It is not intended to be used for construction or other purposes without the approval of the engineer. The engineer's approval is not intended to be construed as a warranty or guarantee of the accuracy of the information provided herein.



2 3

Scope of Work

Don Bell Signs to fabricate & deliver:
 (1) V-shaped changeable copy marquee sign, as shown.

Note(s):

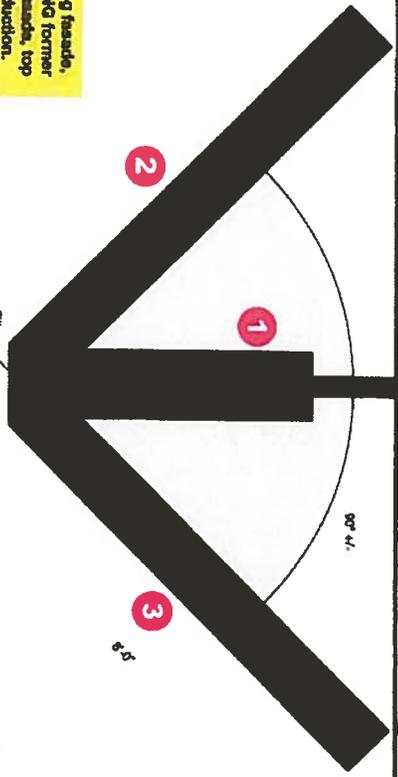
All hardware to be non-corrosive.
 Graphic depictions on electronic message centers are for presentation purposes only.
PRIMARY ELECTRIC BY OTHERS.

Note: This drawing is for estimating purposes only. A thorough and complete field survey of existing conditions is required to generate drawings that will provide the level of accuracy needed for production and attachment method.

ALL SIGNS WITH ELECTRICAL COMPONENTS TO BE RATED PER NEC 900.4(A)
 TO BE IN ACCORDANCE WITH PER NEC 900.6 (ACTUAL LOCATION MAY VARY)
 SWITCH AMPERE RATING SHALL BE NOT LESS THAN TWICE THE AMPERE RATING AS FOLLOWS:
 (1) ONE 120V 20amp CIRCUIT(S) REQUIRED OR (T.B.D.) PRIMARY ELECTRIC BY OTHERS

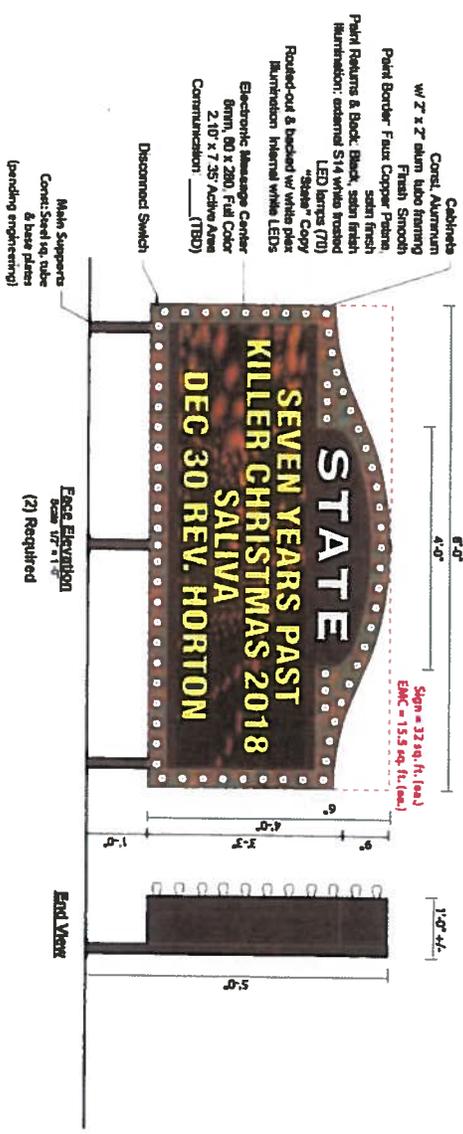
Note: Field survey required of building facade, canopy including all EXISTING former sign attachment points on facade, top of canopy & roof, to determine exact attachment method.

Note: Field survey required of building facade, canopy including all EXISTING former sign attachment points on facade, top of canopy & roof, to determine exact attachment method.



Center Aluminum
 Finish: Smooth
 Paint: Black, sat. fin.
 Filter

Top View



Cabinets
 Core: Aluminum
 Finish: Smooth
 w/ 2" x 2" alum. tube framing

Panel Border: Fake Copper/Pearl, Pearl Returns & Back: Black, satin finish
 Illumination: external STV, white recessed LED strips (70)
 Sign: Copy
 Routed-out & beveled w/ white post
 Illumination: Internal white LEDs
 Electronic Message Center
 from: 80 x 280 Full Color
 2.10" x 7.35" Active Area
 Construction: (TBD)

Disconnect Switch

Main Supports
 Core: Steel sq. tube
 & base plates
 (pending engineering)

Face Elevation
 Scale: 1/8" = 1'-0"
 (2) Required

Elev View

Note: This design pending engineering.

STATE THEATER

Project: 1700 74 R4

DATE: 7.20.17

DESIGNER: M. De Bell

- R1 (8.14.18) MD
- R2 (10.2.18) MD
- R3 10.9.18 MD
- R4 10.29.18 MD

120 Volt 277 Volt

SHEET 2

State Theater

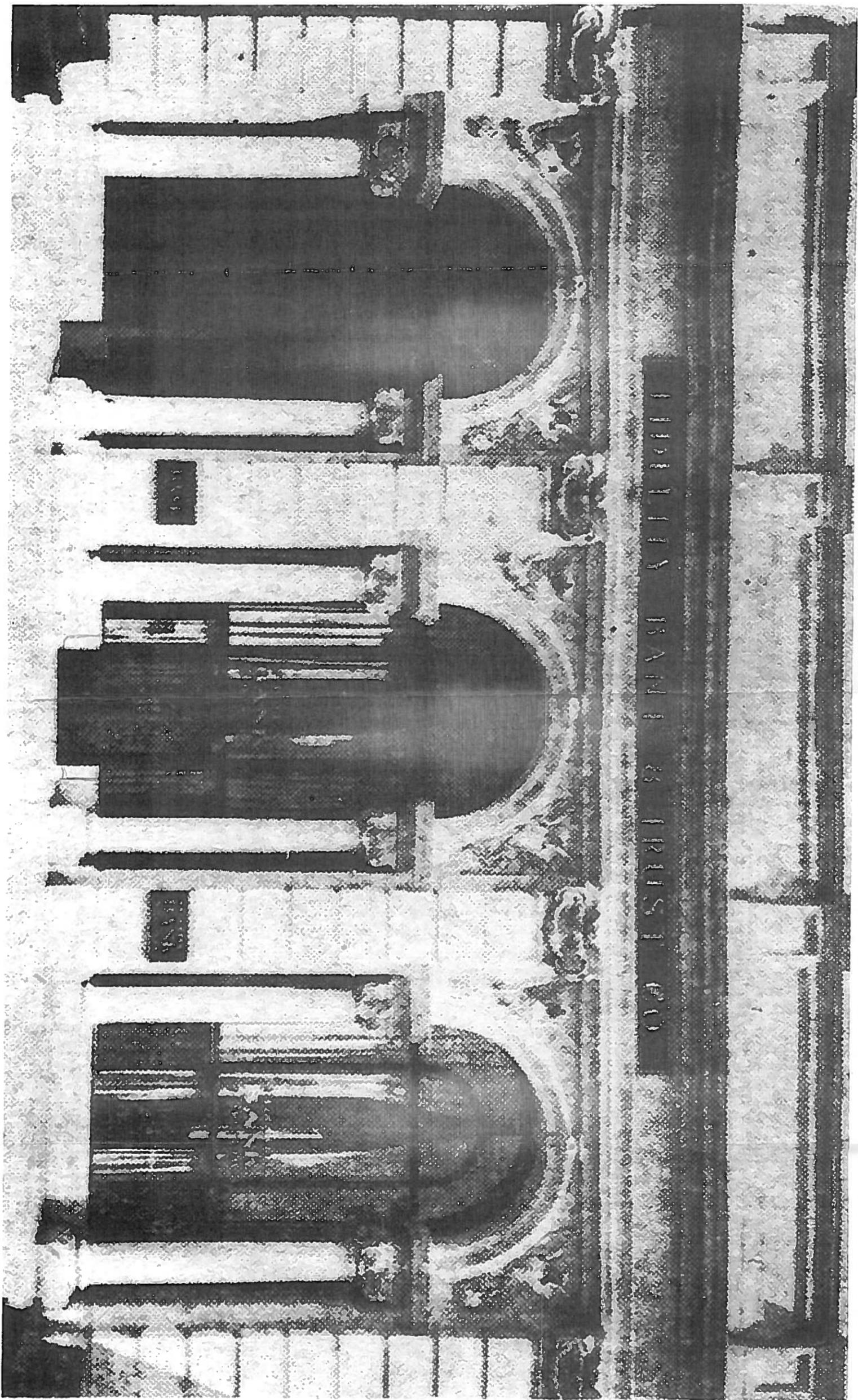
887 Central Avenue, North
 St. Petersburg, FL
 Izzi Ervill
 As Noted

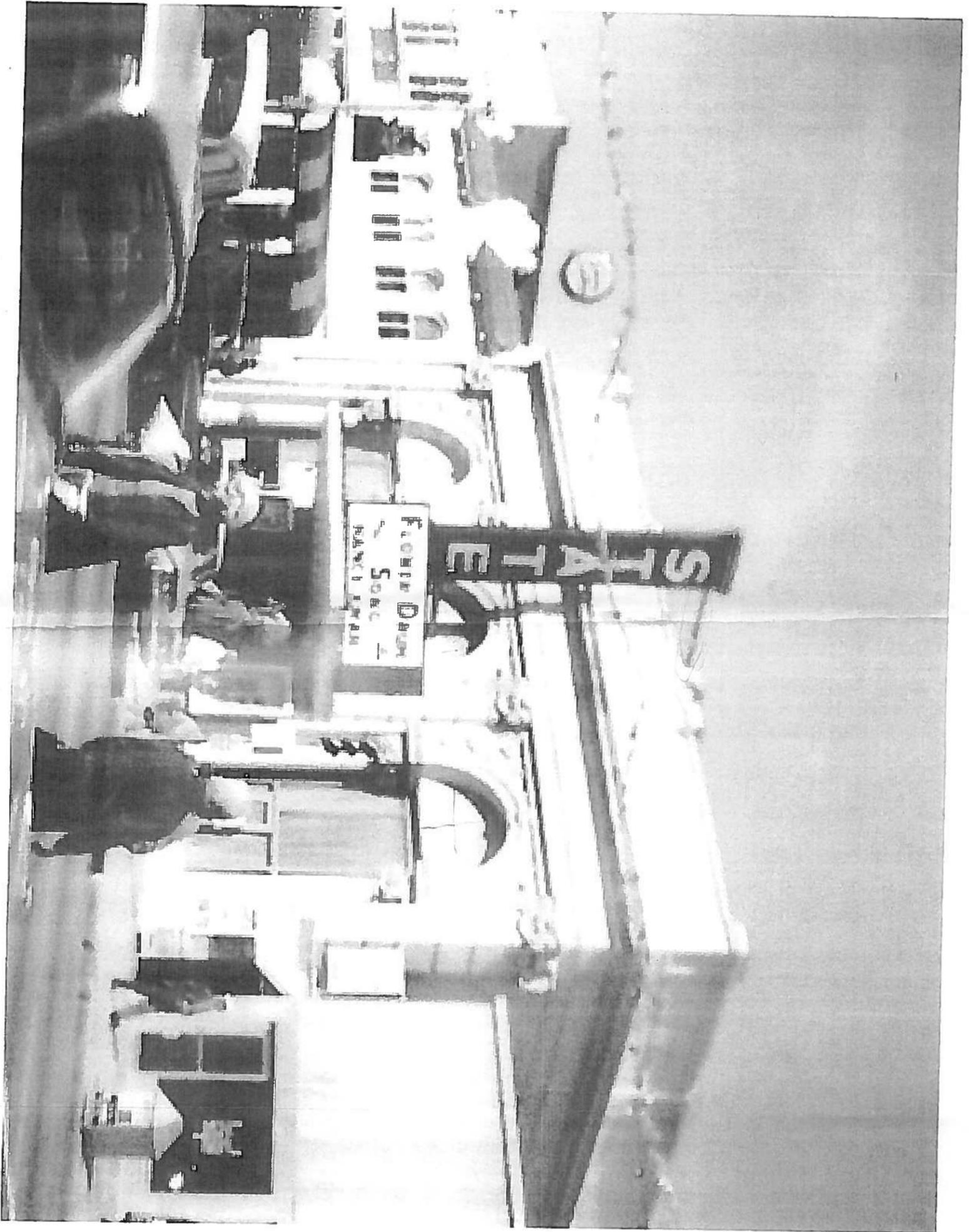
Adobe Illustrator CS10

This designer (owner) represents or warrants that the property is not a hazardous waste site and that the owner has obtained all necessary permits and approvals for the project. The designer (owner) shall be responsible for obtaining all necessary permits and approvals for the project. The designer (owner) shall be responsible for obtaining all necessary permits and approvals for the project.



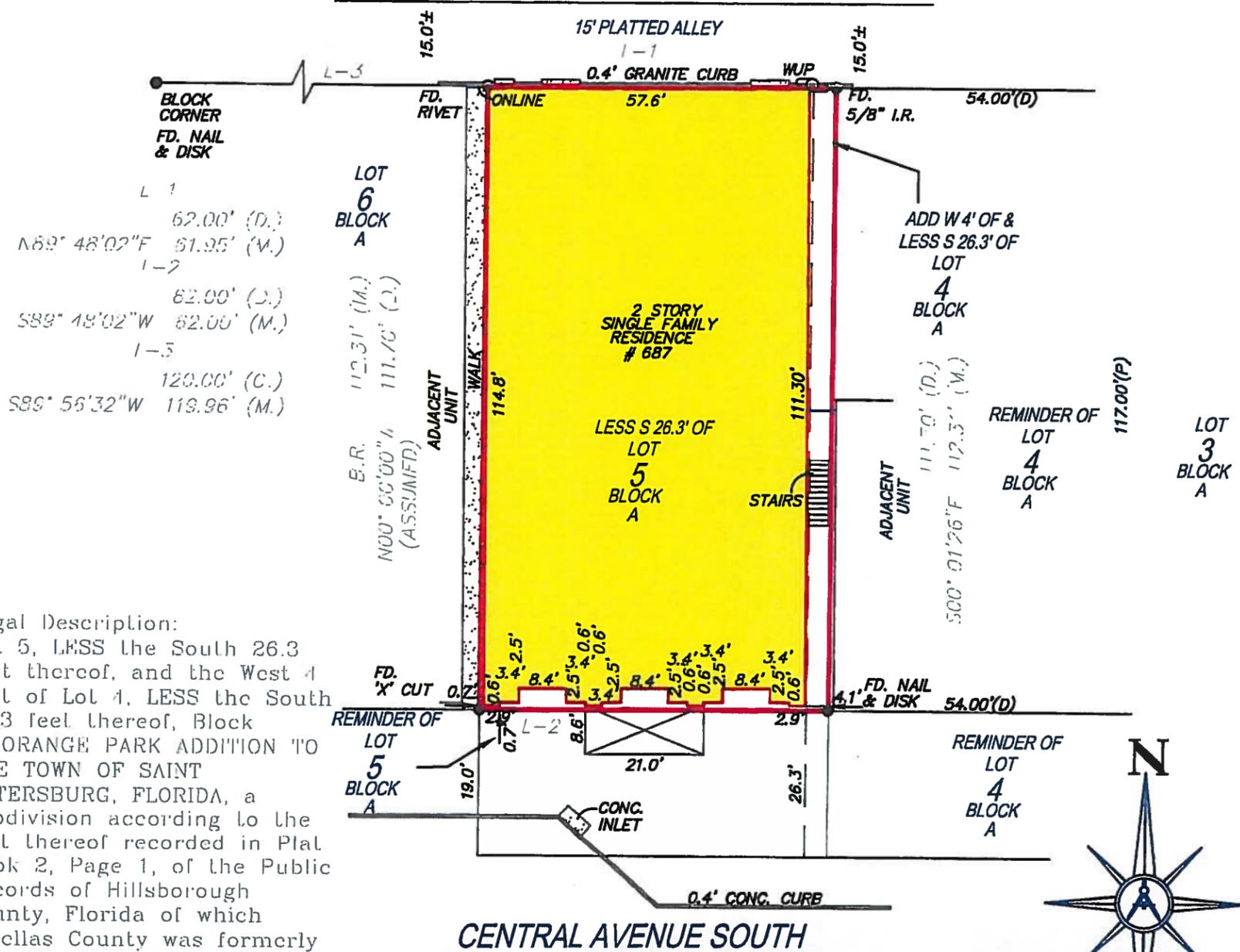
DON BELL





SKETCH OF SURVEY

TYPE OF SURVEY: BOUNDARY



Legal Description:
 Lot 5, LESS the South 26.3 feet thereof, and the West 4 feet of Lot 4, LESS the South 26.3 feet thereof, Block A, ORANGE PARK ADDITION TO THE TOWN OF SAINT PETERSBURG, FLORIDA, a subdivision according to the plat thereof recorded in Plat Book 2, Page 1, of the Public Records of Hillsborough County, Florida of which Pinellas County was formerly a part.

Property Address:
 687 Central Avenue
 ST. Petersburg, Florida 33701

GENERAL NOTES:

- 1) LEGAL DESCRIPTION PROVIDED BY OTHERS.
- 2) UNDERGROUND FEATURES, SUCH AS, IMPROVEMENTS, ENCROACHMENTS, FOUNDATIONS OR UTILITIES, IF EXISTENT, WERE NOT LOCATED AS A PART OF THIS SURVEY.
- 3) BUILDING TIES ARE TO THE FACE OF THE WALL AND ARE NOT TO BE USED TO RECONSTRUCT BOUNDARY LINES. THE DIMENSIONS OF BUILDING(S) AS SHOWN HEREON DO NOT INCLUDE AN EAVE OVERHANG UNLESS NOTED.
- 4) NO IDENTIFICATION FOUND ON PROPERTY CORNERS UNLESS OTHERWISE SHOWN.
- 5) DIMENSIONS SHOWN ARE PLAT AND MEASURED UNLESS OTHERWISE SHOWN.
- 6) BEARINGS SHOWN HEREON ARE REFERENCED TO THE LINE NOTED B.R.
- 7) THE SURVEY DEPICTED HEREON FORMS A CLOSED GEOMETRIC FIGURE.
- 8) THIS SURVEY IS PREPARED FOR THE EXCLUSIVE USE AND BENEFIT OF THE PARTIES LISTED HEREON. LIABILITY TO THIRD PARTIES MAY NOT BE TRANSFERRED OR ASSIGNED.
- 9) THIS DRAWING MAY NOT BE TO SCALE DUE TO ELECTRONIC TRANSFER OR COPY.
- 10) THIS SURVEY DOES NOT REFLECT OR DETERMINE PROPERTY OWNERSHIP. OWNERSHIP OF FENCES, IF ANY, WERE NOT DETERMINED AS A PART OF THIS SURVEY.
- 11) THE SURVEY DEPICTED HEREON IS NOT INTENDED TO SHOW THE LOCATION OR EXISTENCE OF ANY WETLAND OR JURISDICTIONAL AREAS. THERE MAY BE AREAS WITHIN THE BOUNDARIES OF THIS SURVEY THAT MAY BE CONSIDERED JURISDICTIONAL BY VARIOUS AGENCIES.
- 12) THIS SURVEY IS VALID IN ACCORDANCE WITH F.S. 627.7842, FOR A PERIOD OF 90 DAYS FROM THE DATE OF CERTIFICATION.
- 13) THIS SURVEY IS INTENDED FOR MORTGAGE OR REFINANCE PURPOSES ONLY, AND IS EXCLUSIVELY FOR THIS USE BY THOSE TO WHOM IT IS CERTIFIED. THIS SURVEY IS NOT TO BE USED FOR CONSTRUCTION, PERMITTING, DESIGN OR ANY OTHER USE WITHOUT THE WRITTEN CONSENT OF THE ATTESTING SURVEYOR.
- 14) THIS IS NOT AN ALTA/CASM LAND TITLE SURVEY. NO EXAMINATION OF TITLE WAS MADE BY THE SURVEYOR.
- 15) THESE LANDS MAY BE SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS, AND/OR OTHER RECORDED ENCUMBRANCES NOT SHOWN ON THE PLAT.

FLOOD ZONE

(FOR INFORMATIONAL PURPOSES ONLY)

SUBJECT PROPERTY SHOWN HEREON APPEARS TO BE LOCATED IN FLOOD ZONE "X", PER F.I.R.M. COMMUNITY & PANEL NUMBER 125148-0219 G, LAST REVISION DATE 09/03/2003. THIS SURVEYOR MAKES NO GUARANTEES AS TO THE ACCURACY OF THE ABOVE INFORMATION. IT IS SUGGESTED THAT A FLOOD ZONE DETERMINATION BE VERIFIED FROM THE COUNTY IN WHICH THE SUBJECT PROPERTY LIES.

THIS SURVEY SKETCH IS COPYRIGHTED MATERIAL. ©

LEGEND & ABBREVIATIONS

A/C	AIR CONDITIONER	N.	NORTH
B.R.	BEARING REFERENCE	N&D	NAIL & DISC
C.	CALCULATED	N.R.	NON RADIAL
C.M.	CONCRETE MONUMENT	O.H.L.	OVERHEAD LINES
CONC.	CONCRETE	O.R.B.	OFFICIAL RECORDS BOOK
CALC.	CALCULATED	P.	PLAT
CATV	CABLE TELEVISION RISER	P.B.	PLAT BOOK
CB	CHORD BEARING	P.C.	POINT OF CURVATURE
CH	CHORD	P.C.C.	POINT OF COMPOUND CURVATURE
COR.	CORNER	P.C.P.	PERMANENT CONTROL POINT
D	DESCRIPTION OR DEED	PG.	PAGE
D.E.	DRAINAGE EASEMENT	P.I.	POINT OF INTERSECTION
EL.	ELEVATION	P.K.	PARKER-KAYLON NAIL
ELEV.	ELEVATION	P.O.L.	POINT ON LINE
E.	EAST	P.P.	UTILITY POLE
E.O.P.	EDGE OF PAVEMENT	PVC	POLYVINYL CHLORIDE
E.O.W.	EDGE OF WATER	P.O.B.	POINT OF BEGINNING
E.P.U.E.	ELECTRIC POWER UTILITY EASEMENT	P.O.C.	POINT OF COMMENCEMENT
ESMT.	EASEMENT	P.R.C.	POINT OF REVERSE CURVE
F.F.	FINISHED FLOOR	P.R.M.	PERMANENT REFERENCE MONUMENT
FD.	FOUND	P.T.	POINT OF TANGENCY
I.P.	IRON PIPE	R.	RADIUS
I.R.	IRON ROD	RAD.	RADIAL
L	ARC LENGTH	RAD. PT.	RADIUS POINT
M.	FIELD MEASURED	R/W	RIGHT OF WAY
M.E.	MAINTENANCE EASEMENT	S.	SOUTH

GRAPHIC SCALE (In Feet)



SYMBOLS

- CENTERLINE
- CENTRAL ANGLE/Delta
- CONCRETE
- CONC. BLOCK WALL TYPICAL
- COVERED AREA
- EXISTING ELEVATION
- PVC FENCE
- PROPERTY CORNER
- SITE BENCH MARK
- WELL
- WIRE FENCE
- WOOD DECK
- WOOD FENCE

CERTIFIED TO:

Kevin L. Chadwick as Trustee of Kevin L Chadwick Family Trust;
 Tampa Bay Title;
 Old Republic National Title Insurance Company.

NOTE:

IN COMPLIANCE WITH FLORIDA ADMINISTRATIVE CODE 5J-17.052 (2)(d), IF LOCATION OF EASEMENTS OR RIGHT-OF-WAY OF RECORD, OTHER THAN THOSE ON RECORD PLAT IS REQUIRED, THIS INFORMATION MUST BE FURNISHED TO THE SURVEYOR AND MAPPER.

SHEET 1 OF 1

SURVEYOR'S CERTIFICATION

I, THE UNDERSIGNED REGISTERED SURVEYOR, HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED UNDER MY DIRECT SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF IS A TRUE AND ACCURATE PRESENTATION OF THE INFORMATION SHOWN HEREON.

LAST DATE OF FIELD SURVEY: 5-03-2018

SIGNATURE DATE: 5-07-2018

Patrick K. Ireland FOR THE FIRM

PATRICK K. IRELAND, Professional Land Surveyor & Mapper No. 6637, State of Florida

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER AND/OR AN AUTHENTICATED ELECTRONIC SIGNATURE AND ELECTRONIC SEAL.

Section 19, Township 31 South, Range 17 East

Drawn By: J.D.J. Survey Number: 18-1146

4			
3			
2			
1			
NO.	REVISIONS	BY	DATE

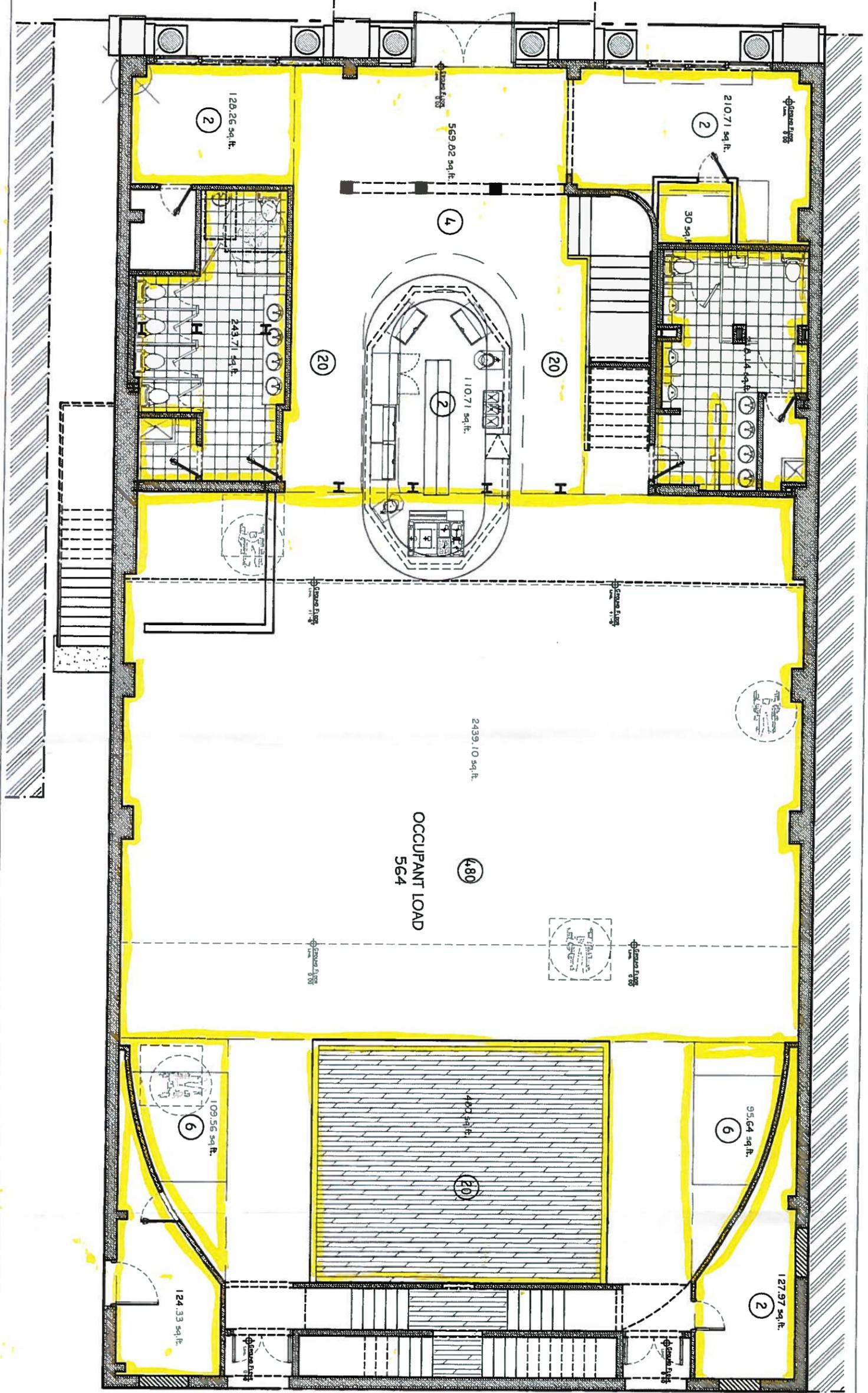
Prepared By
LakeRidge Surveying & Mapping, LLC

1399 LEGENDARY BLVD PHONE 407-385-3151
 CLERMONT, FL 34711 407-385-3152
 CERTIFICATE OF AUTHORIZATION LB7723 FAX 1-866-941-8789

OL-1

1st FLOOR - OCCUPANT LOAD

SCALE: 1/4" = 1'-0"



OCCUPANT LOAD

Occupants First Floor
 Occupants Second Floor
 Total

564
 173
 737



CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS. ALL DIMENSIONS AND CONDITIONS SHALL BE REPORTED TO THE ARCHITECT IN WRITING. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND CONDITIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND CONDITIONS.

PROFESSIONAL SEALMENT, TO THE BEST OF HIS KNOWLEDGE, SKILL AND CARE, THE ENCLINED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE FEDERAL, STATE AND LOCAL CODES AND REGULATIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND CONDITIONS.

JOHN A. BODZIAK
 ARCHITECT AIA, PA
 ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
 FLORIDA REGISTRATION NO. AR0005085
 EMAIL: JACK@JABODZIAK.COM
 2325 LUMBERTON RD., SUITE 21 CLEARWATER, FLORIDA 33702
 TEL: (727) 327-1988 FAX: (727) 828-0988

THE STATE THEATRE
 687 Central Avenue North, St. Petersburg FL 33701
 1st FLOOR PLAN - OCCUPANT LOAD

REVISIONS		
NO.	DATE	DESCRIPTION
1	APR 2018	RESPONSE TO CITY COMMENT

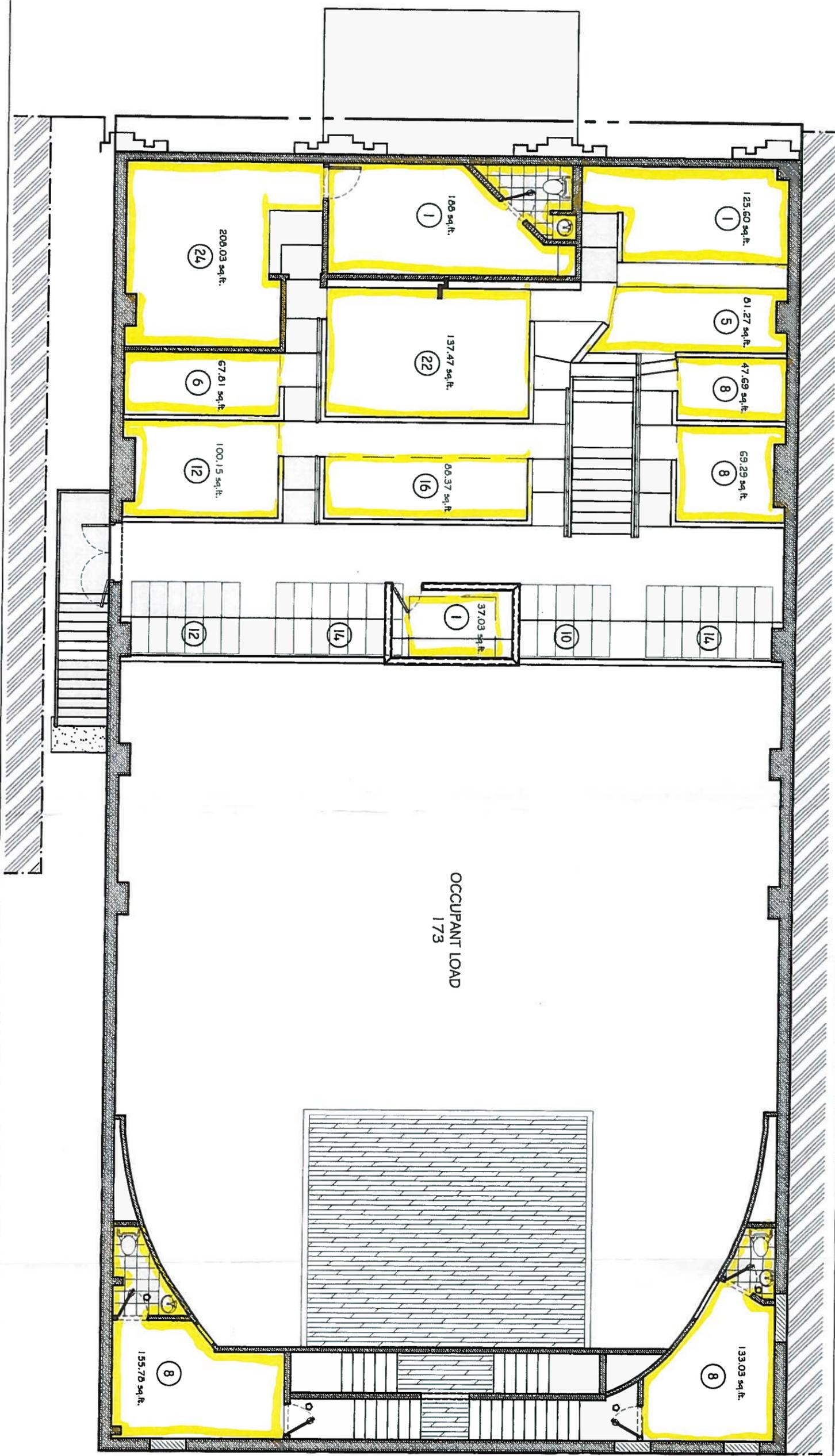
THIS PLAN IS THE PROPERTY OF JOHN A. BODZIAK ARCHITECT AIA, PA. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF JOHN A. BODZIAK ARCHITECT AIA, PA. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS PLAN. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND CONDITIONS.

OL-1

SCALE

CLIENT

01-2
2nd FLOOR - OCCUPANT LOAD
SCALE: 1/4" = 1'-0"

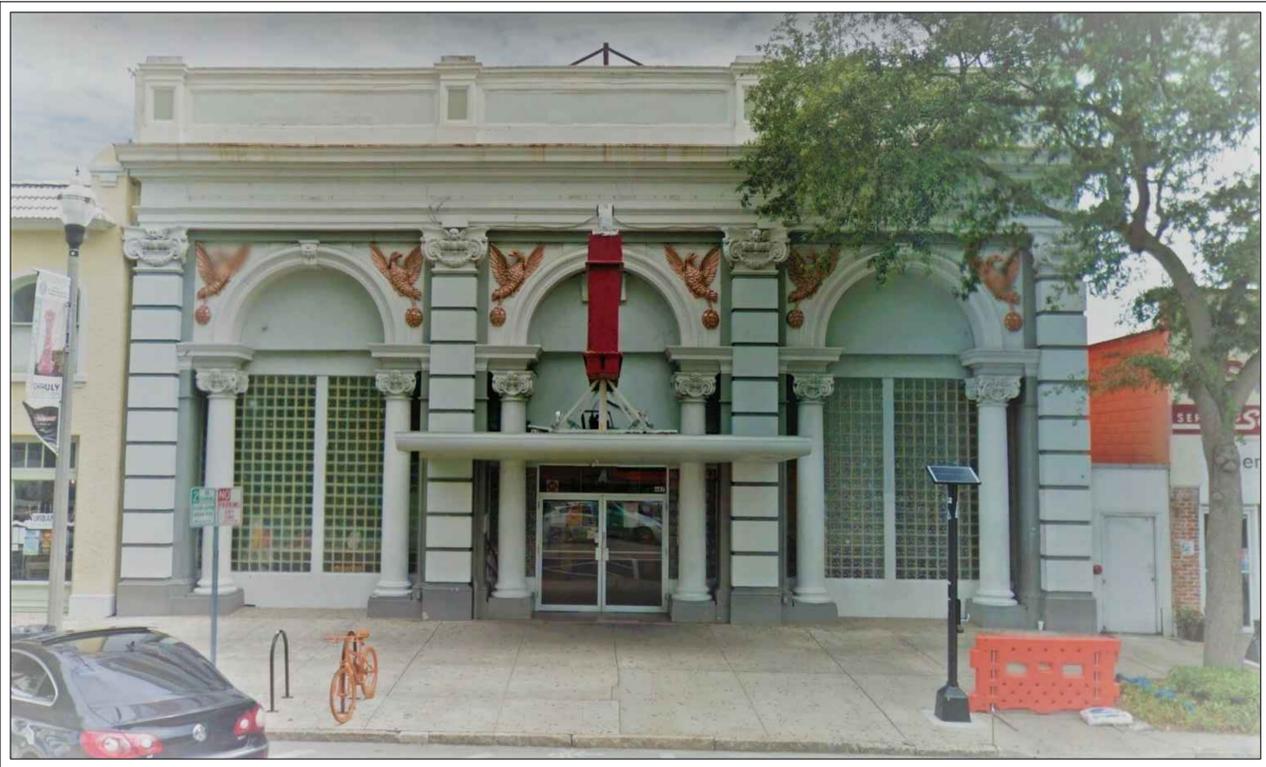


OCCUPANT LOAD	
Occupants First Floor	564
Occupants Second Floor	173
Total	737



JOHN A. BODZIAK ARCHITECT AIA, PA ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT FLORIDA REGISTRATION NO. AR0005006 EMAIL: JACK@JABODZIAK.COM 2325 LUMBERTON RD. SUITE 21 CLEARWATER, FLORIDA 33762 TEL: (727) 327-1906 FAX: (727) 828-0888	THE STATE THEATRE 687 Central Avenue North, St. Petersburg FL 33701 2nd FLOOR PLAN - OCCUPANT LOAD	CLIENT	NO. DATE DESCRIPTION ▲ APR 2018 RESPONSE TO CITY COMMENT	<small> JOHN A. BODZIAK IS A REGISTERED ARCHITECT IN THE STATE OF FLORIDA. HE IS NOT PROVIDING ARCHITECTURAL SERVICES IN ANY OTHER STATE. THIS PLAN IS THE PROPERTY OF JOHN A. BODZIAK ARCHITECT AIA, PA. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS PLAN WITHOUT THE WRITTEN CONSENT OF JOHN A. BODZIAK ARCHITECT AIA, PA. IS STRICTLY PROHIBITED. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS PLAN. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE PLANS. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS. THE ARCHITECT'S SERVICES ARE LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE PLANS. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS. THE ARCHITECT'S SERVICES ARE LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE PLANS. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS. </small>
			DATE: AUG - 2016 SCALE: AS SHOWN SHEET: 01-2	

PROPOSED PROJECT FOR:
THE STATE THEATRE
 687 Central Avenue North
 St. Petersburg, Florida 33701



SCOPE OF WORK:
 Renovations to Historically significant State Theatre, located at 687 Central Avenue, are expansion of the first floor viewing area, upgrades to Interior Bar, expansion of Existing Bathroom capacities, Renovation of Existing Back of House Green Rooms, relocation of the sound and light booth and Upgrade of Existing Rear alley and front exiting upgrades.
 We are also upgrading the green rooms and providing compliant egress.

BUILDING CODE SUMMARY - COMMERCIAL PROJECTS:

STRUCTURAL DESIGN CRITERIA

FLORIDA BUILDING CODE:	SQ. FT. BREAKDOWN
FLORIDA ACCESSIBILITY CODE 6th EDITION (2017)	FIRST FLOOR AREA (EXISTING) 5,860 SQ. FT.
THE PROPOSED ELECTRICAL, MECHANICAL, AND PLUMBING IS DESIGNED AND TO BE INSTALLED IN ACCORDANCE WITH PLANS AND COMPLY TO:	SECOND FLOOR AREA (EXISTING) 2,796 SQ. FT.
FBC 6th EDITION (2017)	TOTAL BUILDING A/C AREA 8,656 SQ. FT.
FBC - PLUMBING 6th EDITION (2017)	
FBC 6th EDITION (2017)	FLORIDA APPROVAL CODES
NFPA 2015- NEC 2014	STORE FRONT DOORS FL # 15256.1
FLORIDA FIRE PREVENTION CODE 6th EDITION (2017)	EMERGENCY EXIT DOORS (1st & 2nd FLOOR) FL # 14218-R10
CONSTRUCTION TYPE: 5-B	
OCCUPANCY: ASSEMBLY A-2	
NUMBER OF FLOORS: TWO	
BUILDING SPRINKLER: YES	
ALTERATION LEVEL: LEVEL 2	
FLOOR LIVE LOAD ASSEMBLY AREAS: 100 PSF	
FLOOR LIVE LOAD NON-ASSEMBLY AREAS: 40 PSF	
ROOF LIVE LOAD: N/A	
BLDG RISK CATEGORY: II	
COMPONENT AND CLADDING	
WIND SPEED: 145 MPH	
WIND EXPOSURE CATEGORY: B	
DESIGN PRESSURE: -52.2 PSF	
WIND IMPORTANCE FACTOR: 1.0	
BUILDING RISK CATEGORY: 2	
APPLICABLE INTERNAL PRESSURE COEFFICIENT: +/- 0.18	
SOIL BEARING PRESSURE IF REQ. 90	-2.500 psf

LOCATION OF PROJECT



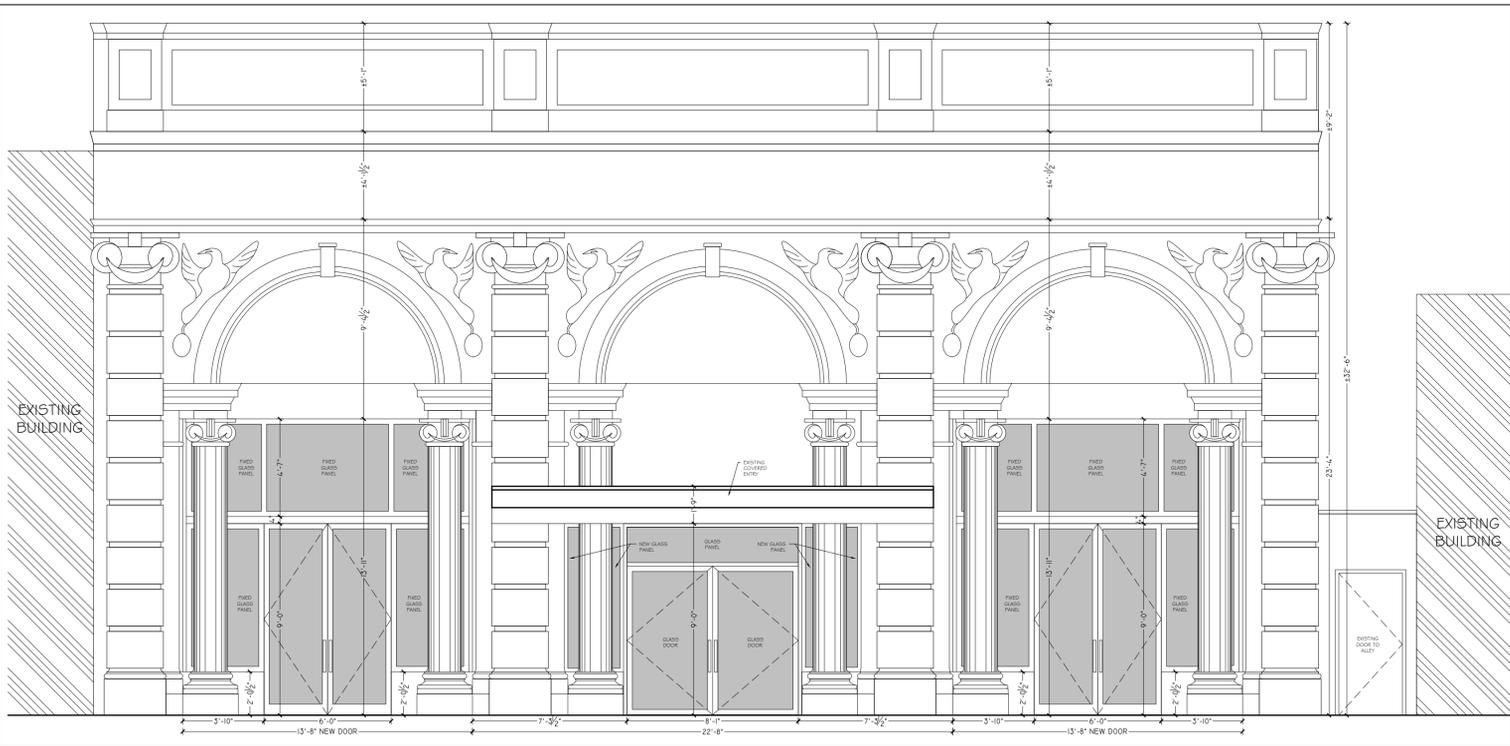
Location map (NTS)



Vicinity map (NTS)

INDEX OF DRAWINGS

CO	COVER
SUR	SURVEY
D-1.0	1st FLOOR - DEMOLITION PLAN
D-2.0	2nd FLOOR - DEMOLITION PLAN
A-1.0	PROPOSED 1st ARCHITECTURAL FLOOR PLAN
A-1.1	1st FLOOR WALL FRAMING PLAN
A-2.0	PROPOSED 2nd ARCHITECTURAL FLOOR PLAN
A-2.1	2nd FLOOR WALL FRAMING PLAN
A-2.1.1	ARCHITECTURAL DETAILS
A-2.1.2	ARCHITECTURAL DETAILS
A-2.1.3	ARCHITECTURAL DETAILS
A-3.0	BAR DETAILS
A-3.1	BAR DETAILS
P-1.0	1st & 2nd FLOOR - SANITARY PLUMBING PLAN
P-2.0	1st & 2nd FLOOR - POT. WATER PLUMBING PLAN
P-3.0	SANITARY RISER PLAN
E-1.0	1st FLOOR - ELECTRICAL PLAN
E-2.0	2nd FLOOR - ELECTRICAL PLAN
E-3.0	ELECTRICAL RISER DIAGRAM
LS-1.0	1st Floor - EXISTING LIFE SYSTEM PLAN
LS-1.1	1st Floor - PROPOSED LIFE SYSTEM PLAN
LS-2.0	2nd Floor - EXISTING LIFE SAFETY PLAN
LS-2.1	2nd Floor - PROPOSED LIFE SAFETY PLAN
FA-1.01	FIRE ALARM PLAN
FA-1.02	FIRE ALARM PLAN
1 OF 2	FIRE SPRINKLER PLAN
2 OF 2	FIRE SPRINKLER PLAN
OL-1.0	1st FLOOR - OCCUPANT LOAD
OL-2.0	2nd FLOOR - OCCUPANT LOAD



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

JOHN A. BODZIAK

AIA, ARCHITECT, PA
 ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
 FLORIDA REGISTRATION NO. AFO005065
 2325 ULMERTON ROAD, SUITE 21
 CLEARWATER, FLORIDA 33762
 TEL: (727) 327-1966 FAX: (727) 826-0968
 EMAIL: JACK@JABODZIAK.COM

ABBREVIATIONS:

A.F.C.	ABOVE FINISH CEILING	H.M.	HOLLOW METAL
A.F.F.	ABOVE FINISH FLOOR	IMAG.	IMAGE
A.C.T.	ACOUSTICAL CEILING TILE	INSUL.	INSULATION
ALUM.	ALUMINUM	JT.	JOINT
BLK.	BLOCK	K.O.	KNOCK OUT
BOTT.	BOTTOM	LK.	LOCK
BTM.	BOTTOM	MANUF.	MANUFACTURER
BLDG.	BUILDING	M.C.	MEDICAL CLOSET
CLG.	CEILING	M.C.J.	MASONRY CONTROL JOINT
C.	CARPET	M.O.	MASONRY OPENING
C.T.	CERAMIC TILE	MAX.	MAXIMUM
C.B.	CHALK BOARD	MECH.	MECHANICAL
COL.	COLUMN	MTL.	METAL
CONC.	CONCRETE	M.L.	METAL LATH
C.J.	CONTROL JOINT	MIN.	MINIMUM
C.M.U.	CONCRETE MASONRY UNIT	MIRR.	MIRROR
DN.	DOWN	N.	NORTH
D.S.	DOWN SPOUT	N.I.C.	NOT IN CONTRACT
D.F.	DRINKING FOUNTAIN	N.T.S.	NOT TO SCALE
ELAST.	ELASTOMERIC	NO.	NUMBER
ELEV.	ELEVATION	ON C.	ON CENTER
EQ.	EQUAL	PT.	PAINT
EXIST.	EXISTING	PLAST.	PLASTER
EXP.	EXPANSION	P.T.	PRESSURE TREATED
E.I.	EXPANSION JOINT	Q.T.	QUARRY TILE
EXSTG.	EXISTING	REFIN.	REFINISHING
E.I.F.S.	EXTERIOR INSULATION & FINISH SYSTEM	REQD.	REQUIRED
FIN.	FINISH	R.D.	ROOF DRAIN
F.E.	FIRE EXTINGUISHER	RFG.	ROOFING
FL.	FLOOR	R.M.	ROOM
FLR.	FLOOR	R.T.	RUBBER TILE
FTG.	FOOTING	SPECS.	SPECIFICATIONS
FT.	FOOT OR FEET	STL.	STEEL
FDN.	FOUNDATION	T.B.	TACK BOARD
GALV.	GALVANIZED	TYP.	TYPICAL
GA.	GAUGE	U.N.O.	UNLESS NOTED OTHERWISE
G.W.B.	GYP-SUM WALL BOARD	VERT.	VERTICAL
HDW.	HARDWARE	V.C.T.	VINYL COMPOSITION TILE
HGT.	HEIGHT	WGT.	WEIGHT
		W.C.	WATER CLOSET
		WDW.	WINDOW
		W/	WITH
		WD.	WOOD

REVISIONS

NO.	DATE	DESCRIPTION
1	NOV 12/18	BAR & BACKSTAGE ADJUSTMENT
2	NOV 26/18	BATHROOM ADJUSTMENT
3	NOV 28/18	BACKSTAGE ADJUSTMENT
4	DEC 9/18	BACKSTAGE & CITY COMMENTS ADJUSTMENT

PROFESSIONAL SEAL AND SIGNATURE OF ARCHITECT REQUIRED FOR PERMITTING AND RECORDING. THE ARCHITECT'S SEAL AND SIGNATURE ARE REQUIRED FOR THE CONTRACT DOCUMENTS AND FOR THE RECORDING OF THE CONTRACT DOCUMENTS.

THE STATE THEATRE
 687 Central Avenue North, St. Petersburg FL 33701
 COVER PAGE

JOHN A. BODZIAK
 ARCHITECT AIA, PA
 ARCHITECTURE, DESIGN, AND CONSTRUCTION MANAGEMENT
 2325 ULMERTON ROAD, SUITE 21, CLEARWATER, FLORIDA 33762
 TEL: (727) 327-1966 FAX: (727) 826-0968
 EMAIL: JACK@JABODZIAK.COM

DRAWN CS
 UPDATED ON Feb. 12, 19
 DATE AUG - 2018
 LAB PROJECT # 2018-024
 SHEET CO-1

Laura Duvekot

From: John Bodziak <jack@jabodziak.com>
Sent: Thursday, February 14, 2019 4:48 PM
To: Laura Duvekot
Cc: kwchadwick (kwchadwick@gmail.com); Alexis Kaloostian; Matthew Heule
Subject: FW: State Theatre Balcony Iron & Storefront
Attachments: 2018_024_00_CO_Cover Page-CO-1.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

Laura,

As the Architect-of-Record on the State Theatre , I have worked with the Owner and Contractor in an effort to restore the Glass Store Front to as close to its original configuration, as is practically possible. In an effort to make it as Historically Correct as possible, Kevin Chadwick, Boyd Construction and my Staff have put in considerable time attempting to recreate the original Glass Front Façade. Unfortunately we now realize the arched tops of the window Store Fronts are no longer Glass and are replaced with Stucco Panels for a reason.

As you know, the Building was originally a Bank. In the early 60's it was converted to a Movie Theatre and a Mezzanine/Balcony was installed, the elements of which, were and are, an 18" thick Concrete Stepped Seating Area that is supported by a very heavy Steel Post & Beam Framework. That Structural Framework runs from the First Floor/Ground Floor to the underside of the Mezzanine and terminates only 2-4 inches from the back surface of the arched Stucco Panel. The Steel Concrete Structure would prohibit the Store Front to be continuous from the Sidewalk Entries to the Crown of the Arch.

Also, if we were to work out a way to install Glass in that Archway, it would present a very unattractive view of the underside of the Concrete and Steel Structure as well as, other Framework Supporting Members.

In order to simply install the new Store Front up to the bottom of the Arch or make any Store Front Installation, we would be required to place an additional Steel Horizontal Support Beam creating an Anchor for the Store Front below that will provide sufficient Wind Load Resistance and conform to the current Florida Building Code.

Also, when we bring the Side Panels behind the Existing Exterior Concrete Columns, it would be wise to leave the Knee Wall , avoiding the creation of a Trash Receptacle that can be seen from behind.

I believe the Store Front Restoration in the attached Drawing is the smartest and soundest Solution that will bring us as close as possible to the Original Façade. If you wish to visit the Site and climb into the area at the top of the Arch, I will arrange it, however, I have attached photographs that fairly clearly represent the current conditions with the Concrete and the Red Iron.

We would appreciate your consideration of this request at your earliest convenience, as we are attempting to diligently maintain a reasonable Time Table.

Please feel free to contact me or Kevin Chadwick to set up a meeting or a visit to the Site.

Thank you,
Jack A. Bodziak, AIA, PA

JOHN A. BODZIAK, ARCHITECT, AIA, PA
2325 Ulmerton Road Suite #21
Clearwater, Florida 33762
O: 727.327.1966
C: 727.543.3568

From: Kevin Chadwick <kwchadwick@icloud.com>
Sent: Thursday, February 14, 2019 2:36 PM
To: John Bodziak <jack@jabodziak.com>
Subject: State Theatre Balcony Iron









Sent from my iPhone

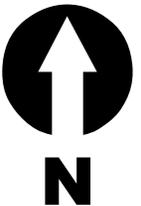


Community Planning and Preservation Commission

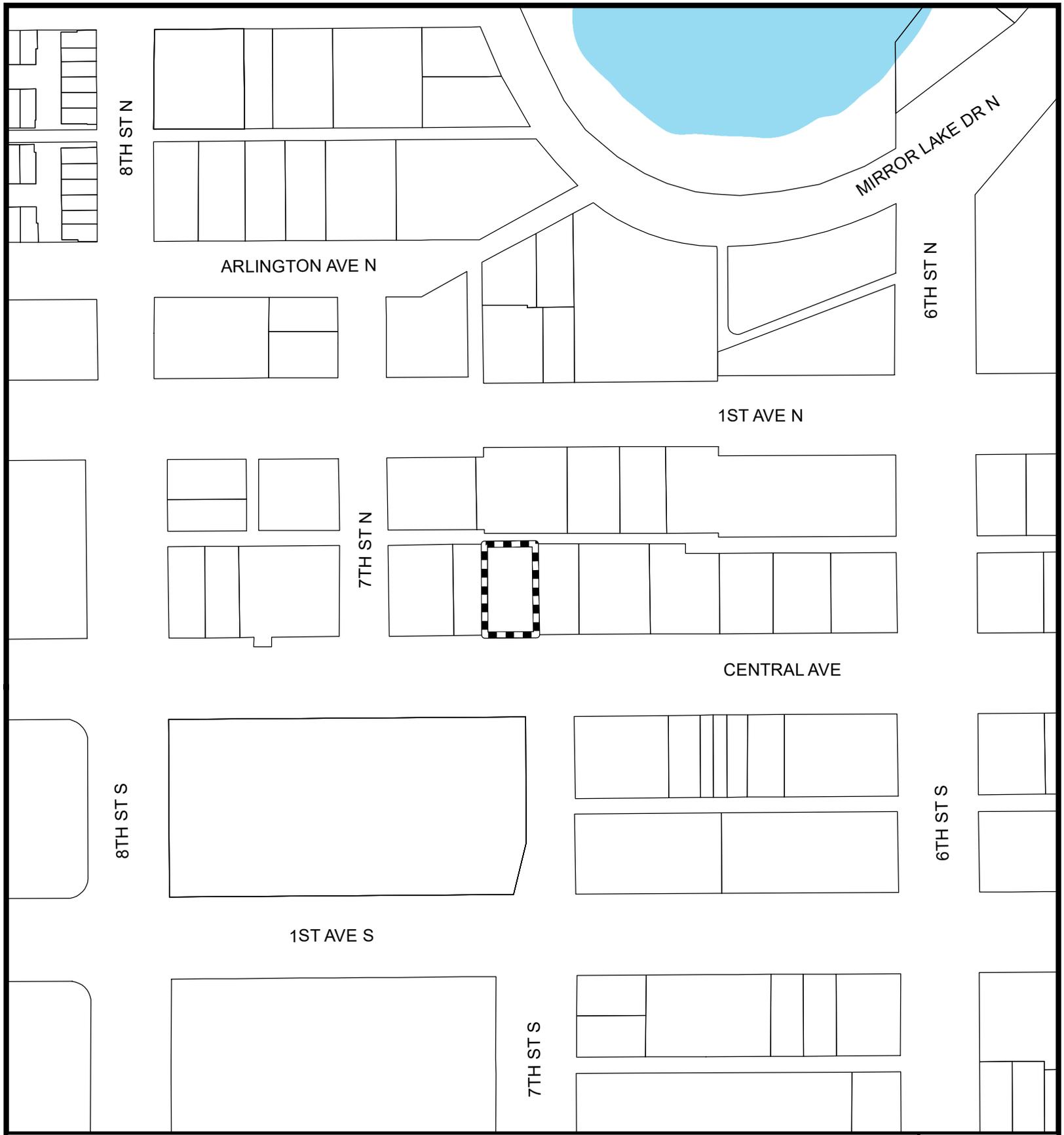
687 Central Avenue

**AREA TO BE APPROVED,
SHOWN IN** 

**CASE NUMBER
18-90200057**



**SCALE:
1" = 175'**



Community Planning and Preservation Commission

687 Central Avenue

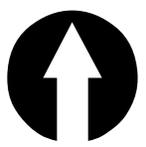
AREA TO BE APPROVED,

SHOWN IN



CASE NUMBER

18-90200057



N

SCALE:
1" = 175'

Appendix B:

Maps of Subject Property