



CITY OF ST. PETERSBURG, FLORIDA  
PLANNING AND DEVELOPMENT SERVICES DEPARTMENT  
URBAN PLANNING AND HISTORIC PRESERVATION DIVISION

---

## STAFF REPORT

### Community Planning and Preservation Commission Certificate of Appropriateness Request

Report to the Community Planning and Preservation Commission from the Urban Planning and Historic Preservation Division, Planning and Development Services Department, for Public Hearing and Executive Action **on Tuesday, August 11, 2020 at 2:00 p.m.**, by means of communications media technology pursuant to Executive Order 20-69 issued by the Governor on March 20, 2020, and Executive Order 2020-12 issued by the Mayor on April 9, 2020. Everyone is encouraged to view the meetings on TV or online at [www.stpete.org/meetings](http://www.stpete.org/meetings).

According to Planning and Development Services Department records, no member of the Community Planning and Preservation Commission resides or has a place of business within 2,000 feet of the subject property. All other possible conflicts should be declared upon the announcement of the item.



AGENDA ITEM:

CITY FILE NO.: 20-90200053

REQUEST:

Review of a Certificate of Appropriateness for the construction of a residential addition at 2662 4<sup>th</sup> Ave N, a property proposed for inclusion as a contributing property to a local historic district currently pending public hearing.

PROPOSED SCOPE OF EXTERIOR WORK:

Addition to rear of residence, to include 150 square feet of new living space and 307 square feet of new covered patio space.

OWNERS:

Ribner, Lewis S & Michelle-Neumann 1998 Rev Trust  
Ribner, Lewis S Tre

Ribner, Michelle-Neumann Tre

APPLICANT: Simmons, Wydel for Renovations INC FL

PARCEL ID NO.: 23-31-16-35082-008-0080

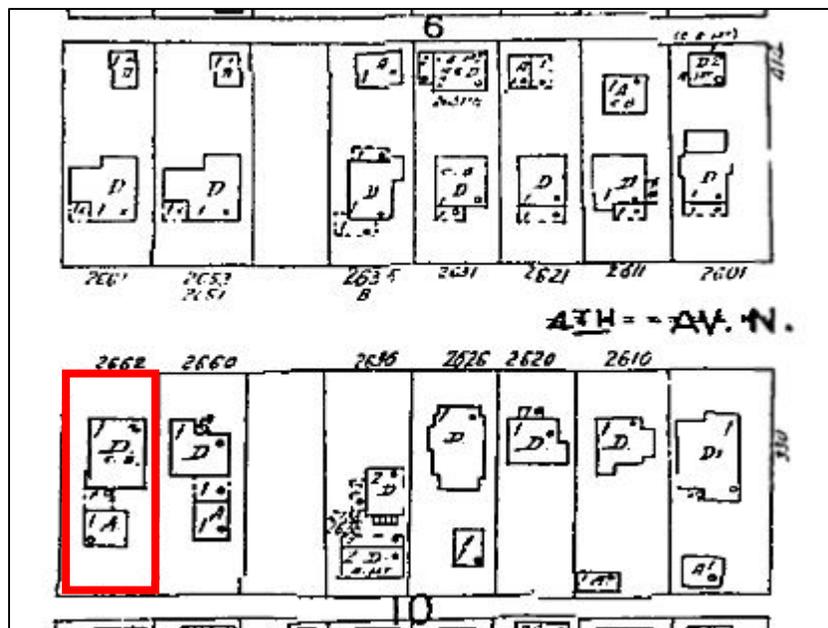
PROPERTY ADDRESS: 2662 4<sup>th</sup> AVE N

LEGAL DESCRIPTION: HALL'S CENTRAL AVE NO. 1, BLK 8, LOT 8 & W 5 FT OF LOT 7

ZONING: NT-2

## Historic Significance and Existing Conditions

The masonry vernacular house at 2662 4<sup>th</sup> Avenue North ("the subject property") is recommended for inclusion as a contributing property in the local historic district designation application for the Kenwood Section – Southwest Central Local Historic District, which is currently pending hearing by the Community Planning and Preservation Commission and City Council. The subject property was constructed in 1946 by contractor M.J. Bennett for Valla James Clark.



**Figure 1: Section of Sheet 252, Sanborn Map of St. Petersburg, FL, 1952. Subject property outlined in red.**

The subject property's orientation and location on its parcel represents an interesting transition in the prevailing architectural style of the time. Most of its neighbors on the surrounding block-face feature building facades that engage the street with wide front porches at the parcels' narrow edges and fully detached garages or accessory buildings set close to rear alleys. The subject property, however, features a primary entrance as well as a broad, two-car garage at its west, street-facing elevation. This reflects an increase in housing designs that favored wider, shallower footprints in the post-War era. It also provides more visibility for the garage entrance, a function which earlier designs would have confined to the alleyway rather than incorporating as an architectural feature. For these reasons, the building is significant to the proposed district as a representation of the transition between the bungalow and ranch forms.



Figure 2: Subject property façade and north elevation, facing southeast

## Project Description and Review of COA

### Project Description

The COA application (Appendix A) proposes the construction of an addition at the southeastern portion of the subject property with the following characteristics:

- 150 square feet of living space;
- 307 square feet of covered patio space;
- A hipped roof with a pitch equal to existing above the increased living space;
- A flat roof above the newly-created patio space;
- One-over-one sash and single-light casement windows;
- Stucco exterior featuring 5" horizontal joints to match existing.

According to the COA Matrix, additions to contributing or noncontributing buildings within local historic districts require approval by the Community Planning and Preservation Commission. Although the subject district is pending designation hearings by the CPPC and City Council, exterior alterations can be reviewed through the COA process per Executive Order.

### General Criteria for Granting Certificates of Appropriateness and Staff Findings

1. *The effect of the proposed work on the landmark or the property upon which such work is to be done.*

**Consistent**

Because of the placement of the proposed addition, both its footprint and roof forms will have minimal public visibility from within the proposed local historic district.

2. *The relationship between such work and other structures on the landmark site or other property in the historic district.*

**Consistent** The increased footprint will be primarily located in what is now an open area between the forms of the main residence and the semi-detached garage. As such, the impact on the public experience of the proposed district will be negligible.

3. *The extent to which the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture and materials of the local landmark or the property will be affected.*

**Consistent** The proposed addition will elongate the primary massing and roofline of the residence by extending it approximately 7' south, thus "filling in" part of the space between the residence and the garage. This will constitute a slight change in the subject property's overall design, but staff finds the addition to be sensitively-applied, in addition to its minimally-visible placement.

4. *Whether the denial of a Certificate of Appropriateness would deprive the property owner of reasonable beneficial use of his or her property.*

**Not applicable** The proposed addition will increase both interior and covered patio space of the residence. A statement of need has not been provided, but staff considers the 9.8% increase in interior square footage to be an appropriate aspect of the resource's rehabilitation for continued residential use.

5. *Whether the plans may be reasonably carried out by the applicant.*

**Consistent** There is no indication that the applicant cannot carry out the proposal.

6. *A COA for a noncontributing structure in a historic district shall be reviewed to determine whether the proposed work would negatively impact a contributing structure or the historic integrity of the district. Approval of a COA shall include any conditions necessary to mitigate or eliminate negative impacts.*

**Not applicable** The subject property is proposed for listing as a contributing property.

#### Additional Guidelines for New Construction

In approving or denying applications for a COA for new construction (which includes additions to an existing structure), the Commission and the POD shall also use the following additional guidelines.

1. *The height and scale of the proposed new construction shall be visually compatible with contributing resources in the district.*

**Consistent** The 7' addition will elongate the building slightly when viewed from the east (rear) elevation. This is compatible with other transitional and mid-century Masonry Vernacular buildings in the proposed district, as is the low profile of the flat-roofed rear porch structure.

2. *The relationship of the width of the new construction to the height of the front elevation shall be visually compatible with contributing resources in the district.*

**Consistent** The addition's footprint will not be visible from the front elevation. The extended roofline will be slightly visible above the semi-detached garage but will match the existing pitch and therefore be compatible.

3. *The relationship of the width of the windows to the height of the windows in the new construction shall be visually compatible with contributing resources in the district.*

**Consistent**

4. *The relationship of solids and voids (which is the pattern or rhythm created by wall recesses, projections, and openings) in the front facade of a building shall be visually compatible with contributing resources in the district.*

**Consistent** The proposal includes the elimination of two windows, and the creation of two windows. Although they are both small and the project appears to eliminate a small amount of fenestration, neither the window openings being removed nor those being installed are prominent.

5. *The relationship of the new construction to open space between it and adjoining buildings shall be visually compatible with contributing resources in the district.*

**Consistent** The addition will extend the enclosed mass of the residence by 7' at the east elevation, its greatest impact. The full width of the residence will continue to be visually broken up by the flat porch roof and the semi-detached garage, which will still be articulated by a break in the wall plane, a setback, and a distinct roof shape.

6. *The relationship of the entrance and porch projections, and balconies to sidewalks of the new construction shall be visually compatible with contributing resources in the district.*

**Consistent** The proposed porch features a flat roof and will appear to be recessed within the existing shape of the building footprint. This is consistent with nearby mid-century resources, which often feature porches with flat roofs or recessed into building corners.

7. *The relationship of the materials and texture of the facade of the new construction shall be visually compatible with the predominant materials used in contributing resources in the district.*

**Consistent** The proposed stucco will feature 5" horizontal bands to match the existing.

8. *The roof shape of the new construction shall be visually compatible with contributing resources in the district.*

**Consistent** The proposed roof of the enclosed space will match the pitch of the existing roof, which is typical of similar resources. The flat roof of the porch is an appropriate way to add covered space without creating a roof structure that is unnecessarily complex.

9. *Appurtenances of the new construction such as walls, gates and fences, vegetation and landscape features, shall, if necessary, form cohesive walls of enclosures along a street, to ensure visual compatibility of the new construction with contributing resources in the district.*

**Consistent** No site work changes are proposed.

10. *The mass of the new construction in relation to open spaces, the windows, door openings, porches and balconies shall be visually compatible with contributing resources in the district.*

**Consistent**

11. *The new construction shall be visually compatible with contributing resources in the district in its orientation, flow, and directional character, whether this is the vertical, horizontal, or static character.*

**Consistent** The overall massing of the addition is appropriate to the building. Its location and arrangement provide a way to expand the resource's living space without creating an unnecessarily complex footprint or roofline, which would detract from the simple vernacular form of this early post-War construction.

12. *New construction shall not destroy historic materials that characterize the local landmark or contributing property to a local landmark district. The new construction shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the local landmark and its environment, or the local landmark district.*

**Consistent** The materials to be removed will be at rear elevations and minimally visible. The change in the roofline at the southern side of the addition will provide subtle differentiation.

13. *New construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the local landmark and its environment would be unimpaired.*

**Generally Consistent** While the addition to the building footprint will not be easily reversible, the creation of the porch will be.

#### Summary of Findings, Certificate of Appropriateness Review

Staff evaluation yields a finding of the following criteria being met by the proposed project:

- General Criteria for Granting Certificates of Appropriateness: 4 of 4 relevant criteria satisfied.
- Additional Guidelines for New Construction: 13 of 13 criteria satisfied or generally satisfied.

## Staff Recommendation and Conditions of Approval

### *Certificate of Appropriateness Request*

Based on a determination of general consistency with Chapter 16, City Code of Ordinances, staff recommends that the Community Planning and Preservation Commission **APPROVE WITH CONDITIONS** the Certificate of Appropriateness request for the alteration of the property 2662 4<sup>th</sup> Avenue North., subject to the following:

1. Windows will be installed to be setback within the wall plane and feature a reveal of at approximately two to three inches to provide consistency with existing windows at subject property.
2. All other necessary permits shall be obtained. Any additional work shall be presented to staff for determination of the necessity of additional COA approval.
3. This approval will be valid for 24 months beginning on the date of revocation of the local Emergency Declaration.

# Appendix A:

Application No. 20-90200053 and Submittals

May 24, 2020

Cover Sheet COA Application  
2662 4<sup>th</sup> Ave N  
St. Petersburg, FL 33713

To Whom it Concerns,

Please review the electronic plans and related files uploaded to the permit #20-04001319. This system of permitting is very new to me. Please call me directly if there are any issues with the uploaded documents.

We would like to add a master bathroom and outdoor patio to the footprint of the home. The exterior surfaces will match the existing home exactly. The addition will be seamless. It will look as if it was always part of the home. Window sizes, shapes and styles will match existing exactly.

Also included in the scope of work is enlarging the kitchen and moving the laundry inside the home.

This home is in a neighborhood that is being reviewed for Historic Designation. This property does not appear to be a contributing property having none of the Craftsman or Bungalow appeal. It is a Ranch style home, built in 1946 of concrete with a hip roof.

I believe the approved set of plans will detail the entire project and satisfy many of the items on the checklist.

Please contact me directly to help with this permitting process.

Thank you,



Wydel Simmons  
727-300-9044



**Front elevation.**



**Side elevation.**



**Side elevation.**



**Back elevation.**



# CERTIFICATE OF APPROPRIATENESS

## APPLICATION

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Planning and Development Services Department, located on the 8th floor of the Municipal Services Building, One Fourth Street North, St. Petersburg, Florida. Laura Duvekot, Historic Preservationist II, (727) 892-5451 or Laura.Duvekot@stpete.org

### GENERAL INFORMATION

2662 4th Ave N	23-31-16-35082-008-0080
Property Address	Parcel Identification No.
Kenwood	20-00401319
Historic District / Landmark Name	Corresponding Permit Nos.
Lewis & Michelle Ribner	858-342-8617
Owner's Name	Property Owner's Daytime Phone No.
2662 4th Ave N St. Pete, FL 33713	michelle.ribner@gmail.com
Owner's Address, City, State, Zip Code	Owner's Email
Wydel Simmons	727-300-9044
Authorized Representative (Name & Title), if applicable	Representative's Daytime Phone No.
2644 3rd Ave N St. Pete, FL 33713	whydel@hotmail.com
Owner's Address, City, State, Zip Code	Representative's Email

APPLICATION TYPE (Check applicable)				TYPE OF WORK (Check applicable)	
<input checked="" type="checkbox"/>	Addition	<input type="checkbox"/>	Window Replacement	<input type="checkbox"/>	Repair Only
<input type="checkbox"/>	New Construction	<input type="checkbox"/>	Door Replacement	<input type="checkbox"/>	In-Kind Replacement
<input type="checkbox"/>	Demolition	<input type="checkbox"/>	Roof Replacement	<input type="checkbox"/>	New Installation
<input type="checkbox"/>	Relocation	<input type="checkbox"/>	Mechanical (e.g. solar)	<input type="checkbox"/>	Other:
<input checked="" type="checkbox"/>	Other: Kitchen remodel			<input type="checkbox"/>	

### AUTHORIZATION

By signing this application, the applicant affirms that all information contained within this application packet has been read and that the information on this application represents an accurate description of the proposed work. The applicant certifies that the project described in this application, as detailed by the plans and specifications enclosed, will be constructed in exact accordance with aforesaid plans and specifications. Further, the applicant agrees to conform to all conditions of approval. It is understood that approval of this application by the Community Planning and Preservation Commission in no way constitutes approval of a building permit or other required City permit approvals. Filing an application does not guarantee approval.

- NOTES:**
- 1) It is incumbent upon the applicant to submit correct information. Any misleading, deceptive, incomplete or incorrect information may invalidate your approval.
  - 2) To accept an agent's signature, a notarized letter of authorization from the property owner must accompany the application.

Signature of Owner: Lewis Ribner Date: 5/24/2020

Signature of Representative: Wydel Simmons Date: 5/24/2020



Application # \_\_\_\_\_

# PERMIT APPLICATION

Flood Zone \_\_\_\_\_

All information must be filled-in completely  
One Fourth Street North, St. Petersburg, FL 33701 (P.O. Box 2842, 33731)  
Telephone (727) 893-7231 Fax (727) 892-5447

WWP:

Date of application: 5/19/2020	Affordable Housing Eligible: <input type="checkbox"/> Yes
<b>PROJECT SITE:</b>	<b>PROPERTY OWNER:</b>
Project or Tenant:	Name: Lewis Ribner
Address: 2662 4th Ave N 33713	Address: 2662 4th Ave N Unit #:
Unit #:	City, State, Zip: St. Petersburg, FL
PIN:	Phone: 727-300-9044 Email: Whydel@hotmail.com

### CONTRACTOR:

Company: Renovations INC FL

Name: Wydel Simmons

Contractor's License #: CRC1330581 Email: whydel@hotmail.com

Phone: 727-300-904 Cell: - Fax: -

### ARCHITECT / ENGINEER:

Company: -

Name: \_\_\_\_\_

State License #: \_\_\_\_\_ Email: \_\_\_\_\_

Phone: \_\_\_\_\_ Cell: \_\_\_\_\_ Fax: \_\_\_\_\_

**AFFIDAVIT:** Application is hereby made to obtain a permit to do work and installations as indicated. I certify that all foregoing information is accurate and that all work will comply with all applicable codes. I understand these codes shall take precedence over all approved construction documents, and issuance of this permit is verification that I will notify the property owner of Florida Lien Law req., F.S. 713.135.  
Link: <http://www.leg.state.fl.us/Statutes/index.cfm>

**NOTICE:** FBC 6th Edition (2017) 105.3.3. In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies or federal agencies. Additional plan review approval may be required by other City departments such as Zoning, Historic Preservation and Water Resources. This property may be located in a deed restricted community.  
Link: <http://floridabuilding2.iccsafe.org/>

**ASBESTOS Notification:** FBC 6th Edition (2017) 105.9 (received customer asbestos notification). The enforcing agency shall require each building permit for the demolition or renovation of an existing structure to contain an asbestos notification statement which indicates the owner's responsibility to comply with the provisions of Section 469.003, Florida Statutes, and to notify the Department of Environmental Protection of his or her intentions to remove asbestos, when applicable, in accordance with state and federal law.  
Link: <http://floridabuilding2.iccsafe.org/>

**OWNER/CONTRACTOR DISCLOSURE STATEMENT:** Owner must appear in person and sign Disclosure Statement in addition to this permit application. [Link to Disclosure Statement Document](#)

All work shall comply with the applicable Florida Building Code

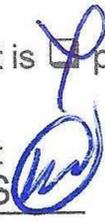
Wydel Simmons  
Applicant Print Name

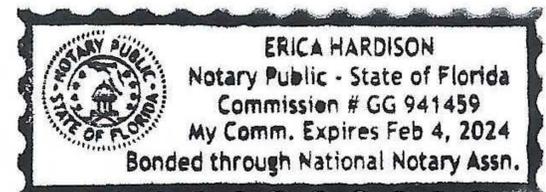
\_\_\_\_\_  
Permit Technician

  
Applicant Signature Date 5/19/2020

  
(or) Notary Date 5/19/20

Applicant is  personally known to me or produced \_\_\_\_\_ as identification.  
(type of identification)

Applicant Initial WS 



**PERMIT APPLICATION**

Is this application for a change of use or occupancy?  Yes  No

**Occupancy Group:** (check one) per FBC Ch. 3 – Section 302 Classification: Link: <http://floridabuilding2.iccsafe.org/>

- |                                      |  |  |   |
|--------------------------------------|--|--|---|
| <input type="checkbox"/> Assembly    | <input type="checkbox"/> Business      | <input type="checkbox"/> Educational               | <input type="checkbox"/> Factory & Industrial   |
| <input type="checkbox"/> High Hazard | <input type="checkbox"/> Institutional | <input type="checkbox"/> Mercantile                | <input checked="" type="checkbox"/> Residential |
| <input type="checkbox"/> Storage     | <input type="checkbox"/> Day Care      | <input type="checkbox"/> Utility and Miscellaneous |   |

Type of Construction (per FBC Ch. 6):  I  II  III  IV  V

Protected / Unprotected:  A or  B (check one)

Fire Sprinkler:  Y or  N (check one)      Fire Alarm:  Y or  N (check one)

**General 'Scope of Work' description:**

Delete a bathroom to make kitchen bigger, add new bathroom addition off master, relocate laundry.

**Please complete the following information for the sub-trades:**

**Electrical** \$6000 value

New service \_\_\_\_\_ amps

Service upgrade \_\_\_\_\_ amps

# of meters \_\_\_\_\_

# of panels \_\_\_\_\_

Relocate service \_\_\_\_\_

# of altered circuits <sup>3</sup> \_\_\_\_\_

# of new circuits <sup>3</sup> \_\_\_\_\_

Temporary sawpole \_\_\_\_\_ amps

Fire Alarm \_\_\_\_\_

Security \_\_\_\_\_

Smoke detector <sup>3</sup> \_\_\_\_\_

Carbon monoxide detector \_\_\_\_\_

Data/Comm \_\_\_\_\_

Solar / PV \_\_\_\_\_

Other \_\_\_\_\_

**Mechanical** \$ 1100 value

New Install \_\_\_\_\_ tons

Replacement \_\_\_\_\_ tons

Package unit \_\_\_\_\_ tons

# of condensers \_\_\_\_\_

# of air handlers \_\_\_\_\_

Vertical \_\_\_\_\_

Horizontal \_\_\_\_\_

Furnace \_\_\_\_\_

# of returns \_\_\_\_\_

# of supplies <sup>2</sup> \_\_\_\_\_

Heat strip size \_\_\_\_\_ KW

Generator \_\_\_\_\_

Kitchen hood <sup>1</sup> \_\_\_\_\_

Exhaust fans <sup>1</sup> \_\_\_\_\_

Roof top \_\_\_\_\_

SEERS \_\_\_\_\_

HOV \_\_\_\_\_

Other \_\_\_\_\_

**Building** \$31000 value

Exterior cladding \_\_\_\_\_

Roof <sup>250</sup> \_\_\_\_\_

Driveway \_\_\_\_\_

Window replacement \_\_\_\_\_

Demo entire structure \_\_\_\_\_ S.F.

New Construction <sup>250</sup> \_\_\_\_\_ S.F.

Remodel <sup>300</sup> \_\_\_\_\_ S.F.

Mobile Home Removal \_\_\_\_\_

Mobile Home Installation \_\_\_\_\_

Signs \_\_\_\_\_

Residential Encl. \_\_\_\_\_ S.F.

Other \_\_\_\_\_

**Fire** \$200 value

Fire Alarm \_\_\_\_\_

Fire Sprinkler \_\_\_\_\_ type

Fire Suppression \_\_\_\_\_

Fire Separation \_\_\_\_\_ hrs

Other <sup>Smoke detectors</sup> \_\_\_\_\_

**Gas** \$ \_\_\_\_\_ value

New \_\_\_\_\_

Replacement \_\_\_\_\_

Natural \_\_\_\_\_

Propane \_\_\_\_\_

Equipment \_\_\_\_\_

Piping ft. \_\_\_\_\_

Venting ft. \_\_\_\_\_

Tank \_\_\_\_\_ size

Type of tank \_\_\_\_\_

Water heater \_\_\_\_\_

Other \_\_\_\_\_

**Plumbing** \$11000 value

# added water closets \_\_\_\_\_

# changed water closets \_\_\_\_\_

# of bathtubs \_\_\_\_\_

# of showers \_\_\_\_\_

# of lavatories \_\_\_\_\_

# of water heaters \_\_\_\_\_

Sewer line ft. \_\_\_\_\_

Water line ft. \_\_\_\_\_

Tankless water heater \_\_\_\_\_

Solar \_\_\_\_\_

Other <sup>Relocate bathroom, update kitchen</sup> \_\_\_\_\_

**FEMA Information**

Flood Zone \_\_\_\_\_

Required Elevation \_\_\_\_\_

Lowest Finished Floor \_\_\_\_\_

RCD Value \_\_\_\_\_

Maximum Improvement \_\_\_\_\_

*Municode Ch. 16.40.050 Link:*  
[http://library.municode.com/HTML/11602/level3/PTIISTPECO\\_CH16LADERE\\_S16.40.050FLMA.html](http://library.municode.com/HTML/11602/level3/PTIISTPECO_CH16LADERE_S16.40.050FLMA.html)

**Total Estimated Construction Value:** \$ 49300

Applicant  
Initial WS

**CS&P USE ONLY**

C.O. Required: \_\_\_\_\_ YES \_\_\_\_\_ NO

Flood Zone: \_\_\_\_\_

Design Flood Elevation (including freeboard): \_\_\_\_\_

Florida Building Code Edition: \_\_\_\_\_

Occupancy Group: \_\_\_\_\_

Occupancy Type: \_\_\_\_\_

Construction Type: \_\_\_\_\_

Design Occupant Load: \_\_\_\_\_

Number of Units: \_\_\_\_\_ Number of Stories: \_\_\_\_\_

Fire Sprinkler: \_\_\_\_\_ YES \_\_\_\_\_ NO

Fire Alarm: \_\_\_\_\_ YES \_\_\_\_\_ NO

Square Foot: Altered/Additional: \_\_\_\_\_

Threshold Building: \_\_\_\_\_ YES \_\_\_\_\_ NO

Sewer Connection New: \_\_\_\_\_

Sewer Connection Credits: \_\_\_\_\_

Sewer Connection Due: \_\_\_\_\_

Certificate of Concurrency: \_\_\_\_\_

TIF District Zone: \_\_\_\_\_

**Plan Reviewer:** \_\_\_\_\_

(Print Name)

**Zoning Use Only**

Zoning District: \_\_\_\_\_

Approved for: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

Setbacks per Approved Plan				
Structure				
Front				
Left				
Right				
Rear				

CPC/ COA/ DRC # \_\_\_\_\_

Tree Permit # \_\_\_\_\_

**NOTE: Tree removal not included, a separate tree removal is required for the removal of Code protected trees**

**Sign Type:** \_\_\_\_\_

**Right-of-Way work:**

Driveway type \_\_\_\_\_

Front walkway \_\_\_\_\_

Public sidewalk \_\_\_\_\_

**Zoning Conditions of Approval:** \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Zoning reviewer:** \_\_\_\_\_

(Print Name)

**CERTIFIED TO: (AS FURNISHED)**  
 Clearwater Capital Partners, LLC  
 Tiago National Title LLC  
 WFG National Title Insurance Company  
 212 Loans, LLC

**FLOOD ZONE**  
 SUBJECT PROPERTY SHOWN HEREON APPEARS TO BE LOCATED IN FLOOD ZONE. REASONS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN, PER F.L.R.M. PANEL NUMBER 121030218G, LAST REVISION DATE 9/3/2003, (PER MAPWISE WEBSITE). THIS SURVEYOR MAKES NO GUARANTEES AS TO THE ACCURACY OF THE ABOVE INFORMATION. THE LOCAL F.E.M.A. AGENT SHOULD BE CONTACTED FOR VERIFICATION.

**LIST OF POSSIBLE ENCROACHMENTS:**  
 FENCES CROSS PROPERTY LINES.  
 OWNERSHIP OF FENCES NOT DETERMINED.

**BASIS OF BEARING**  
 BEARINGS ARE BASED ON THE SOUTH RIGHT OF WAY LINE OF 4TH AVENUE N., WHICH HAS AN ASSUMED BEARING OF S 89°54'06" E.

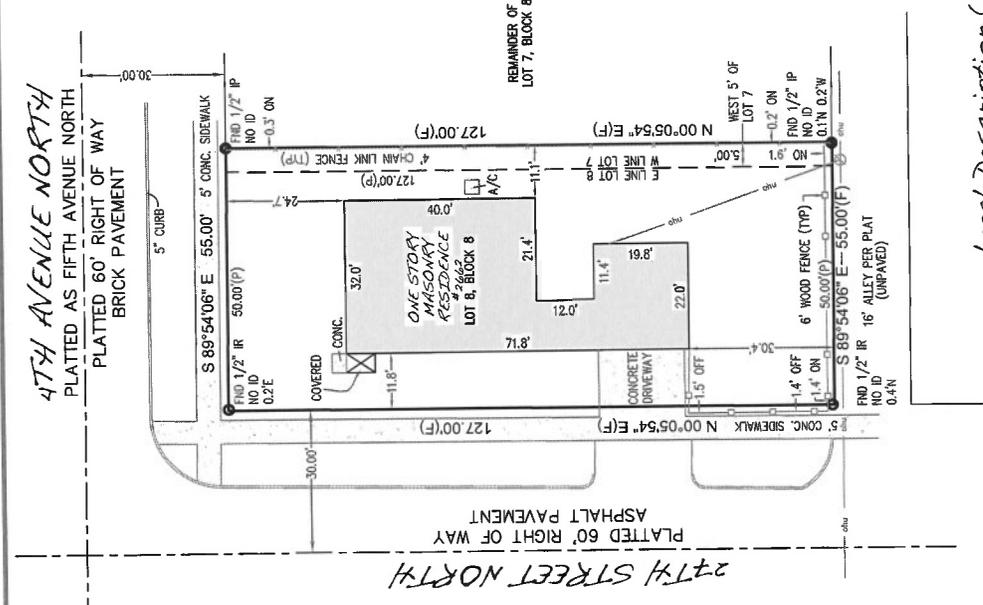
**NOTES**  
 1. Underground utility installations, underground improvements, foundations and/or other underground structures were not located by this survey.  
 2. The purpose of this survey is for use in obtaining title insurance and financing and should not be used for construction purposes.  
 3. Additions or alterations to this survey by anyone other than the signing party or parties are prohibited and shall be at their own risk.  
 4. The easements shown hereon is subject to all easements, restrictions and reservations which may be shown or noted on the record plat and within the public records of the county the subject property is located. This survey only depicts survey related information such as easements and setbacks that are shown on a record plat or have been furnished to the surveyor by the owner. The dimensions for improvements should not be used to reconstruct boundary lines.  
 THIS SURVEY IS PREPARED FOR THE EXCLUSIVE USE OF THE PARTIES LISTED HEREON. LIABILITY TO THIRD PARTIES MAY NOT BE TRANSFERRED OR ASSIGNED.

VISION LAND  
 S U R V E Y O R S  
 941 S Pennsylvania Ave, Winter Park, FL 32789 | (888) 399-8474

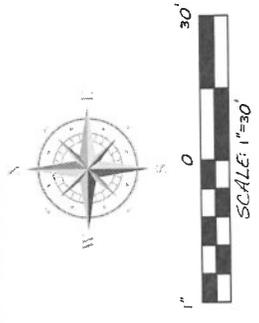
**SURVEYOR'S CERTIFICATE**  
 I HEREBY CERTIFY THAT THIS SURVEY IS TRUE, CORRECT AND ACCURATE REPRESENTATION OF A SURVEY MADE BY MY DIRECTION.  
 NO. 6573  
 STATE OF FLORIDA  
 DATED: 9/6/18

Joseph E. Williamson, PLS  
 PROFESSIONAL LAND SURVEYOR  
 FLORIDA REGISTRATION #6573  
 NOT VALID WITHOUT THE ELECTRONIC SIGNATURE AND/OR ORIGINAL RAISED SEAL OF THE LISTED FLORIDA LICENSED SURVEYOR AND MAPPER  
 DATE: 9-13-18  
 REVISION: Cert Change  
 DATE: REVISION: DATE: REVISION:

# Boundary Survey



*Legal Description (per OR Book 15094, Page 195)*  
 Lot 8 and the West 5 feet of the Lot 7, Block 8, HALL'S CENTRAL AVENUE SUBDIVISION NO. 1, according to the plat thereof as recorded in Plat Book 3, Page(s) 39, Public Records of Duval County, Florida.



ADDRESS  
 2682 4TH AVENUE N.  
 ST. PETERSBURG, FLORIDA 33713

**LEGEND**

- = Iron Pipe & Cap (IP)
- = Iron Rod & Cap (IR)
- = Nail & Disk (N&D)
- = Concrete Monument (CM)
- = Official Record
- = Plat Book
- = Page
- = CONC.
- = Concrete
- = Licensed Business
- = LS = Licensed Surveyor
- = RP = Registered Professional
- = Identification
- = Calculated Distance
- = Field Measurement
- = Dead Dimension

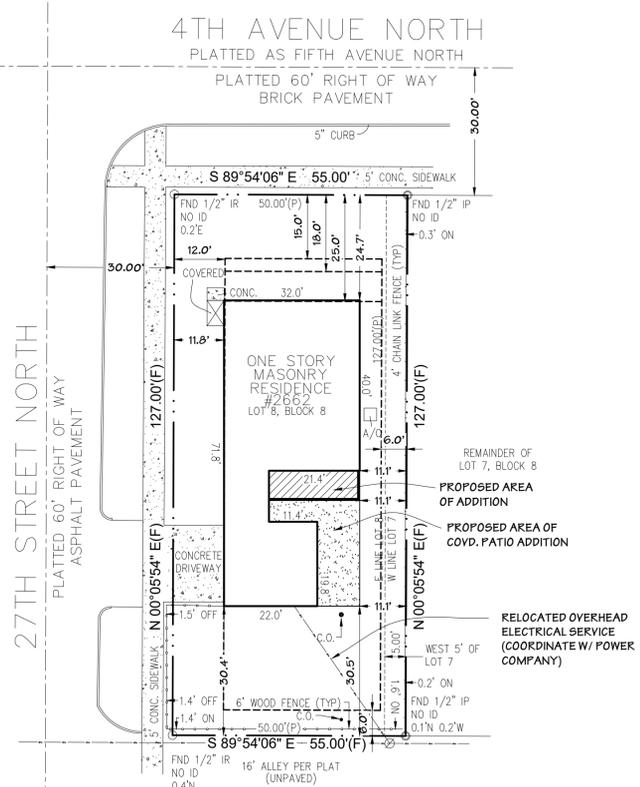
- (P) = Plat Measurement
- (TYP) = Typical
- ON/OFF = Onsite/Offsite
- = Sanitary Manhole
- = Drainage Manhole
- = Catch Basin/Inlet
- = Transformer
- = Cable TV Riser
- = Overhead Utilities
- = Water Meter
- = Telephone Riser
- = Electric Box
- = Light Pole

JOB #:	VLSR18-29498
CLIENT #:	FL18-02658
FIELD DATE:	9/5/18
CREW:	3630
DRAFTER:	AWM
APPROVED:	JEW
SCALE:	1" = 30'

COPYRIGHT 2011

X Surveyor's Acknowledgment and Acceptance  
 X Borrower's Acknowledgment and Acceptance





**1 PROPOSED SITE PLAN**  
1" = 20.0'

**SITE DATA**

**JURISDICTION:** CITY OF ST. PETERSBURG  
**FLOOD ZONE:** X  
**PARCEL IDENTIFICATION #:** 23-31-16-35082-008-0080  
**LEGAL DESCRIPTION:** HALL'S CENTRAL AVE NO. 1 BLK 8, LOT 8 & W 5FT OF LOT 7  
**ZONING:** NT-2  
**SETBACKS:** FRONT: 25.0' - Building, 18.0' Open Porch, 15.0' - Stoop  
 SIDES: 6.0' - Interior Side for lots greater than 60.0' wide, 10% of lot width for lots equal to or less than 60.0', 12.0' - Street Side  
 REAR: 6.0' - With Alley - equal to or greater than 16.0' in width, 10.0' or 22.0' including the width of the alley - For alleys less than 16.0' in width, 10.0' - No Alley

**RESIDENTIAL INTENSITY RATIOS**

**LOT AREA:** 6,985 SQ. FT. = 100%  
**BUILDING COVERAGE:** 2,622 SQ. FT. = 37.54% (60% MAX. FOR SINGLE STORY)  
**IMPERVIOUS SURFACE:** 625 SQ. FT. = 8.95% (POOLS, DRIVEWAYS, ETC.)  
**TOTAL IMPERVIOUS SURFACE:** 3,247 SQ. FT. = 46.49X% (65% MAX.)  
**FLOOR AREA RATIO:** 2,879 SQ. FT. = 41.22% (60% MAX. FOR SINGLE STORY)  
**FRONT YARD AREA:** 2,599 SQ. FT. = 100%  
**IMPERVIOUS SURFACE:** 265 SQ. FT. = 10.20% (25% MAX. FOR CORNER LOTS)

**IMPERVIOUS SURFACE RATIOS-FRONT YARD**

FLORIDA PRODUCT APPROVAL (AS PER 2017 F.B.C.)			
PRODUCT CATEGORY	PRODUCT SUB-CATEGORY	PRODUCT MANUFACTURER	STATE OF FLORIDA APPROVAL NUMBER
ROOFING	FIBERGLASS ASPHALT DIM. SHINGLES	GAF	FL10124-R24
	MODIFIED BITUMEN	GAF	FL5680-R25
	"ZIP" SYSTEM UNDERLAYMENT	HUBER ENGINEERED WOOD	FL17146.1
WINDOWS	SINGLE HUNG	PGT INDUSTRIES-WINGUARD DP +60 /-70 PSF	FL1435.5 R22
	DOUBLE HUNG	PGT INDUSTRIES-WINGUARD DP +70 /-110 PSF	FL14705.2 R5
	FIXED	PGT INDUSTRIES-WINGUARD DP +70 /-70 PSF	FL5012.6 R21
SOFFIT	VINYL SOFFIT	CERTAINTED	FL13389-R4
STRUCTURAL	PRE-CAST LINTELS	CAST CRETE DIVISION	FL158
	ENGINEERED LUMBER	WEYERHAEUSER	FL6527.2-R8
	WOOD CONNECTORS	SIMPSON STRONG-TIE	FL11473.9, FL13872.4, FL13872.10, FL11473.3, FL13872.1, FL11473.5, FL10856.4, FL13904.4

**FLORIDA PRODUCT APPROVAL SUBMITTALS**

- FLORIDA PRODUCT APPROVAL SHEETS SHALL BE SUBMITTED FOR ALL MATERIALS UTILIZED FOR THE REQUIRED EXTERIOR PRODUCTS AND MEET REQUIRED DESIGN PRESSURES STATED FOR THE PROJECT.
- IT IS THE BUILDERS RESPONSIBILITY TO VERIFY THAT ALL MATERIALS AND INSTALLATION HAVE MET THE REQUIREMENT IN THE FLORIDA PRODUCT APPROVAL SHEETS.
- FLORIDA PRODUCT APPROVALS LISTED BELOW ARE INFORMATIONAL AND CAN BE SUBSTITUTED FOR PRODUCTS THAT ARE EQUAL OR GREATER IN PERFORMANCE.

**GENERAL SCOPE OF WORK**

THIS IS A GENERALIZED SCOPE OF WORK. DRAWINGS IN THIS SET OF PLANS WILL INDICATE THE SPECIFICS OF THE WORK TO BE DONE.

- MASTER BATH & CLOSET ADDITION
- KITCHEN REMODEL AND EXPANSION
- MUDROOM CONVERSION INTO LAUNDRY ROOM/PANTRY
- REAR COVERED PATIO ADDITION

**GENERAL SITE PLAN NOTE:**  
 THE INFORMATION SHOWN ON THIS SITE PLAN WAS OBTAINED FROM A REGISTERED LAND SURVEYOR: VISION LAND SERVICE (JOSEPH E. WILLIAMSON, PLS) - JOB #: VL8R19-29498. THE LAYOUT OF THE BUILDING / ADDITION HAS BEEN BASED ON THIS INFORMATION. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO HAVE THE BUILDING / ADDITION LAID OUT ONTO THE SITE ACCORDING TO THE DRAWINGS AS SHOWN BY A REGISTERED LAND SURVEYOR AND ANY DISCREPANCIES TO THE BUILDING LAYOUT OR REQUIRED SETBACKS SHALL BE BROUGHT TO THE DESIGNERS ATTENTION PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. FAILURE TO DO SO WILL RESULT IN THE SOLE RESPONSIBILITY OF THE LAYOUT WITH THE GENERAL CONTRACTOR AND NO RESPONSIBILITY TO THE DESIGNER.

**BUILDING DESIGN DATA**

THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH FLORIDA BUILDING CODE 2017-RESIDENTIAL, 6TH EDITION AND ASCE 7-10

**WINDBORNE DEBRIS REGION:** YES  
**V<sub>(ult)</sub> ULTIMATE DESIGN WIND SPEED:** 150 MPH  
**V<sub>(ref)</sub> NOMINAL DESIGN WIND SPEED:** 116 MPH  
**BUILDING RISK CATEGORY:** II  
**SURFACE ROUGHNESS:** B  
**EXPOSURE CLASSIFICATION:** B  
**DESIGN:** ENCLOSED  
**INTERNAL PRESSURE COEFFICIENT:** (+/-) 0.18

**HEIGHT & EXPOSURE ADJUSTMENT COEFF.:** 1.00

**DESIGN WIND LOADS - DOORS, WINDOWS, COMPONENTS & CLADDING DESIGN**

ZONE	PRESSURES (PSF)*		
	Vult	Vasd	
ROOF - SLOPE (7-27°)	1	+23.3 - 36.6	+14.0 - 22.0
	2	+23.3 - 63.3	+14.0 - 38.0
	3	+23.3 - 95.0	+14.0 - 57.0
WALLS -	4	+35.7 - 43.3	+24.3 - 26.0
	5	+35.7 - 53.3	+24.3 - 32.0
GARAGE DOOR - (9X7) (16X7)		+21.3 - 24.1	
		+20.4 - 22.7	

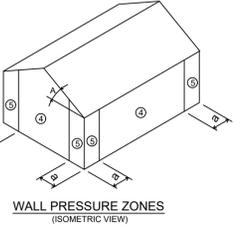
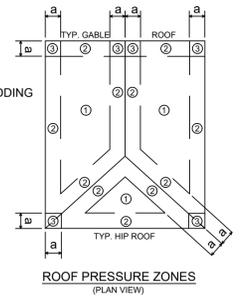
\* ADJUSTED FOR EXPOSURE AND HEIGHT

h = 30 FT. (MAX.)  
 a = 4 FT.

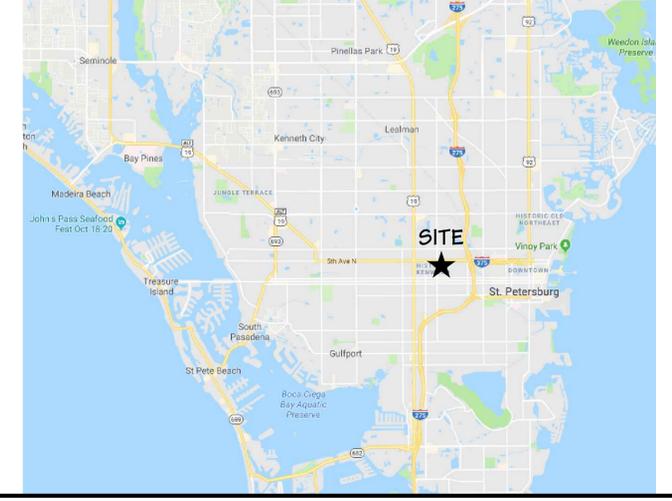
**LOADING LIVE:**  
 LIVE LOAD (ROOF) 20 PSF  
 LIVE LOAD (ROOF) ACTUAL PSF

CONCRETE 3000 PSI  
 LUMBER SP#2  
 SOIL BEARING CAPACITY 1500 PSF (ASSUMED)

FLOOD HAZARD AREA YES  
 CLASSIFICATION LEVEL 2  
 ADDITION & ALTERATION



**VICINITY MAP**



**CONTACT INFORMATION**

**DESIGNER:** RONEY DESIGN GROUP, LLC  
 535 CENTRAL AVENUE, SUITE M-1  
 ST. PETERSBURG, FLORIDA 33701  
 727-822-8600, 727-822-8655 FAX  
 rgrp@roneydesign.com

**OWNER:** LEWIS S. & MICHELLE-NEUMANN RIBNER  
 1998 REV TRUST / LEWIS S. RIBNER, TRE  
 MICHELLE-NEUMANN RIBNER, TRE  
 2662 4th AVENUE NORTH, ST. PETERSBURG, FLORIDA 33713  
 858-342-8618

**CONTRACTOR:** TO BE ANNOUNCED

**SQUARE FOOTAGE**

EXISTING:	NEW:	TOTAL:
LIVING - 1,380 SQ. FT.	LIVING - 150 SQ. FT.	LIVING - 1,530 SQ. FT.
GARAGE - 440 SQ. FT.	GARAGE - 0 SQ. FT.	GARAGE - 440 SQ. FT.
ENTRY - 24 SQ. FT.	ENTRY - 0 SQ. FT.	ENTRY - 24 SQ. FT.
COVERED PATIO - 0 SQ. FT.	COVERED PATIO - 307 SQ. FT.	COVERED PATIO - 307 SQ. FT.
<b>TOTAL - 1,844 SQ. FT.</b>	<b>TOTAL - 457 SQ. FT.</b>	<b>TOTAL - 2,301 SQ. FT.</b>

NOTE: ALL SQUARE FOOTAGE CALCULATIONS ARE BASED ON EXTERIOR BUILDING DIMENSIONS

EXISTING LIVING SQ. FT. TO BE REMODELED - 347 SQ. FT.

**BUILDING DATA**

**OCCUPANCY:** RESIDENTIAL - GROUP R  
 R2 - MULTI-FAMILY DWELLINGS  
 R3 - ONE & TWO FAMILY DWELLINGS

**USE:**  
 SINGLE FAMILY  
 TOWNHOME

**CONSTRUCTION:**  
 TYPE V - UNSPRINKLED  
 TYPE V - SPRINKLED

**FIRE RESISTANT SEPARATION:** N/A

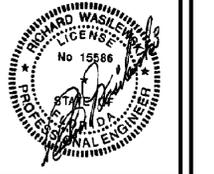
**SHEET INDEX**

C1	COVER SHEET & SITE PLAN
D1.1	EXISTING FLOOR/DEMOLITION PLAN
D1.2	EXISTING EXTERIOR ELEVATIONS
D2	FOUNDATION PLAN & DETAILS
D3	PROPOSED FLOOR PLAN
D4	PROPOSED EXTERIOR ELEVATIONS
D5	ROOF FRAMING PLAN
D6	SECTIONS & DETAILS
D7	SPECIFICATIONS
E1	ELECTRICAL PLAN

RICHARD WASHLEWSKI, P.E.  
 1520 CHATEAUWOOD DR.  
 CLEARWATER, FL 33764  
 (727) 580-4341  
 (727) 531-3111-FAX  
 Professional Engineer, PE #15586

I HEREBY CERTIFY THAT I HAVE REVIEWED THE ATTACHED DESIGN AND FOUND IT TO BE IN COMPLIANCE WITH THE STRUCTURAL PROVISIONS OF THE FLORIDA BUILDING CODE 2017-6TH EDITION

SEALED FOR STRUCTURAL ONLY



**RONEY DESIGN GROUP**  
 CERTIFIED PROFESSIONAL BUILDING DESIGNERS

MEMBER  
**A I B D**  
 AMERICAN INSTITUTE OF BUILDING DESIGNERS

535 CENTRAL AVENUE, STE. M-1  
 ST. PETERSBURG, FL 33701  
 RGRP@RONEYDESIGN.COM  
 (727) 822-8600

**ADDITIONS & REMODELING TO THE RIBNER RESIDENCE**  
 2662 4th AVENUE NORTH  
 ST. PETERSBURG, FLORIDA 33713

DRAWN BY: STR  
 CHECKED BY: RW  
 DATE: APRIL 13, 2020

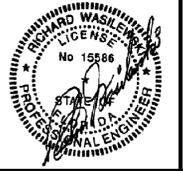
JOB NUMBER  
**19075**  
 SHEET NUMBER  
**C1**  
 PERMIT



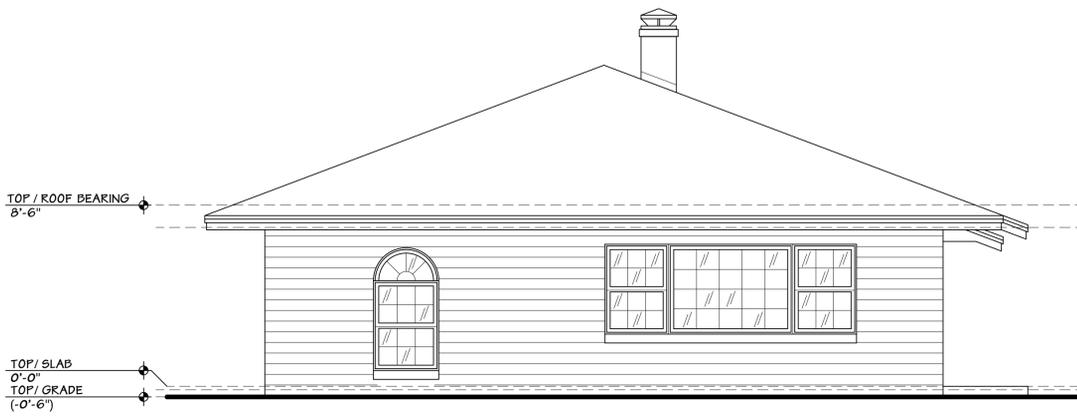
RICHARD WASILEWSKI, P.E.  
 1520 CHATEAUWOOD DR.  
 CLEARWATER, FL 33764  
 (727) 580-4341  
 (727) 531-3111-FAX  
 Professional Engineer, PE #15586

I HEREBY CERTIFY THAT I  
 HAVE REVIEWED THE  
 ATTACHED DESIGN AND FOUND  
 IT TO BE IN COMPLIANCE WITH  
 THE STRUCTURAL PROVISIONS  
 OF THE FLORIDA BUILDING  
 CODE 2017 - 6TH EDITION

SEALED FOR STRUCTURAL ONLY

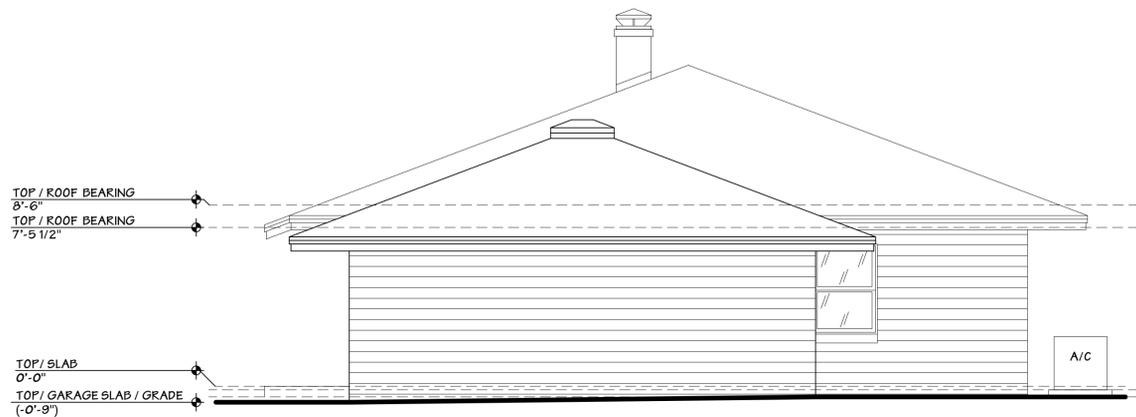


**RONNEY DESIGN GROUP**  
 CERTIFIED PROFESSIONAL BUILDING DESIGNERS  
 MEMBER  
**A I B D**  
 AMERICAN INSTITUTE OF BUILDING DESIGNERS  
 535 CENTRAL AVENUE, STE. M-1  
 ST. PETERSBURG, FL 33701  
 RGRFP@RONNEYDESIGN.COM  
 (727) 922-8600  
 Est. 1990



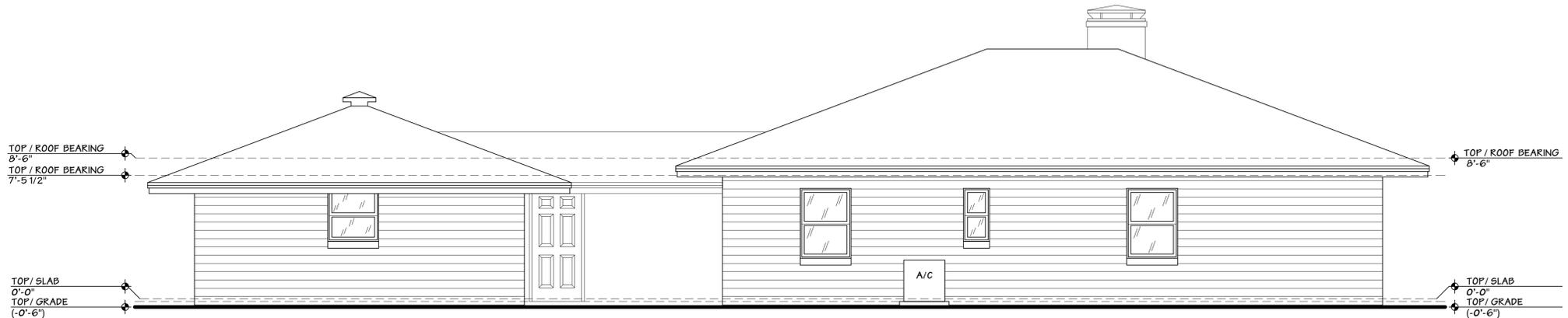
**4** EXISTING LEFT SIDE ELEVATION  
 D1.2 1/4" = 1'-0"

NOTE: FIELD VERIFY VERTICAL HEIGHT DIMENSIONS AND NOTIFY DESIGNER OF ANY CONFLICTS WITH FIELD CONDITIONS PRIOR TO COMMENCEMENT OF WORK.



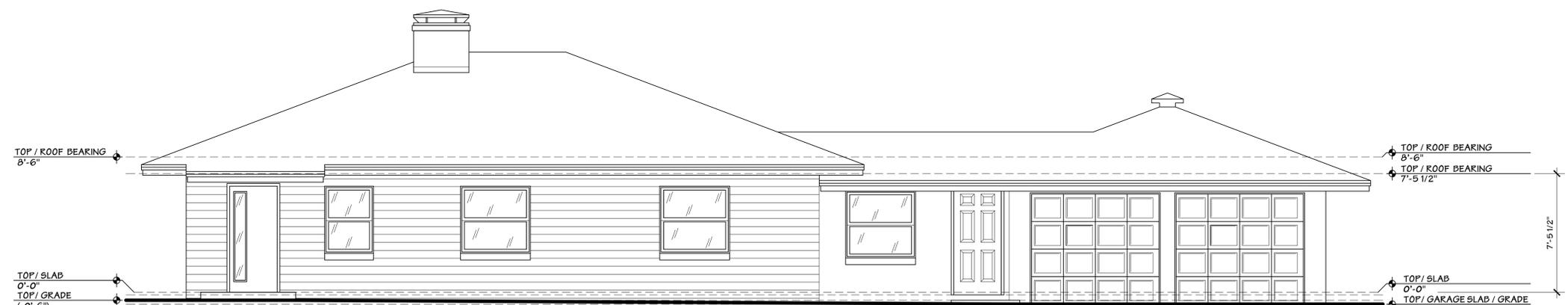
**3** EXISTING RIGHT SIDE ELEVATION  
 D1.2 1/4" = 1'-0"

NOTE: FIELD VERIFY VERTICAL HEIGHT DIMENSIONS AND NOTIFY DESIGNER OF ANY CONFLICTS WITH FIELD CONDITIONS PRIOR TO COMMENCEMENT OF WORK.



**2** EXISTING REAR ELEVATION  
 D1.2 1/4" = 1'-0"

NOTE: FIELD VERIFY VERTICAL HEIGHT DIMENSIONS AND NOTIFY DESIGNER OF ANY CONFLICTS WITH FIELD CONDITIONS PRIOR TO COMMENCEMENT OF WORK.



**1** EXISTING FRONT ELEVATION  
 D1.2 1/4" = 1'-0"

NOTE: FIELD VERIFY VERTICAL HEIGHT DIMENSIONS AND NOTIFY DESIGNER OF ANY CONFLICTS WITH FIELD CONDITIONS PRIOR TO COMMENCEMENT OF WORK.

**GENERAL NOTES TO CONTRACTOR**  
 1. ALL DIMENSIONS AND CONDITIONS OF THE PROJECT SHALL BE VERIFIED BY THE CONTRACTOR WHO SHALL BE RESPONSIBLE FOR SAME ONCE THE CONSTRUCTION HAS BEGUN. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS SHALL BE REPORTED TO THE DESIGNER FOR CORRECTION PRIOR TO THE BEGINNING OF CONSTRUCTION.  
 2. THE STRUCTURAL INTEGRITY OF THE BUILDING / CONSTRUCTION SHOWN ON THESE DRAWINGS IS DEPENDENT UPON THE COMPLETION ACCORDING TO THE DRAWINGS AND SPECIFICATIONS. STRUCTURAL MEMBERS ARE NOT SELF-SUPPORTING DURING CONSTRUCTION AND REQUIRE TEMPORARY BRACING OR SHORING UNTIL PERMANENTLY AFFIXED TO THE STRUCTURE AS DIRECTED. THE STRUCTURAL ENGINEER AND DESIGNER ASSUMES NO LIABILITY FOR THE STRUCTURE DURING CONSTRUCTION, UNLESS THE CONSTRUCTION METHOD AND BRACING ARE INCLUDED IN THE DRAWINGS AND SPECIFICATIONS, OR ARE SUPERVISED BY THE STRUCTURAL ENGINEER DURING CONSTRUCTION.

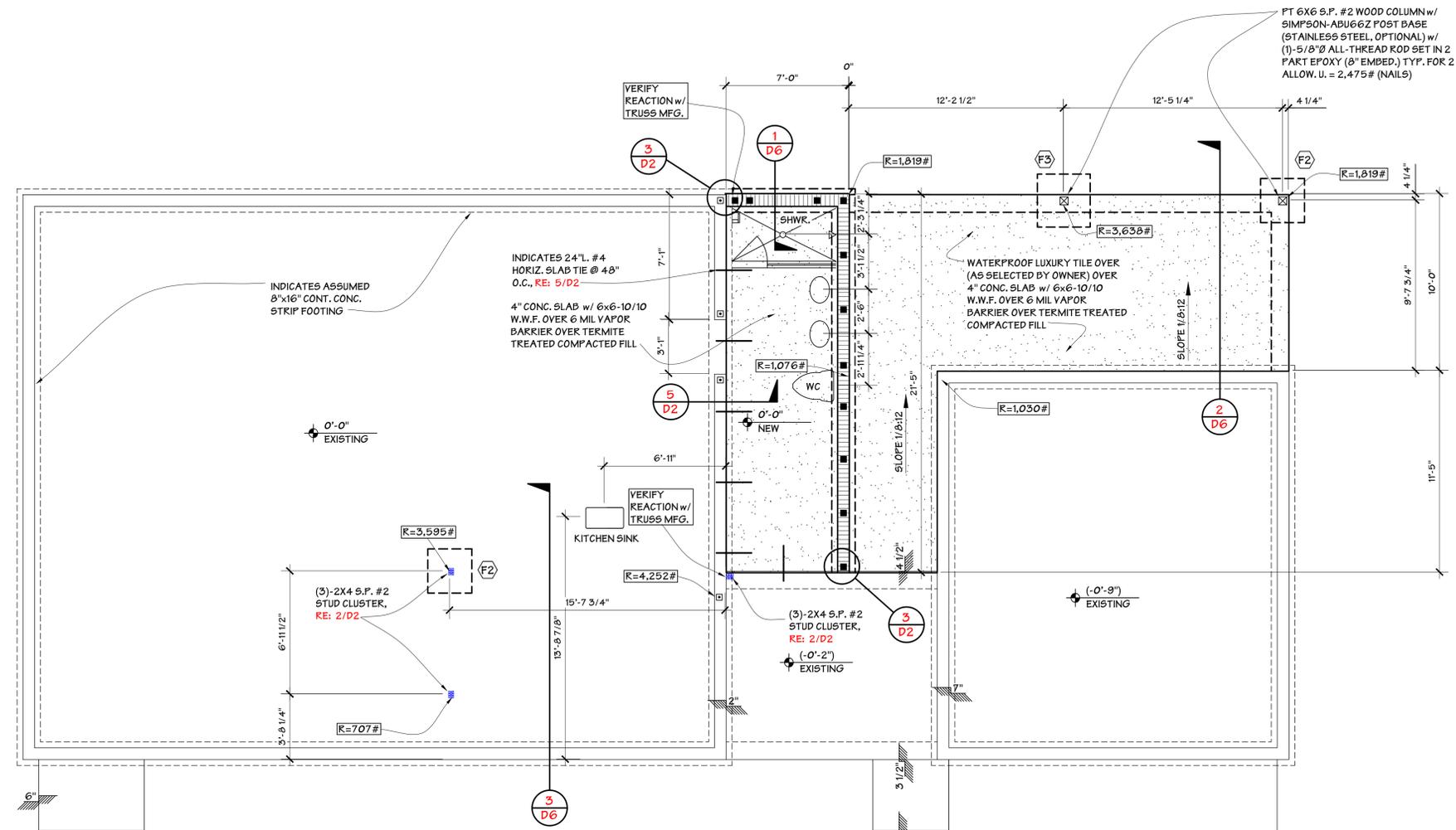
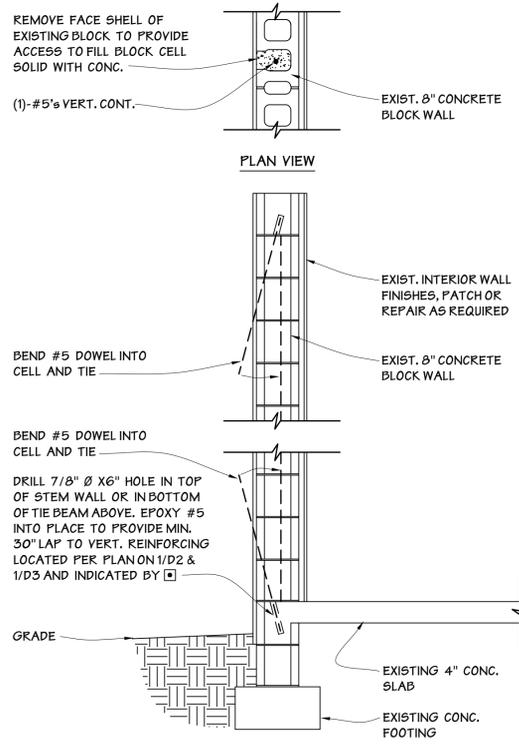
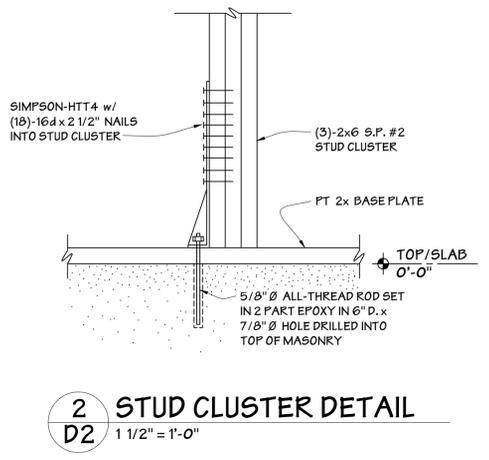
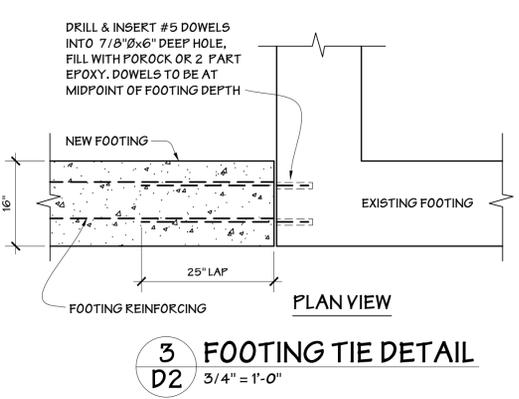
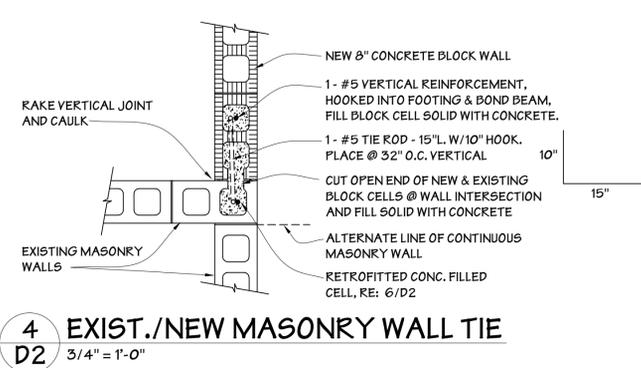
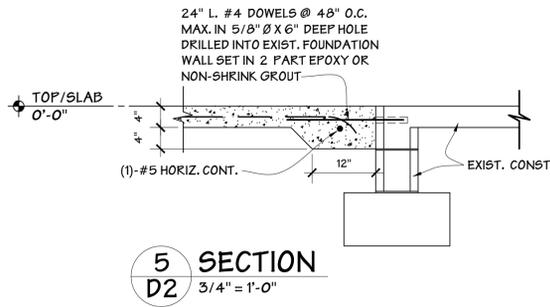
© 2020 Ronney Design Group, LLC. All rights reserved. This drawing is the sole property of RONNEY DESIGN GROUP, LLC. Unauthorized and/or reuse may be prosecuted in accordance with the appropriate copyright and patent laws.

REVISIONS

**ADDITIONS & REMODELING TO THE RIBNER RESIDENCE**  
 2662 44th AVENUE NORTH  
 ST. PETERSBURG, FLORIDA 33713

DRAWN BY JTC  
 CHECKED BY RW  
 DATE APRIL 13, 2020

JOB NUMBER  
**19075**  
 SHEET NUMBER  
**D1.2**  
 PERMIT



- GENERAL FOUNDATION NOTES**
- TOP OF SLAB ELEVATION TO BE 0'-0", UNLESS NOTED OTHERWISE ON PLAN.
  - ALL CAST IN PLACE CONCRETE TO BE 3,000 PSI @ 28 DAYS FOR FOOTINGS AND 3,000 PSI @ 28 DAYS FOR SLABS AND SIDEWALKS.
  - THE TYPICAL CONCRETE SLAB TO BE 4" THICK AND REINFORCED WITH 6x6-10/10 W.W.F. OVER 6 MIL VAPOR BARRIER OVER TERMITE TREATED COMPACTED FILL. W.W.F. TO BE PLACED IN UPPER 1/3 OF THE SLAB.
  - THE TYPICAL CONCRETE FOOTING TO BE CONTINUOUS 8" DEEP x 16" WIDE REINFORCED WITH (2) - #5 REINFORCING BARS CONTINUOUS PLACED ON CHAIRS @ 36" ON CENTER.
  - DENOTES TYPICAL REINFORCED CONCRETE FILLED BLOCK CELL WITH (1)-#5 VERTICAL DOWEL TIED FROM FOOTING REINFORCING TO THE BEAM REINFORCING SPACED @ 48" O.C. MAX.
  - GENERAL CONTRACTOR TO FIELD VERIFY EXISTENCE OF REINFORCED CONCRETE FILLED BLOCK CELL AT INDICATED LOCATIONS. IF ONE DOES NOT EXIST, REFER TO DETAIL 5/D2 FOR RETROFITTED FILLED CELL INSTALLATION.

**PAD FOOTING SCHEDULE**

MARK	SIZE	REINFORCING
F1	24" x 24" x 12"D.	#5's @ 8" O.C. HORIZ. EA. WAY
F2	30" x 30" x 12"D.	#5's @ 6" O.C. HORIZ. EA. WAY
F3	36" x 36" x 12"D.	#5's @ 6" O.C. HORIZ. EA. WAY

1. ALL STEEL TO HAVE 3" CLEARANCE FROM SOIL

NOTE:  
PLUMBING DRAINS ARE SHOWN AS APPROXIMATE LOCATIONS. PLUMBING SUB-CONTRACTOR SHALL FIELD VERIFY LOCATION. FIXTURES SELECTED BY OWNER

NOTE:  
FILLED CELL LOCATION ARE BASED ON THE GRAPHICAL LAYOUT OF THIS DESIGN AND SHALL BE ADJUSTED IN THE FIELD PER ACTUAL CONDITIONS AND BLOCK LAYOUT. CELL SPACING SHOULD NOT EXCEED 4'-0" O.C. (I.N.O.)

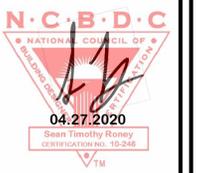
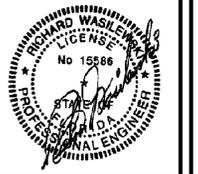
**GENERAL NOTES TO CONTRACTOR**

- ALL DIMENSIONS AND CONDITIONS OF THE PROJECT SHALL BE VERIFIED BY THE CONTRACTOR WHO SHALL BE RESPONSIBLE FOR SAME ONCE THE CONSTRUCTION HAS BEGUN. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS SHALL BE REPORTED TO THE DESIGNER FOR CORRECTION PRIOR TO THE BEGINNING OF CONSTRUCTION.
- THE STRUCTURAL INTEGRITY OF THE BUILDING / CONSTRUCTION SHOWN ON THESE DRAWINGS IS DEPENDENT UPON THE COMPLETION ACCORDING TO THE DRAWINGS AND SPECIFICATIONS. STRUCTURAL MEMBERS ARE NOT SELF SUPPORTING DURING CONSTRUCTION AND REQUIRE TEMPORARY BRACING OR SHORING UNTIL PERMANENTLY AFFIXED TO THE STRUCTURE AS DIRECTED. THE STRUCTURAL ENGINEER AND DESIGNER ASSUMES NO LIABILITY FOR THE STRUCTURE DURING CONSTRUCTION. UNLESS THE CONSTRUCTION METHOD AND BRACING ARE INCLUDED IN THE DRAWINGS AND SPECIFICATIONS, OR ARE SUPERVISED BY THE STRUCTURAL ENGINEER DURING CONSTRUCTION.

RICHARD WASHLEWSKI, P.E.  
1520 CHATEAUWOOD DR.  
CLEARWATER, FL 33764  
(727) 580-4341  
(727) 531-3111-FAX  
Professional Engineer, PE #15586

I HEREBY CERTIFY THAT I HAVE REVIEWED THE ATTACHED DESIGN AND FOUND IT TO BE IN COMPLIANCE WITH THE STRUCTURAL PROVISIONS OF THE FLORIDA BUILDING CODE 2017-6TH EDITION

SEALED FOR STRUCTURAL ONLY



**RONY DESIGN GROUP**  
CERTIFIED PROFESSIONAL BUILDING DESIGNERS

MEMBER  
**A I B D**  
AMERICAN INSTITUTE OF BUILDING DESIGNERS

535 CENTRAL AVENUE, STE. M-1  
917 PETERSBURG, FL 33701  
RGRP@RONYDESIGN.COM  
(727) 922-8600

Est. 1990

**ADDITIONS & REMODELING**  
TO THE  
**RIBNER RESIDENCE**  
2662 44th AVENUE NORTH  
517, PETERSBURG, FLORIDA 33713

REVISIONS

DRAWN BY: STR  
CHECKED BY: RW  
DATE: APRIL 13, 2020

JOB NUMBER  
**19075**  
SHEET NUMBER  
**D2**  
PERMIT

© 2020 Roney Design Group, LLC. All rights reserved. This design is the sole property of RONEY DESIGN GROUP, LLC. Unauthorized use and/or reuse may be prosecuted in accordance with the appropriate copyright and patent laws.

DOOR SCHEDULE							
MARK	SIZE	MATERIAL	TYPE	FRAME	WALL TYPE	REMARKS	MFR.
1	36" x 80" x 1-3/8"	Solid Core Wood	Barndoor w/ Top Track	Cased Opening	Masonry	Style As Selected By Owner	T.B.D.
2	30" x 80" x 1-3/8"	Hollow Core Wood	Raised Panel	Pocket	Wood Frame		

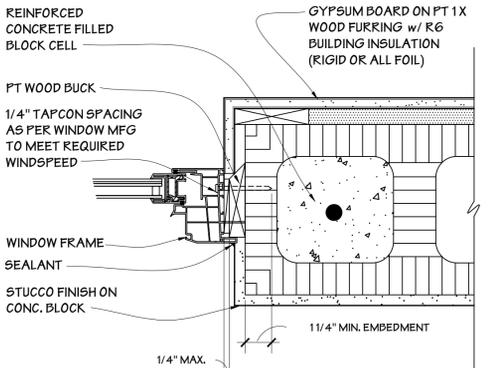
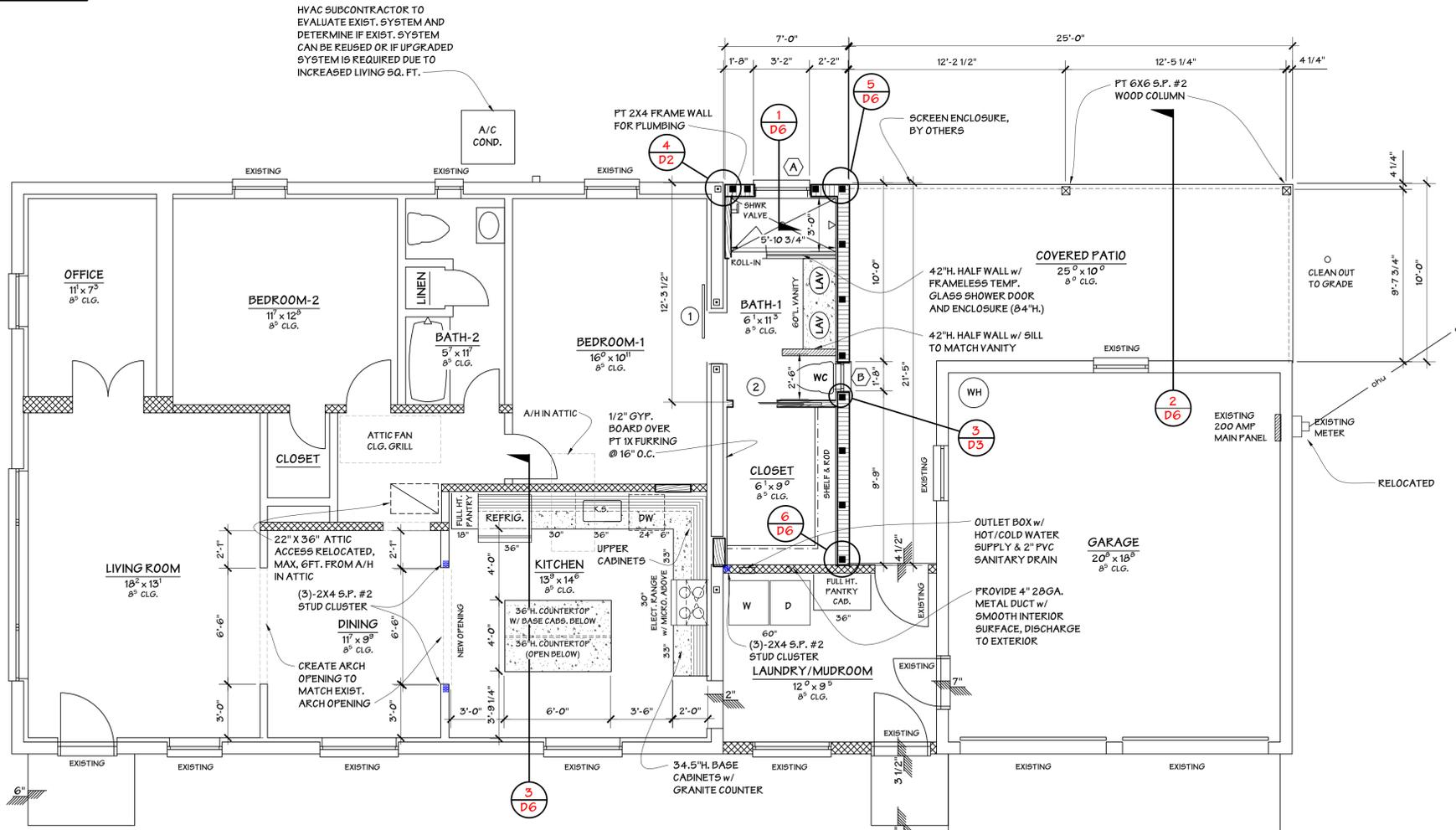
WINDOW SCHEDULE						
MARK	DESIGNATION	SIZE	WINDOW OPENING		REMARKS	HEAD HEIGHT ABOVE FLOOR
			MASONRY	WOOD FRAME		
A	22 Fixed	36" W. x 25" H.	37-3/4" W. x 26" H.	----	Temp. Obscure Glass	6'-8"
A	13 Single Hung	18-1/8" W. x 37-3/8" H.	19-7/8" W. x 38-3/8" H.	----		6'-8"

**WINDOW & DOOR REQUIREMENTS**

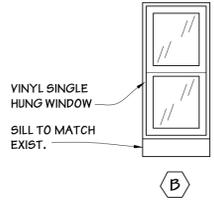
ALL NEW WINDOW AND DOORS (WITH GLASS) OPENINGS MUST USE ONE OF THE FOLLOWING OPTIONS: CHECK SELECTION

- A. WINDOWS & DOORS TO HAVE IMPACT RESISTANT GLASS.
- B. EXTERIOR "HURRICANE SHUTTER" MANUAL OR MECHANICAL OVER ALL WINDOWS.
- C. PRECUT PANELS OF PLYWOOD TO FIT OVER EACH WINDOW LABELED AND PRE-FASTENED PER OPENING. PANELS TO BE STOCKED IN GARAGE. REFER TO SECTION K301.2.1.2 - 2017 FBC, 6TH EDITION.

- WINDOW DESIGNATIONS AS LISTED ABOVE ARE BY PGT-WINGUARD (WHITE - VINYL-50LAR BAN 70XL) SERIES 5500, IMPACT RESISTANT, LOW-E INSULATED - ARGON GAS FILLED, 7/8" IIG (1/8" ANN - 7/16" AIR - 5/16" ANN/ANN/LAMINATED) CERT: 190-231 & 47, OR EQUAL WINDOW MANUFACTURER.
- NEW AND EXISTING MASONRY / ROUGH OPENINGS AS SHOWN ABOVE SHALL BE VERIFIED WITH WINDOW MANUFACTURER UPON FINAL SELECTION OF WINDOWS PRIOR TO MASONRY / FRAME WORK.
- GENERAL CONTRACTOR TO COORDINATE WITH HOME OWNER WINDOW STYLE, COLOR OF FRAME AND COLOR/TINT OF GLAZING PRIOR TO PURCHASE ORDER.
- ALL OPERABLE WINDOWS TO BE PROVIDED WITH INSECT SCREENS - 18 x 16 CHARCOAL
- REFER TO DETAIL 3/D3 FOR WINDOW INSTALLATION.
- ALL INTERIOR WINDOW STOOLS TO BE AS SELECTED BY OWNER.



**3 JAMB DETAIL-MASONRY WALL**  
3" = 1'-0" (HEAD SIMILAR)



**2 EXTERIOR ELEVATION**  
1/2" = 1'-0"

**WALL CONSTRUCTION LEGEND**

- EXISTING WALLS TO REMAIN
- 2 x 4 TYP. (2 x 6 WHERE NOTED) STUD WALL FRAMING SPACED @ 16" O.C. FINISHED ON BOTH FACES WITH 1/2" GYPSUM BOARD, TEXTURE TO MATCH EXISTING
- 2 x 4 OR 2 x 6 INTERIOR BEARING STUD WALL FRAMING
- 8" CONCRETE BLOCK WALL CONSTRUCTION w/ REINFORCED CONCRETE FILLED CELLS w/ (1)-#5 VERTICAL SPACED @ 48" O.C. MAX. FINISH ON INTERIOR AND EXTERIOR AS PER WALL SECTION 1/D6
- INDICATES RETROFITTED REINFORCED CONC. FILLED CELL w/ (1)-#5 VERT. IN EXISTING 8" CONC. BLOCK WALL CONSTRUCTION 6/D2

NOTE: ALL DIMENSIONS TO BE FIELD VERIFIED. DIMENSIONS FOR WINDOWS ARE "GENERIC" AND USED FOR DESIGN PURPOSES ONLY. VERIFY ALL WINDOW OPENINGS w/ WINDOW MANUFACTURER FOR EXACT ROUGH OPENING SIZES. ALL PERIMETER WALLS ARE TO BE CONSIDERED SHEAR WALLS EXCEPT AT DOOR AND WINDOW OPENINGS AND WALL LENGTHS LESS THAN 2'-8".

NOTE: REFER TO MILLWORK DRAWINGS BY OTHERS FOR ALL KITCHEN, LAUNDRY AND BATH CABINETRY

NOTE: FILLED CELL LOCATION ARE BASED ON THE GRAPHICAL LAYOUT OF THIS DESIGN AND SHALL BE ADJUSTED IN THE FIELD PER ACTUAL CONDITIONS AND BLOCK LAYOUT. CELL SPACING SHOULD NOT EXCEED 4'-0" O.C. (U.N.O.)

**GENERAL NOTES TO CONTRACTOR**

- ALL DIMENSIONS AND CONDITIONS OF THE PROJECT SHALL BE VERIFIED BY THE CONTRACTOR WHO SHALL BE RESPONSIBLE FOR SAME ONCE THE CONSTRUCTION HAS BEGUN. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS SHALL BE REPORTED TO THE DESIGNER FOR CORRECTION PRIOR TO THE BEGINNING OF CONSTRUCTION.
- THE STRUCTURAL INTEGRITY OF THE BUILDING / CONSTRUCTION SHOWN ON THESE DRAWINGS IS DEPENDENT UPON THE COMPLETION ACCORDING TO THE DRAWINGS AND SPECIFICATIONS. STRUCTURAL MEMBERS ARE NOT SELF-SUPPORTING DURING CONSTRUCTION AND REQUIRE TEMPORARY BRACING OR SHORING UNTIL PERMANENTLY AFFIXED TO THE STRUCTURE AS DIRECTED. THE STRUCTURAL ENGINEER AND DESIGNER ASSUMES NO LIABILITY FOR THE STRUCTURE DURING CONSTRUCTION, UNLESS THE CONSTRUCTION METHOD AND BRACING ARE INCLUDED IN THE DRAWINGS AND SPECIFICATIONS, OR ARE SUPERVISED BY THE STRUCTURAL ENGINEER DURING CONSTRUCTION.

**1 PROPOSED FLOOR PLAN**  
1/4" = 1'-0"

RICHARD WASHLEWSKI, P.E.  
1520 CHATEAUWOOD DR.  
CLEARWATER, FL 33764  
(727) 580-4341  
(727) 531-3111-FAX  
Professional Engineer, PE #15586

I HEREBY CERTIFY THAT I HAVE REVIEWED THE ATTACHED DESIGN AND FOUND IT TO BE IN COMPLIANCE WITH THE STRUCTURAL PROVISIONS OF THE FLORIDA BUILDING CODE 2017-6TH EDITION

SEALED FOR STRUCTURAL ONLY



**RONY DESIGN GROUP**  
CERTIFIED PROFESSIONAL BUILDING DESIGNERS  
MEMBER A I B D  
535 CENTRAL AVENUE, STE. M-1  
917 PETERSBURG, FL 33701  
RGRP@RONYDESIGN.COM  
(727) 922-8600  
Est. 1990

**ADDITIONS & REMODELING**  
TO THE  
**RIBNER RESIDENCE**  
2662 44th AVENUE NORTH  
ST. PETERSBURG, FLORIDA 33713

REVISIONS

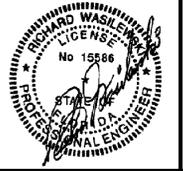
DRAWN BY STR  
CHECKED BY RW  
DATE APRIL 13, 2020

JOB NUMBER  
**19075**  
SHEET NUMBER  
**D3**  
PERMIT

© 2020 Roney Design Group, LLC. All rights reserved. No part of this publication may be reproduced, stored in a retrieval system, or transmitted, in any form or by any means, without the prior written permission of Roney Design Group, LLC. Unpublished and/or course may be prosecuted in accordance with the appropriate copyright and patent laws.

I HEREBY CERTIFY THAT I HAVE REVIEWED THE ATTACHED DESIGN AND FOUND IT TO BE IN COMPLIANCE WITH THE STRUCTURAL PROVISIONS OF THE FLORIDA BUILDING CODE 2017-6TH EDITION

SEALED FOR STRUCTURAL ONLY

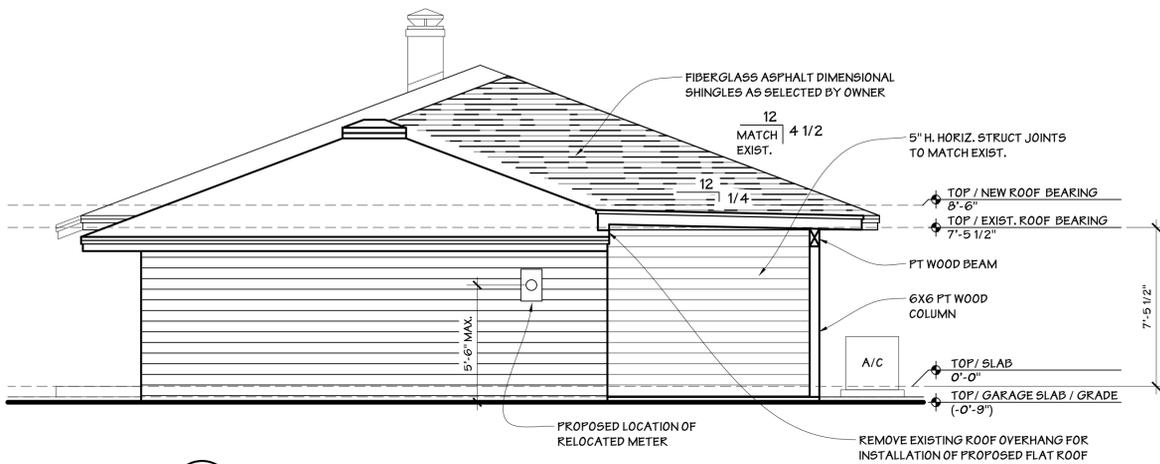


**RONEY DESIGN GROUP**  
 CERTIFIED PROFESSIONAL BUILDING DESIGNERS  
 MEMBER **A I B D**  
 AMERICAN INSTITUTE OF BUILDING DESIGNERS  
 5355 CENTRAL AVENUE, STE. M-1  
 ST. PETERSBURG, FL 33701  
 RGRP@RONEYDESIGN.COM  
 (727) 922-8600  
 Est. 1990



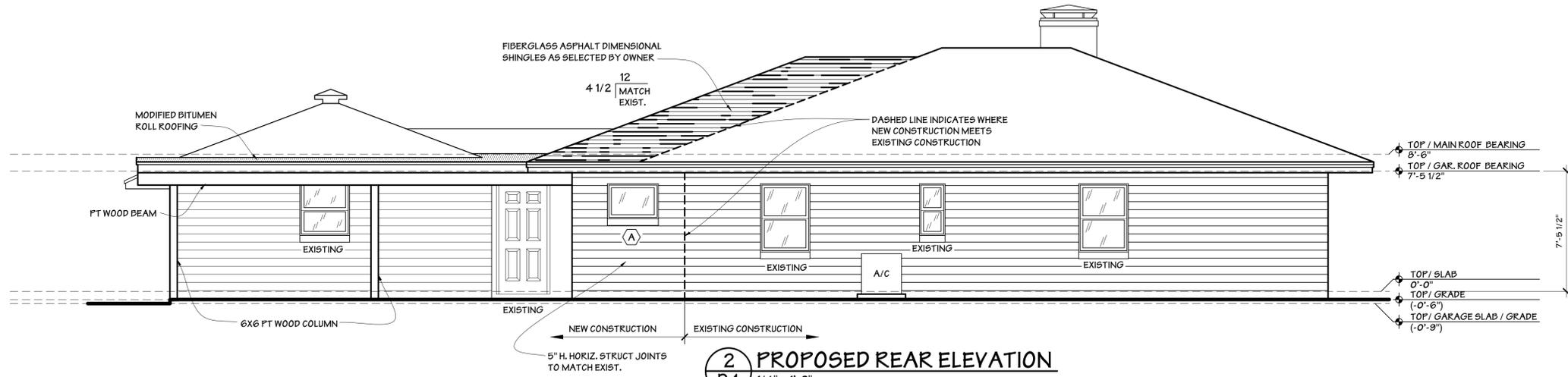
**4 PROPOSED LEFT SIDE ELEVATION**  
 D4 1/4" = 1'-0"

NOTE: FIELD VERIFY VERTICAL HEIGHT DIMENSIONS AND NOTIFY DESIGNER OF ANY CONFLICTS WITH FIELD CONDITIONS PRIOR TO COMMENCEMENT OF WORK.



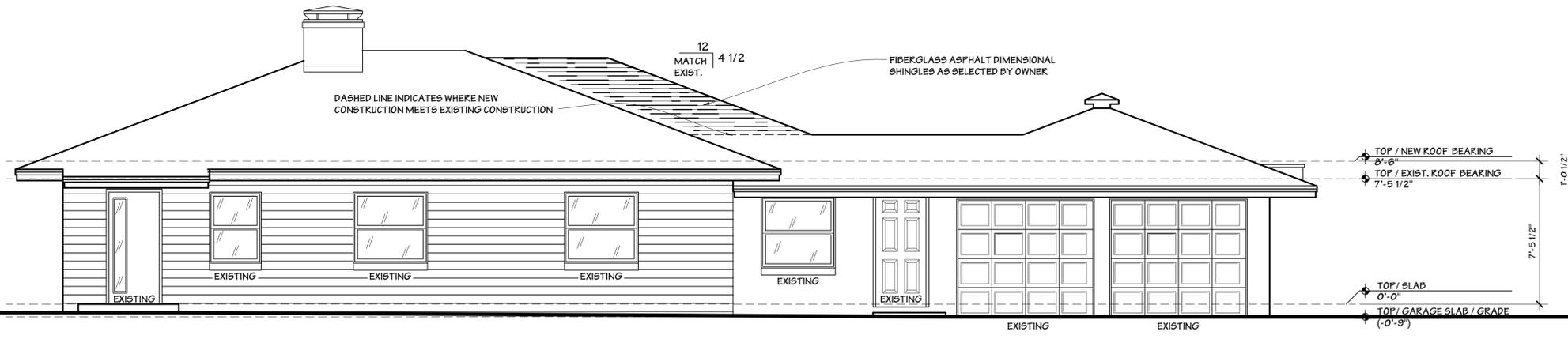
**3 PROPOSED RIGHT SIDE ELEVATION**  
 D4 1/4" = 1'-0"

NOTE: FIELD VERIFY VERTICAL HEIGHT DIMENSIONS AND NOTIFY DESIGNER OF ANY CONFLICTS WITH FIELD CONDITIONS PRIOR TO COMMENCEMENT OF WORK.



**2 PROPOSED REAR ELEVATION**  
 D4 1/4" = 1'-0"

NOTE: FIELD VERIFY VERTICAL HEIGHT DIMENSIONS AND NOTIFY DESIGNER OF ANY CONFLICTS WITH FIELD CONDITIONS PRIOR TO COMMENCEMENT OF WORK.



**1 PROPOSED FRONT ELEVATION**  
 D4 1/4" = 1'-0"

NOTE: FIELD VERIFY VERTICAL HEIGHT DIMENSIONS AND NOTIFY DESIGNER OF ANY CONFLICTS WITH FIELD CONDITIONS PRIOR TO COMMENCEMENT OF WORK.

**GENERAL NOTES TO CONTRACTOR**  
 1. ALL DIMENSIONS AND CONDITIONS OF THE PROJECT SHALL BE VERIFIED BY THE CONTRACTOR WHO SHALL BE RESPONSIBLE FOR SAME ONCE THE CONSTRUCTION HAS BEGUN. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS SHALL BE REPORTED TO THE DESIGNER FOR CORRECTION PRIOR TO THE BEGINNING OF CONSTRUCTION.  
 2. THE STRUCTURAL INTEGRITY OF THE BUILDING / CONSTRUCTION SHOWN ON THESE DRAWINGS IS DEPENDENT UPON THE COMPLETION ACCORDING TO THE DRAWINGS AND SPECIFICATIONS. STRUCTURAL MEMBERS ARE NOT SELF SUPPORTING DURING CONSTRUCTION AND REQUIRE TEMPORARY BRACING OR SHORING UNTIL PERMANENTLY AFFIXED TO THE STRUCTURE AS DIRECTED. THE STRUCTURAL ENGINEER AND DESIGNER ASSUMES NO LIABILITY FOR THE STRUCTURE DURING CONSTRUCTION, UNLESS THE CONSTRUCTION METHOD AND BRACING ARE INCLUDED IN THE DRAWINGS AND SPECIFICATIONS, OR ARE SUPERVISED BY THE STRUCTURAL ENGINEER DURING CONSTRUCTION.

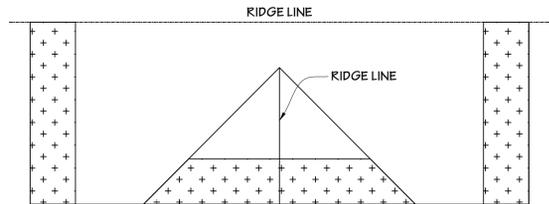
© 2020 Roney Design Group, L.L.C. All rights reserved. No part of this drawing may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Roney Design Group, L.L.C. Unauthorized use and/or reuse may be prosecuted in accordance with the appropriate copyright and patent laws.

**ADDITIONS & REMODELING**  
 TO THE  
**RIBNER RESIDENCE**  
 2662 44th AVENUE NORTH  
 ST. PETERSBURG, FLORIDA 33713

REVISIONS

DRAWN BY STR  
 CHECKED BY RW  
 DATE APRIL 13, 2020

JOB NUMBER  
**19075**  
 SHEET NUMBER  
**D4**  
 PERMIT

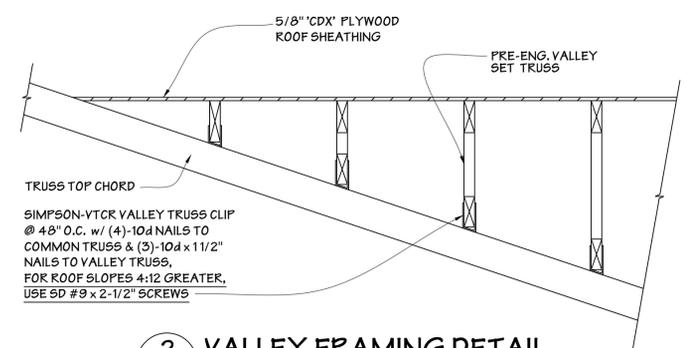


LOCATION	NAIL SIZE		NAIL SPACING
	1/2" PLYWD.	5/8" PLYWD.	
GABLE ENDS EDGE	8d	10d	4"
GABLE ENDS FIELD	8d	10d	8"
OTHER - EDGES	8d	10d	6"
OTHER - FIELD	8d	10d	12"

NOTE:  
 1) SEE STRUCTURAL NOTES FOR SHEATHING SPECIFICATIONS.  
 2) END JOINTS OF THE ROOF SHEATHING SHALL BE STAGGERED AND OCCUR OVER FRAMING MEMBER.

### 3 ROOF DIAPHRAGM NAILING

D5 3/4" = 1'-0"

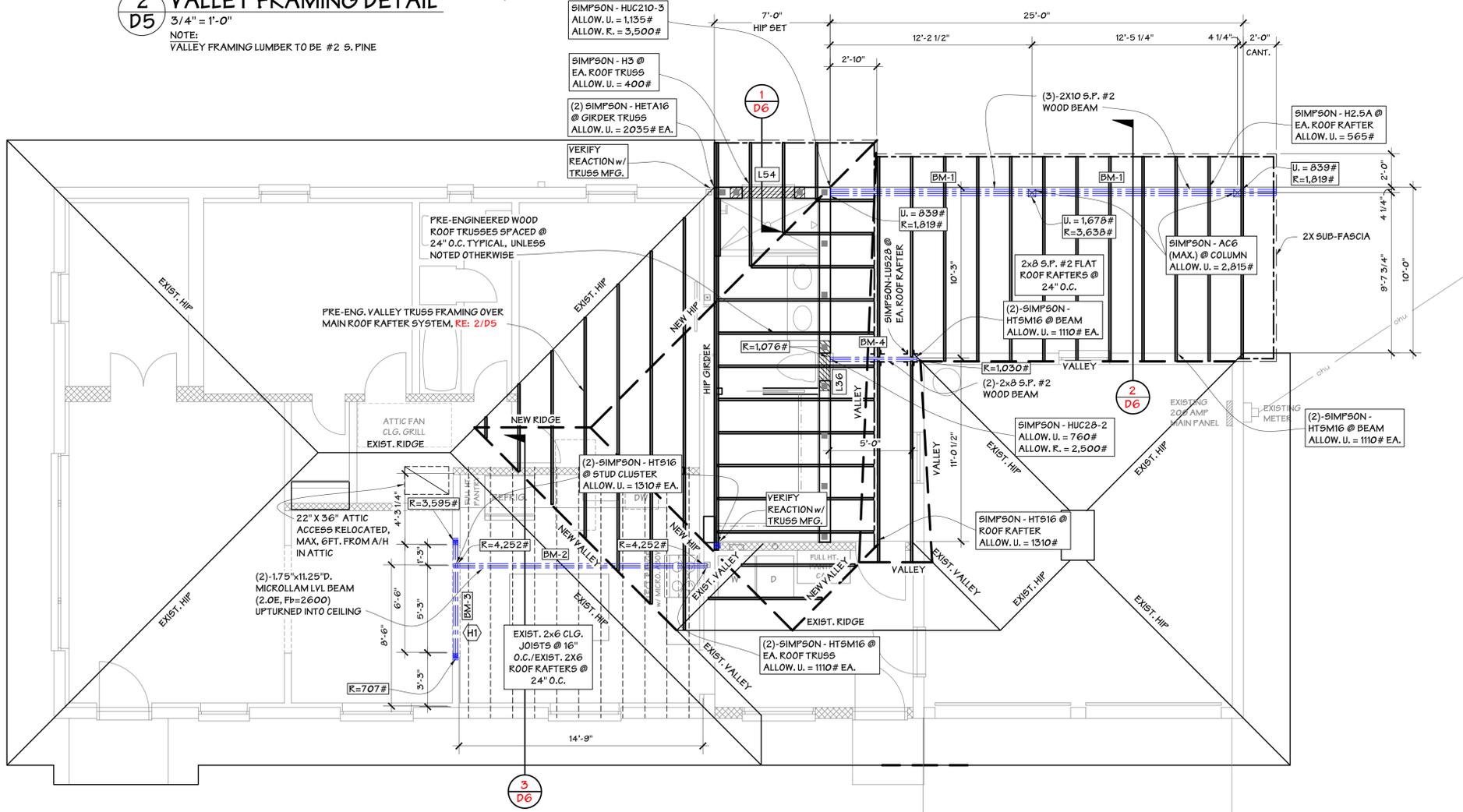


SIMPSON-VTR VALLEY TRUSS CLIP @ 48" O.C. w/ (4)-10d NAILS TO COMMON TRUSSES & (3)-10d x 1 1/2" NAILS TO VALLEY TRUSS. FOR ROOF SLOPES 4:12 GREATER, USE SD #9 x 2-1/2" SCREWS

### 2 VALLEY FRAMING DETAIL

D5 3/4" = 1'-0"

NOTE: VALLEY FRAMING LUMBER TO BE #2 S. PINE



**GENERAL ROOF & FLOOR TRUSS NOTES:**

- G.C. TO SUBMIT TRUSS ENGINEERING, INCLUDING UPLIFTS & REACTIONS TO DESIGNER/ENGINEER FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.
- TRUSS LAYOUT IS DIAGRAMMATIC ONLY. TRUSS LAYOUT FROM TRUSS COMPANY MUST BE REVIEWED/APPROVED PRIOR TO CONSTRUCTION.
- ADDITIONAL TRUSS HARDWARE MAY BE REQUIRED BASED ON APPROVED TRUSS LAYOUT.
- FOUNDATION AND VERTICAL STRUCTURAL SUPPORTS MAY CHANGE AS A RESULT OF FINAL TRUSS ENGINEERING PROVIDED. REVISIONS SHALL BE COMMUNICATED IN WRITING.

**CMU LINTEL LEGEND**

L7B INDICATES AN 8" x 8" PRE-CAST LINTEL. THE NUMBER IN THE RECTANGLE INDICATES THE LENGTH OF THE LINTEL IN INCHES.

IF THE NUMBER IS FOLLOWED BY AN "R" IT INDICATES THAT THE BOTTOM OF THE LINTEL SHOULD HAVE A 2" RECESS TO ALLOW INSTALLATION OF A DOOR FRAME.

L7B+R

- UNLESS NOTED OTHERWISE ON THE ROOF FRAMING PLAN, ALL LINTELS ARE CALCULATED TO ACT AS A COMPOSITE BEAM WITH AN 8" CMU BOND BEAM COURSE ABOVE, FILLED SOLID WITH 3,000 PSI CONCRETE AND REINFORCED W/ (1)-#5 HORIZONTAL REBAR.
- THE VERTICAL CELLS AT BOTH SIDES OF EACH MASONRY OPENING SHALL BE FILLED SOLID WITH 3,000 PSI CONCRETE AND REINFORCED W/ (1)-#5 VERTICAL REBAR. FOR SPANS GREATER THAN 12', THE (2) VERTICAL CELLS AT BOTH SIDES OF THE OPENING SHALL BE FILLED SOLID & REINFORCED WITH (1)-#5 VERTICAL REBAR IN EACH CELL.
- ALL LINTELS ARE CAST-CRETE BRAND PRODUCTS OR EQUAL.

**LEGEND**

INDICATES LOCATION OF CONC. FILLED P.C. LINTEL W/ #5 CONT. MIN. BEARING OF 8" AT EACH END

INDICATES EXISTING STUD BEARING WALL CONST. TO REMAIN, U.N.O.

**WOOD HEADER SCHEDULE**

MARK	SPAN	SIZE
H1	CUSTOM, SEE PLAN	(2)-2X12 S.P. #2

**NAILING PATTERNS**

**PLYWOOD WALL SHEATHING TO STUDS:**  
 1/2" PLYWOOD SHEATHING NAILED WITH 8d COMMON OR 8d HOT DIPPED GALV. BOX NAILS @ 6" O.C. EDGE NAIL (EN) AND BOUNDARY NAIL (BN), 12" O.C. FIELD NAIL (FN)

**PLYWOOD ROOF SHEATHING TO TRUSSES:**  
 5/8" PLYWOOD SHEATHING NAILED WITH 10d HOT DIPPED GALVANIZED RING SHANK NAILS @ 6" O.C. EDGE NAIL (EN) AND BOUNDARY NAIL (BN), 12" O.C. FIELD NAIL (FN) - TYPICAL. AT ALL OVERHANGS AND WITHIN 6" OF ALL EAVES NAIL WITH 10d HOT DIPPED GALVANIZED RING SHANK NAILS @ 4" O.C. EDGE NAIL (EN) AND BOUNDARY NAIL (BN), 8" O.C. FIELD NAIL (FN).

- REFER TO DETAIL 4/D6 FOR TYPICAL WOOD HEADER CONSTRUCTION
- ALL HEADERS TO HAVE 1/2" PLYWOOD SPACER
- ALL 1ST FLOOR LUMBER TO BE PRESSURE TREATED.
- ALL LUMBER TO BE S.P. #2 GRADE.

### 1 ROOF FRAMING PLAN

D5 1/4" = 1'-0"

**GENERAL NOTES TO CONTRACTOR**

- ALL DIMENSIONS AND CONDITIONS OF THE BUILDING / CONSTRUCTION SHOWN ON THESE DRAWINGS IS DEPENDENT UPON THE COMPLETION ACCORDING TO THE DRAWINGS AND SPECIFICATIONS. STRUCTURAL MEMBERS ARE NOT SELF SUPPORTING DURING CONSTRUCTION AND REQUIRE TEMPORARY BRACING OR SHORING UNTIL PERMANENTLY ATTACHED TO THE STRUCTURE AS DIRECTED. THE STRUCTURAL ENGINEER AND DESIGNER ASSUMES NO LIABILITY FOR THE STRUCTURE DURING CONSTRUCTION UNLESS THE CONSTRUCTION METHOD AND BRACING ARE INCLUDED IN THE DRAWINGS AND SPECIFICATIONS, OR ARE SUPERVISED BY THE STRUCTURAL ENGINEER DURING CONSTRUCTION.

RICHARD WASHLEWSKI, P.E.  
 1520 CHATEAUWOOD DR.  
 CLEARWATER, FL 33764  
 (727) 580-4341  
 (727) 531-3111-FAX  
 Professional Engineer, PE #15586

I HEREBY CERTIFY THAT I HAVE REVIEWED THE ATTACHED DESIGN AND FOUND IT TO BE IN COMPLIANCE WITH THE STRUCTURAL PROVISIONS OF THE FLORIDA BUILDING CODE 2017-6TH EDITION

SEALED FOR STRUCTURAL ONLY



**RONNEY DESIGN GROUP**  
 CERTIFIED PROFESSIONAL BUILDING DESIGNERS

MEMBER  
**A I B D**  
 AMERICAN INSTITUTE OF BUILDING DESIGNERS

5535 CENTRAL AVENUE, STE. M-1  
 917 PETERSBURG, FL 33701  
 RGRP@RONNEYDESIGN.COM  
 (727) 922-8600  
 Est. 1990

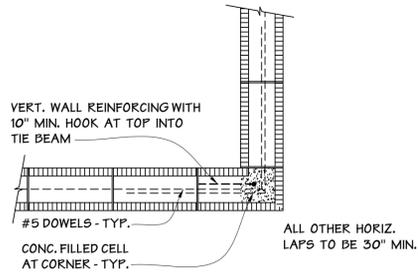
**ADDITIONS & REMODELING**  
 TO THE  
**RIBNER RESIDENCE**  
 2662 44th AVENUE NORTH  
 ST. PETERSBURG, FLORIDA 33713

REVISIONS

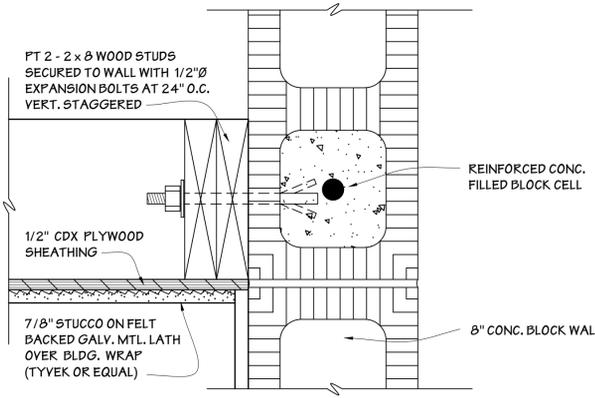
DRAWN BY: STR  
 CHECKED BY: RW  
 DATE: APRIL 13, 2020

JOB NUMBER  
**19075**  
 SHEET NUMBER  
**D5**  
 PERMIT

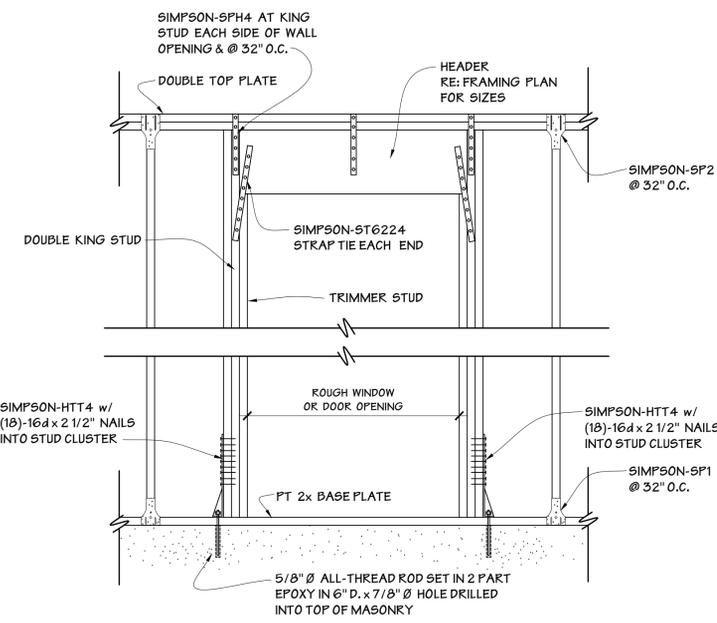
© 2020 Ronney Design Group, LLC. All rights reserved. This drawing is the sole property of RONNEY DESIGN GROUP, LLC. Unauthorized use and/or reuse may be prosecuted in accordance with the appropriate copyright and patent laws.



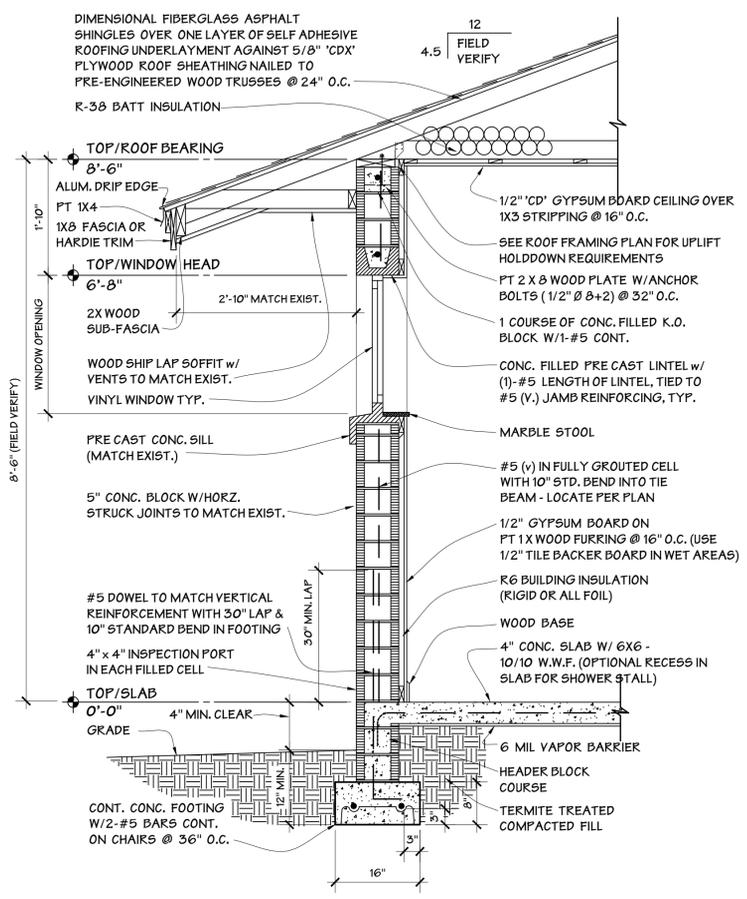
**5 CORNER CONTINUITY DETAIL** (AT K.O. COURSE TIE BEAM)  
 D6 3/4" = 1'-0"



**6 SHEAR WALL TO MASONRY CONNECTION**  
 D6 3" = 1'-0"

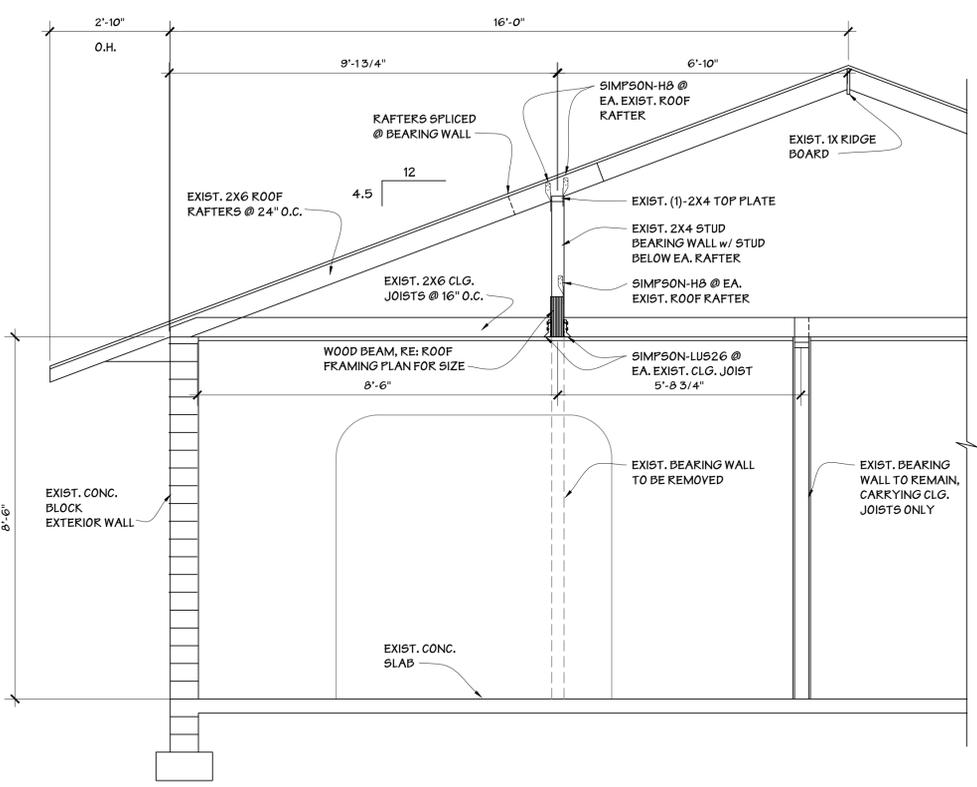


**4 R.O. FRAMING DETAIL**  
 D6 3/4" = 1'-0"

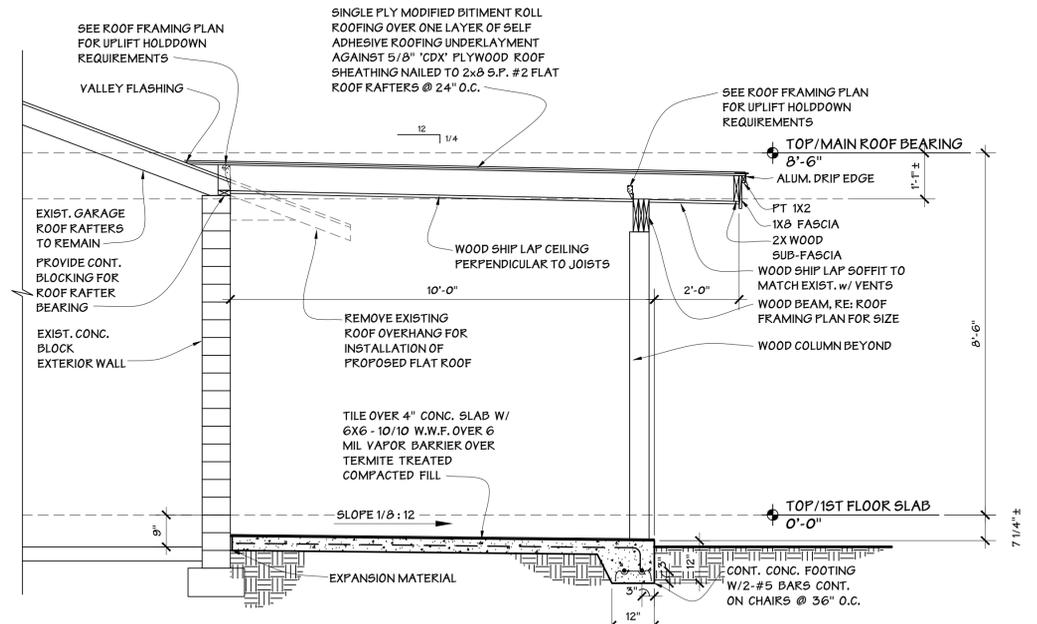


**1 WALL SECTION**  
 D6 3/4" = 1'-0"

NOTE:  
 ALL CMU TO BE 5" HIGH TO MATCH EXIST.



**3 SECTION @ KITCHEN**  
 D6 1/2" = 1'-0"



**2 SECTION @ PATIO**  
 D6 1/2" = 1'-0"

**GENERAL NOTES TO CONTRACTOR**  
 1. ALL DIMENSIONS AND CONDITIONS OF THE PROJECT SHALL BE VERIFIED BY THE CONTRACTOR WHO SHALL BE RESPONSIBLE FOR SAME ONCE THE CONSTRUCTION HAS BEGUN. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS SHALL BE REPORTED TO THE DESIGNER FOR CORRECTION PRIOR TO THE BEGINNING OF CONSTRUCTION.  
 2. THE STRUCTURAL INTEGRITY OF THE BUILDING / CONSTRUCTION SHOWN ON THESE DRAWINGS IS DEPENDENT UPON THE COMPLETION ACCORDING TO THE DRAWINGS AND SPECIFICATIONS. STRUCTURAL MEMBERS ARE NOT SELF SUPPORTING DURING CONSTRUCTION AND REQUIRE TEMPORARY BRACING OR SHORING UNTIL PERMANENTLY AFFIXED TO THE STRUCTURE AS DIRECTED. THE STRUCTURAL ENGINEER AND DESIGNER ASSUMES NO LIABILITY FOR THE STRUCTURE DURING CONSTRUCTION. UNLESS THE CONSTRUCTION METHOD AND BRACING ARE INCLUDED IN THE DRAWINGS AND SPECIFICATIONS, OR ARE SUPERVISED BY THE STRUCTURAL ENGINEER DURING CONSTRUCTION.

RICHARD WASHLEWSKI, P.E.  
 1520 CHATEAUWOOD DR.  
 CLEARWATER, FL 33764  
 (727) 580-4341  
 (727) 531-3111-FAX  
 Professional Engineer, PE #15586

I HEREBY CERTIFY THAT I HAVE REVIEWED THE ATTACHED DESIGN AND FOUND IT TO BE IN COMPLIANCE WITH THE STRUCTURAL PROVISIONS OF THE FLORIDA BUILDING CODE 2017-6TH EDITION

SEALED FOR STRUCTURAL ONLY



**RONNEY DESIGN GROUP**  
 CERTIFIED PROFESSIONAL BUILDING DESIGNERS  
 MEMBER AIBD  
 5935 CENTRAL AVENUE, STE. M-1  
 917 PETERSBURG, FL 33701  
 RGRFP@RONNEYDESIGN.COM  
 (727) 922-9600  
 Est. 1990

**ADDITIONS & REMODELING**  
 TO THE  
**RIBNER RESIDENCE**  
 2662 4TH AVENUE NORTH  
 ST. PETERSBURG, FLORIDA 33773

REVISIONS

DRAWN BY STR  
 CHECKED BY RW  
 DATE APRIL 13, 2020

JOB NUMBER  
**19075**  
 SHEET NUMBER  
**D6**  
 PERMIT

© 2020 Ronney Design Group, LLC. All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Ronney Design Group, LLC. Unpublished and/or confidential information may be included herein.

GENERAL NOTES TO CONTRACTOR & HOMEOWNER

- 1. IT IS THE CONTRACTORS RESPONSIBILITY TO REVIEW ALL DRAWINGS BEFORE CONSTRUCTION BEGINS. THE ENGINEER OF RECORD IS RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF THIS PROJECT ONLY. ANY DISCREPANCY BETWEEN FIELD CONDITIONS, OTHER DESIGN PROFESSIONALS' SHOP DRAWINGS, CONTRACTORS' BUILDING METHODS, AND THESE SIGNED AND SEALED DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF THE DESIGNER AND ENGINEER OF RECORD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
2. ENGINEER ASSUMES NO RESPONSIBILITIES FOR ANY EXISTING CONDITIONS (U.N.O.) NOT ASSOCIATED WITHIN THE SCOPE OF WORK OF THIS PROJECT.
3. THE CONTRACTOR SHALL CONSULT WITH RONEY DESIGN GROUP, LLC PRIOR TO SUGGESTING ANY DESIGN CHANGES TO THE OWNER.
4. DO NOT SCALE DIMENSIONS FOR CONSTRUCTION PURPOSES. THE PLANS ARE DRAWN TO SCALE INDICATED ON EACH DRAWING. IF THE PLANS ARE UNCLEAR OR THE CONTRACTOR IS NOT CERTAIN OF THE INTENT OF ANY PART OF THE DRAWINGS, THE CONTRACTOR SHALL COORDINATE WITH RONEY DESIGN GROUP, LLC PRIOR TO PROCEEDING.
5. BUILDER TO PROVIDE RONEY DESIGN GROUP, LLC FINAL ENGINEERED TRUSS DRAWINGS SEALED BY TRUSS ENGINEER PRIOR TO CONSTRUCTION. FOUNDATION AND VERTICAL STRUCTURAL SUPPORTS MAY CHANGE AS A RESULT OF FINAL TRUSS ENGINEERING PROVIDED. REVISIONS SHALL BE COMMUNICATED IN WRITING.
6. RONEY DESIGN GROUP, LLC RESERVES THE RIGHT TO MAKE SUBSTITUTIONS TO ANY CONNECTOR SPECIFIED AFTER SUBMITTAL OF FINAL SIGNED AND SEALED TRUSS DRAWINGS HAVE BEEN PROVIDED FOR REVIEW.
7. BUILDER SHALL REVIEW THE FULL EXTENT OF THE INTENDED SCOPE OF WORK WITH RONEY DESIGN GROUP, LLC PRIOR TO CONSTRUCTION.
8. FINAL APPROVED TRUSS DRAWINGS MAY REQUIRE ADDITIONAL FOUNDATION SUPPORTS, COLUMNS, AND BEAMS NOT SHOWN ON PERMIT PLANS. BUILDER IS RESPONSIBLE FOR ANY REVISIONS PRIOR TO FINAL TRUSS APPROVAL.
9. IT IS IMPORTANT THAT THE CLIENT AND CONTRACTOR EXAMINE THE DRAWINGS AND DOCUMENTS CAREFULLY. PLANS ARE PREPARED TO MEET CODE REQUIREMENTS IN PLACE AT TIME OF AGREEMENT DATE. CHANGES IN BUILDING OR ZONING CODES, MADE AFTER AGREEMENT DATE, MAY REQUIRE A CHANGE IN SCOPE OF WORK. IT SHALL BE THE FINAL RESPONSIBILITY OF THE CONTRACTOR TO REVIEW AND CHECK THE PLANS FOR ACCURACY AND COMPLIANCE WITH CODES, ZONING AND THE REQUIREMENTS OF ANY OTHER REGULATORY AGENCIES, BEFORE OBTAINING A BUILDING PERMIT. RONEY DESIGN GROUP, LLC SHALL BE NOTIFIED OF ANY DISCREPANCIES BEFORE THE EXECUTION OF THE CONSTRUCTION CONTRACT AND THE COMMENCEMENT OF WORK. RONEY DESIGN GROUP, LLC SHALL ASSUME NO RESPONSIBILITY FOR MISINTERPRETATION, OR UNAUTHORIZED DEVIATION FROM THE DOCUMENTS. CONTRACTOR SHALL DETERMINE METHODS OF CONSTRUCTION. IT IS CUSTOMARY AND ORDINARY TO OMIT CERTAIN DETAILS WELL WITHIN THE COMMON KNOWLEDGE OF THE CONTRACTOR. IF A DETAIL IS OMITTED FROM DESIGN OR DRAWINGS FOR WHICH THE CONTRACTOR NEEDS FURTHER EXPLANATION, THE CONTRACTOR SHOULD DETERMINE THE SOLUTION WITH THE DESIGNER BEFORE SIGNING THE CONSTRUCTION CONTRACT. OTHERWISE THE CONTRACTOR ASSUMES RESPONSIBILITY AND LIABILITY FOR THE CONSTRUCTION IN QUESTION.
10. THE CONTRACTOR IS REQUIRED TO VISIT THE RESIDENCE DURING THE BIDDING PROCESS TO FAMILIARIZE THEMSELVES AND THEIR SUB-CONTRACTORS WITH THE EXISTING CONDITIONS OF THE RESIDENCE AND COMPARE WITH THE PROPOSED IMPROVEMENTS. WHILE THERE MAY BE CONCEALED ITEMS NOT READILY ACCESSIBLE, THE CONTRACTOR SHALL NOTIFY AND RECEIVE AUTHORIZATION FROM THE HOMEOWNER IF ANY EXPLORATORY DEMOLITION IS NECESSARY FOR THE ACCURATE PREPARATION OF THEIR BID. SUCH EXPLORATORY DEMOLITION SHALL BE REPAIRED AS DIRECTED BY THE HOMEOWNER. UPON THIS SITE REVIEW, THE CONTRACTOR SHALL NOTIFY THE BUILDING DESIGNER IF ANY MODIFICATIONS TO THE PROPOSED CONSTRUCTION DOCUMENTS ARE NECESSARY. FAILURE TO DO SO, THE CONTRACTOR ASSUMES ALL FIELD CONDITIONS AS CORRECT AS DRAWN IF NOT REPORTED TO THE DESIGNER FOR MODIFICATION OR CORRECTION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
11. CONTRACTOR SHALL SECURE AND PROVIDE ALL NECESSARY PERMITS.
12. CONTRACTOR SHALL MAINTAIN A CLEAN CONSTRUCTION SITE AND SHALL REMOVE TRASH ON A CONTINUAL BASIS.
13. ALL MATERIALS TO BE SUPPLIED BY CONTRACTOR FOR THE PROJECT SHALL BE NEW, OF QUALITY GRADE, UNLESS AGREED UPON BY OWNER AND CONTRACTOR.
14. EACH COMPONENT OF WORK SHALL BE PERFORMED IN A PROFESSIONAL AND WORKMANSHIP MANNER TO THE STANDARDS OF THE CONSTRUCTION INDUSTRY.
15. CONTRACTOR MAY DISCOVER CONCEALED EXISTING CONDITIONS WHICH REQUIRE THE CONTRACTOR TO PERFORM ADDITIONAL WORK NOT INCLUDED IN THE SCOPE OF WORK. OWNER UNDERSTANDS AND ACCEPTS THAT THIS IS AN INHERENT RISK IN ANY REMODELING PROJECT. CONTRACTOR AGREES TO PROVIDE REASONABLE AND TIMELY NOTICE UPON CONFIRMATION BY CONTRACTOR THAT ADDITIONAL WORK BEYOND THE SCOPE OF WORK WILL BE REQUIRED. UNDER NO CIRCUMSTANCES SHALL ANY STRUCTURAL OR OTHER CHANGES BE MADE WITHOUT NOTICE TO THE DESIGNER FOR APPROVAL AND / OR DRAWING REVISIONS THAT MAY BE REQUIRED FOR PERMIT RE-SUBMITTAL. A WRITTEN CHANGE ORDER SHALL THEN BE PRESENTED TO THE OWNER AND FOR WRITTEN APPROVAL PRIOR TO THE COMMENCEMENT OF SUCH CHANGES.
16. SUBSTITUTIONS OF FINISH MATERIALS WILL NOT BE MADE WITHOUT THE OWNERS' AND DESIGNER'S AUTHORIZATION.
17. REUSING EXISTING MATERIALS, FIXTURES OR APPLIANCES - THE OWNER MAY REQUEST THE CONTRACTOR TO REMOVE, RELOCATE AND/OR REINSTALL EXISTING MATERIALS, FIXTURES, DEVICES AND APPLIANCES AS MAY BE DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR MAKES NO GUARANTEE FOR THE SUCCESSFUL REUSE OR THE CONTINUED OPERATION OF ANY SUCH ITEM OR DEVICE AND IS SPECIFICALLY NOT RESPONSIBLE FOR THE DIAGNOSIS OR REPLACEMENT OF ANY SUCH FAILED MATERIALS, FIXTURES, DEVICES OR APPLIANCE.

GENERAL NOTES TO CONTRACTOR
1. ALL DIMENSIONS AND CONDITIONS OF THE PROJECT SHALL BE VERIFIED BY THE CONTRACTOR WHO SHALL BE RESPONSIBLE FOR SAME ONCE THE CONSTRUCTION HAS BEGUN. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS SHALL BE REPORTED TO THE DESIGNER FOR CORRECTION PRIOR TO THE BEGINNING OF CONSTRUCTION.
2. THE STRUCTURAL INTEGRITY OF THE BUILDING / CONSTRUCTION SHOWN ON THESE DRAWINGS IS DEPENDENT UPON THE COMPLETION ACCORDING TO THE DRAWINGS AND SPECIFICATIONS. STRUCTURAL MEMBERS ARE NOT SELF SUPPORTING DURING CONSTRUCTION AND REQUIRE TEMPORARY BRACING OR SHORING UNTIL PERMANENTLY AFFIXED TO THE STRUCTURE AS DIRECTED. THE STRUCTURAL ENGINEER AND DESIGNER ASSUMES NO LIABILITY FOR THE STRUCTURE DURING CONSTRUCTION UNLESS THE CONSTRUCTION METHOD AND BRACING ARE INCLUDED IN THE DRAWINGS AND SPECIFICATIONS, OR ARE SUPERVISED BY THE STRUCTURAL ENGINEER DURING CONSTRUCTION.

CONCRETE AND MASONRY SPECIFICATIONS

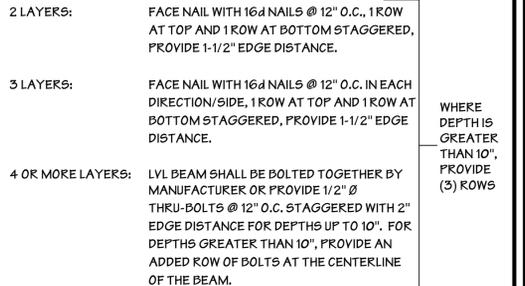
- 1. FOUNDATION DESIGN BASIS: CONTINUOUS STRIP FOOTINGS AND SPREAD FOOTINGS ARE DESIGNED WITH AN ALLOWABLE SOIL BEARING PRESSURE OF 1,500 psf. IF SOIL OF THIS CAPACITY IS NOT OBTAINABLE, NOTIFY THE DESIGNER FOR CORRECTIVE DETAILS OR ALTERNATIVE MEASURES.
2. THE STANDARDS OF THE ACI BUILDING CODE, 318-89 AND THE MANUAL OF STANDARD PRACTICE, ACI-315-74, SHALL BE FOLLOWED FOR ALL DETAILING, FABRICATION AND PLACEMENT OF ALL REINFORCING STEEL AND ACCESSORIES.
3. ALL CAST-IN-PLACE CONCRETE SHALL BE NORMAL WEIGHT AND HAVE A COMPRESSIVE STRENGTH OF 3,000 psi AT 28 DAYS FOR FOOTINGS AND SLABS AND 3,000 psi AT 28 DAYS FOR SIDEWALKS AND DRIVEWAYS.
4. ALL REINFORCING STEEL TO BE NEW DOMESTIC DEFORMED BILLET STEEL CONFORMING TO ASTM A-615, GRADE 60 FOR BARS # 6 AND LARGER, GRADE 40 FOR BARS # 5 AND SMALLER. PROVIDE A MINIMUM LAP SPICE OF 50 BAR DIAMETERS, UNLESS NOTED OTHERWISE, FOR ALL REINFORCING STEEL SPICES.
5. PROVIDE PROPERLY TIED SPACERS, CHAIRS, BOLSTERS, ETC. AS REQUIRED AND NECESSARY TO ASSEMBLE, PLACE AND SUPPORT ALL REINFORCING IN PLACE.
6. REINFORCING BAR CLEAR COVERAGE: 3" - CONCRETE CAST AGAINST EARTH AND 1-1/2" - CONCRETE CAST IN FORMWORK.
7. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-105 AND SHALL BE 6x6 - 10'10" max ft. AS AN ALTERNATIVE TO THE WIRE FABRIC. GLASS FIBER TYPE REINFORCEMENT ADDED TO THE CONCRETE MIX CAN BE USED TO REINFORCE CONCRETE SLABS ONLY IF IT IS AN APPROVED METHOD WITH THE BUILDING DEPARTMENT HAVING JURISDICTION.
8. VAPOR BARRIER: PLACE A 6 MIL CLEAR POLYETHYLENE FILM UNDER ALL INTERIOR LIVING SPACE SLABS WITH A MINIMUM 12" OVERLAP. CARE SHOULD BE TAKEN TO NOT PUNCTURE THE VAPOR BARRIER.
9. SOIL ON WHICH NEW INTERIOR FLOOR SLABS BEAR SHALL BE POISONED FOR THE PREVENTION OF SUBTERRANEAN TERMITES WITH E.P.A. APPROVED CHEMICALS SUCH AS DURSBAN TO OR EQUAL. APPLY A 10% SOLUTION TO REQUIRED AREAS AT A RATE OF 1 GALLON PER 10 SQUARE FEET FOR UNDER SLAB AREAS AND 2 GALLONS PER 10 LINEAR FEET IN THE BLOCK CELL OF THE FOUNDATION WALLS.
10. ALL FOOTINGS AND SLABS SHALL BEAR ON CLEAN COMPACTED SOIL, COMPACTED TO 95% MODIFIED PROCTOR.
11. ALL CONCRETE BLOCK TO BE 8" NOMINAL, STANDARD WEIGHT UNITS, USING TYPE 'S' OR 'M' MORTAR, ASTM C 270, UNLESS OTHERWISE NOTED.
12. MASONRY CONSTRUCTION STANDARDS TO FOLLOW SHALL BE THE NATIONAL CONCRETE MASONRY ASSOCIATION AND THE AMERICAN CONCRETE INSTITUTE 531-79.
13. MINIMUM NET AREA COMPRESSIVE STRENGTH OF CONCRETE BLOCK SHALL BE 1,900 psi, ASTM C90.
14. GROUT FOR REINFORCED BLOCK CELLS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 psi (min.) AT 28 DAYS WITH 3/8" max. COURSE AGGREGATE SIZE AND PLACED WITH A 8-1/2" INCH SLUMP, IN ACCORDANCE WITH ASTM C 476. PROVIDE INSPECTION HOLES AT THE BOTTOM OF CELL AS REQUIRED.
15. CONCRETE BLOCK UNITS SHALL BE PLACED IN A RUNNING BOND PATTERN CONSTRUCTION WITH 9 - GAGE TRUSS OR LADDER TYPE HORIZONTAL JOINT REINFORCING PLACED IN THE BED JOINTS @ 16" o.c. VERTICALLY.
16. PRECAST CONCRETE WINDOW SILLS AND 'U' LINTELS SHALL BE AS MANUFACTURED BY CAST-CRETE, TAMPA, FLORIDA OR EQUAL. WINDOW SILLS TO BE THE 'THIN UTILITY SILL' PROFILE.
17. POURED CONCRETE DRIVEWAYS TO RECEIVE EXPANSION JOINTS AND / OR SAW CUTS TO CONTROL CRACKING. JOINTS TO BE 10'-0" o.c. MAX ALONG DRIVEWAY LENGTH & ONE DOWN THE CENTER LINE OF DRIVEWAY.

TERMITE TREATMENT

- 1. A PERMANENT SIGN WHICH IDENTIFIES THE TREATMENT PROVIDER AND NEED FOR RE-INSPECTION AND TREATMENT CONTRACT RENEWAL SHALL BE PROVIDED. THE SIGN SHALL BE POSTED NEAR WATER HEATER OR ELECTRIC PANEL.
2. CONDENSATE AND ROOF DOWNSPOUTS SHALL DISCHARGE AT LEAST 1'-0" AWAY FROM BUILDING SIDEWALLS.
3. IRRIGATION / SPRINKLER SYSTEMS INCLUDING ALL RISERS AND SPRAY HEADS SHALL NOT BE INSTALLED WITHIN 1'-0" OF BUILDING SIDEWALLS.
4. DISTANCE BETWEEN WOOD SIDING AND FINAL EARTH GRADE SHALL NOT BE LESS THAN 6 INCHES EXCEPT WHERE SIDING, SHEATHING AND WALL FRAMING ARE OF APPROVED PRESERVATIVE-TREATED WOOD OR APPROVED NATURALLY DURABLE WOOD.
5. INITIAL TERMITE TREATMENT SHALL BE DONE AFTER ALL EXCAVATION AND BACKFILL ARE COMPLETE.
6. SOIL DISTURBED AFTER THE INITIAL TREATMENT SHALL BE RETREATED, INCLUDING SPACES BOXED OR FORMED.
7. BOXED AREAS IN CONCRETE FLOORS FOR SUBSEQUENT INSTALLATION OF TRAPS, ETC., SHALL BE MADE WITH PERMANENT METAL OR PLASTIC FORMS. PERMANENT FORMS MUST BE OF A SIZE AND DEPTH THAT WILL ELIMINATE THE DISTURBANCE OF SOIL AFTER THE INITIAL TREATMENT.
8. WHERE CONCRETE SLABS ARE TO BE PLACED A MINIMUM 6 MIL VAPOR BARRIER MUST BE INSTALLED TO PROTECT TREATMENT AGAINST RAINFALL DILUTION. IF RAINFALL OCCURS BEFORE VAPOR BARRIER IS IN PLACE, RETREATMENT IS REQUIRED.
9. CONCRETE OVERPOUR AND MORTAR ALONG THE FOUNDATION PERIMETER SHALL BE REMOVED BEFORE EXTERIOR SOIL TREATMENT.
10. SOIL TREATMENT MUST BE APPLIED UNDER ALL EXTERIOR CONCRETE OR GRADE WITHIN 1'-0" OF THE STRUCTURE SIDEWALLS. THIS INCLUDES ALL CRAWLSPACE MASONRY WALLS AS WELL AS ALL CRAWLSPACE MASONRY COLUMNS.
11. AN EXTERIOR VERTICAL CHEMICAL BARRIER MUST BE INSTALLED AFTER CONSTRUCTION IS COMPLETE INCLUDING LANDSCAPING AND IRRIGATION. ANY SOIL DISTURBED AFTER THE VERTICAL BARRIER IS APPLIED, SHALL BE RETREATED.
12. ALL BUILDINGS SHALL HAVE A PRE-CONSTRUCTION TREATMENT.
13. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY A LICENSED PEST CONTROL COMPANY BEFORE A CERTIFICATE OF OCCUPANCY WILL BE ISSUED. THE CERTIFICATE OF COMPLIANCE SHALL STATE: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. THE TREATMENT IS IN ACCORDANCE WITH THE RULES AND LAWS OF THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMERS SERVICES."
14. AFTER ALL WORK IS COMPLETED, LOOSE WOOD AND DEBRIS MUST BE REMOVED FROM BELOW AND WITHIN 1'-0" OF THE BUILDING. THIS INCLUDES ALL WOOD FORMS AND SUPPORTS, WOOD GRADE STAKES, TUB TRAP BOXES, FORMS, SHORING OR OTHER CELLULOSE CONTAINING MATERIAL.
15. NO WOOD, VEGETATION, STUMPS, CARDBOARD, TRASH, ETC. SHALL BE BURIED WITHIN 15'-0" OF ANY BUILDING OR PROPOSED ADDITION.

ROOF FRAMING SPECIFICATIONS

- 1. ROOF DESIGN LOADS ARE AS FOLLOWS:
ROOF: LIVE LOAD 20 PSF DEAD LOAD 35 PSF-TILE ROOFING
15 PSF-SHINGLE ROOFING
12 PSF-METAL ROOFING
2. THE PROPOSED CONSTRUCTION IS DESIGNED IN ACCORDANCE WITH THE 2017 FLORIDA BUILDING CODE, 6TH EDITION.
3. ALL METAL HANGERS, ANCHORS AND TIE DOWNS TO BE GALVANIZED METAL AND THOSE SHOWN ON THE DRAWINGS ARE MANUFACTURED BY SIMPSON STRONG TIE. LUMBER CONNECTORS, UNLESS NOTED OTHERWISE AS SIMPSON STRONG TIE. NO OPEN ENDED OR EQUAL SUBSTITUTIONS.
4. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESURE PRESERVATIVE TREATED.
5. ALL WOOD STUDS TO BE EITHER 2x4 OR 2x6 SPRUCE-PINE-FIR STUD GRADE OR BETTER, UNLESS SPECIFICALLY NOTED OTHERWISE, AND SHALL BE SPACED AT 16" O.C. MAXIMUM FOR EXTERIOR AND LOAD BEARING WALLS. STUD SPACING FOR INTERIOR NON-LOAD BEARING WALLS MAY BE SPACED AT 24" O.C. MAXIMUM. STUD CLUSTERS AT BEARING LOCATIONS FOR GIRDER TRUSSESS, HIP GIRDERS, AND BEAMS MAY BE FRAMED WITH #2 SPRUCE LUMBER UNLESS SPECIFICALLY NOTED OTHERWISE.
6. WOOD BEAMS AND CONVENTIONALLY FRAMED ROOF RAFTERS (UNLESS NOTED OTHERWISE) SHALL BE #2 SOUTHERN PINE HAVING AN ALLOWABLE EXTREME FIBER STRESS IN BENDING OF 1,050 PSI, WITH A MODULUS OF ELASTICITY OF 1,600,000, 19% MOISTURE CONTENT AS GRADED BY THE AMERICAN SOFTWOOD LUMBER STANDARDS.
7. PROVIDE AND INSTALL BRIDGING AND BRACING FOR THE FLOOR AND ROOF FRAMING SYSTEMS AS SHOWN ON THE DRAWINGS AND AS REQUIRED BY THE TRUSS MANUFACTURER.
8. LVL WOOD BEAMS SHALL BE MICRO-LAM OR PARALAM MEMBERS AS MANUFACTURED BY TRUSS JOIST MACMILLAN CORP. THE MINIMUM ALLOWABLE VALUES ARE AS FOLLOWS:
(1) FB 2,600 P91 (2) E 1,900,000 P91 (3) FV 285 P91 (LVL)
DIMENSIONS SHOWN ARE MULTIPLE WIDTHS OF 1'-3/4" x DEPTH. IF THE EXACT DEPTH AS CALLED FOR ON THE PLANS IS NOT AVAILABLE, IT IS INTENDED THAT THE NEXT SIZE LARGER SHALL BE USED IF THE DETAILS WILL ALLOW OR USE THE NEXT LARGER SIZE AND RIP TO DEPTH SHOWN. MULTIPLE LAYERS OF LVL BEAMS SHALL BE JOINED TOGETHER AS FOLLOWS:



WHERE DEPTH IS GREATER THAN 10", PROVIDE (S) ROWS

- 9. PRE-ENGINEERED WOOD ROOF TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL DESIGN SPECIFICATION FOR STRESS-GRADE LUMBER AND ITS FASTENERS' AS RECOMMENDED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.
10. TRUSS MEMBERS AND CONNECTIONS SHALL BE PROPORTIONED (WITH A MAXIMUM ALLOWABLE STRESS INCREASE FOR LOAD DURATION OF 25%) TO WITHSTAND THE REQUIRED LIVE LOADS AND TOTAL DEAD LOAD.
11. ALL PRE-ENGINEERED WOOD ROOF TRUSSES SHALL BE PLACED AT 24" O.C. MAXIMUM AND SECURELY FASTENED TO THEIR BEARING WALLS, BEAMS OR GIRDERS WITH APPROVED METAL TIE DOWN ANCHORS OR HANGERS AS SHOWN ON THE DRAWINGS.
12. THE CONTRACTOR SHALL RECEIVE FROM THE TRUSS MANUFACTURER, SHOP DRAWINGS SHOWING THE LAYOUT, SIZE, SHAPE, DESIGN LOADS USED AND BEARING THE SIGNATURE AND SEAL OF THE TRUSS DESIGN ENGINEER (WHOM SHALL BE LICENSED IN THE STATE OF FLORIDA) AND SHALL APPROVE THESE DRAWINGS PRIOR TO THE FABRICATION OF THE TRUSSES.
13. BRIDGING FOR THE PRE-ENGINEERED WOOD TRUSSES SHALL BE AS SHOWN ON THE DRAWINGS AND AS REQUIRED BY THE TRUSS MANUFACTURER. PROVIDE A 2x4 MIN. RIDGE BOARD.
14. ALL WALL SHEATHING SHALL BE 1/2" CDX PLYWOOD, 4-PLY MIN. IN 4'x8' SHEETS. ALL ROOF SHEATHING SHALL BE 5/8" CDX PLYWOOD, 4-PLY MIN. IN 4'x8' SHEETS. PROVIDE 'H' CLIPS AS REQUIRED AT PLYWOOD JOINTS AT MID POINT BETWEEN ROOF RAFTERS OR TRUSSES. NAIL ROOF SHEATHING TO SUPPORTS AS INDICATED IN THE NAILING PATTERN SCHEDULE ON THE ROOF FRAMING PLAN SHEET.

ELECTRICAL SPECIFICATIONS

- 1. THE CONTRACTOR SHALL FURNISH ALL PERMITS, MATERIALS, LABOR, TOOLS AND EQUIPMENT AS REQUIRED FOR THE COMPLETE ELECTRICAL SYSTEM, INCLUDING LIGHTING AND POWER DISTRIBUTION, TELEPHONE, CABLE TELEVISION, AND INTERIOR AND EXTERIOR LIGHTING AS SHOWN ON THE DRAWINGS.
2. ALL ELECTRICAL WORK SHALL CONFORM TO THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC), NFPA, 989C1 AND ANY OTHER LOCAL CODES OR ORDINANCES THAT MAY PERTAIN TO THE INSTALLATION OF ELECTRICAL SERVICE OR DEVICES.
3. THESE DRAWINGS ARE DIAGRAMMATIC AND INTEND TO INDICATE THE EXTENT AND TYPE OF SYSTEMS DESIRED. ACTUAL CONDITIONS, THE BEST PRACTICES OF THE TRADE AND PREVAILING CODES SHALL DICTATE THE FINAL INSTALLATION. ANY MAJOR DEVIATIONS SHALL BE PRESENTED TO THE GENERAL CONTRACTOR FOR APPROVAL OR MODIFICATION BEFORE THE START OF THE WORK.
4. ALL MATERIALS AND FIXTURES SHALL BE U.L. APPROVED.
5. ALL CONDUCTORS SHALL BE COPPER WITH A MINIMUM SIZE OF #14 AWG TW. CONDUCTORS #6 AND LARGER SHALL BE THW OR THHN UNLESS OTHERWISE NOTED. ALUMINUM CONDUCTORS SHALL NOT BE AN ACCEPTABLE MATERIAL.
6. THE ELECTRICAL SUB-CONTRACTOR SHALL PROVIDE POWER AND DISCONNECT SWITCHES FOR ALL HVAC, WATER HEATERS, PUMPS, MOTORS, ETC. AND OTHER SYSTEMS AS PROVIDED BY OTHERS. LOAD CENTERS, DISCONNECT SWITCHES AND OTHER DEVICES SHALL BE MEDIUM DUTY BOXES WITH STANDARD BREAKERS INTERCHANGEABLE WITH THOSE OF OTHER MANUFACTURERS.
7. THE SERVICE SUPPLIED TO EACH UNIT SHALL BE 3 WIRE 120/140 VOLTS, SINGLE PHASE, UNDERGROUND SERVICE AS PROVIDED BY DUKE ENERGY CORP. COORDINATE INSTALLATION OF SUCH SERVICE AND METER LOCATION WITH DUKE ENERGY COMPANY.
8. COORDINATE THE REQUIRED ELECTRICAL SERVICES FOR APPLIANCES SUCH AS RANGE, AIR CONDITIONING, WATER HEATER, DISHWASHER, ETC. AS SELECTED BY THE DEVELOPER.
9. ALL ELECTRICAL FIXTURES SHALL BE AS SELECTED BY THE OWNER, PURCHASED AND INSTALLED BY THE ELECTRICAL SUB-CONTRACTOR, UNLESS NOTED OTHERWISE. THE ELECTRICAL SUB-CONTRACTOR SHALL SUBMIT MANUFACTURERS SPECIFICATION SHEET FOR EACH INTENDED FIXTURE FOR APPROVAL BY THE OWNER PRIOR TO THE BEGINNING OF WORK.
10. THE ELECTRICAL SUB-CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL THE OTHER TRADES FOR AVAILABLE SPACE, SEQUENCE OF INSTALLATION AND ASSOCIATED REQUIREMENTS, AND IS TO ADVISE THE GENERAL CONTRACTOR OF ANY REQUIRED MODIFICATIONS THAT MAY BE REQUIRED FOR THE PROPER INSTALLATION OF THE ELECTRICAL SYSTEMS OR IF CONFLICTS OCCUR.

TYPICAL REMODEL NOTES

- A. THE CONTRACTOR SHALL EVALUATE THE SIZE, CAPACITY AND LOCATION OF THE EXISTING MAIN ELECTRICAL PANEL AS REQUIRED FOR THE NEW CONSTRUCTION AS INDICATED ON THE DRAWINGS. PROVIDE ANY NEW PANELS, BREAKERS OR OTHER EQUIPMENT AS REQUIRED TO ADHERE TO ALL APPLICABLE CODES AND TO MAKE A COMPLETE OPERATING SYSTEM.
B. THE CONSTRUCTION OF THE ADDITION MAY AFFECT THE ROUTING AND LOCATION OF THE EXISTING AIR CONDITIONING DUCTWORK CURRENTLY SERVICING THE RESIDENCE. THIS DUCTWORK IS TO BE REMOVED FOR THE CONSTRUCTION OF THE ADDITION AND A NEW SUPPLY AND RETURN AIR DISTRIBUTION SYSTEM SHALL BE DESIGNED AND INSTALLED AS REQUIRED. IF THE NEW ADDITION IS TO HAVE AN INDEPENDENT AIR CONDITIONING SYSTEM, IT IS TO BE DESIGNED AND INSTALLED BY THE AIR CONDITIONING SUB-CONTRACTOR. THE ELECTRICAL SUB-CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PROVIDING THE FLORIDA ENERGY CODE COMPLIANCE FORMS REQUIRED FOR PERMITTING.
C. ANY EXISTING CONCRETE SLABS ON GRADE THAT ARE DISTURBED DURING CONSTRUCTION (I.E. CUTTING FOR PLUMBING LINES, ELECTRICAL WIRING, NEW CONCRETE FOOTINGS, ETC.) SHALL BE TREATED AS A NEW CONCRETE SLAB ON GRADE WHEN REPLACED AND SHALL CONFORM TO THE SAME REQUIREMENTS AS SPECIFIED FOR A NEW SLAB. SUCH REQUIREMENTS SHALL INCLUDE TERMITE PROTECTION, COMPACTED FILL, INSTALLATION OF AN ADEQUATE VAPOR BARRIER AND WELDED WIRE FABRIC REINFORCING.
D. AT ANY LOCATIONS IN A CONCRETE SLAB (WITHIN THE REMODELED AREAS) EITHER NEW OR EXISTING THAT HAS BEEN DISTURBED AS DESCRIBED IN NOTE 'C' ABOVE WHERE A COLD JOINT OR CRACK OCCURS AND THE FLOOR COVERING WILL BE A CERAMIC TILE OR OTHER SIMILAR TILE SET IN A MORTAR BED, THE CRACKS OR COLD JOINTS SHALL BE TREATED WITH A CRACK ISOLATION MEMBRANE PRIOR TO THE SETTING OF SUCH TILE. THE MEMBRANE SHALL BE INSTALLED PER THE MANUFACTURERS RECOMMENDATION AND THE TILE COUNCIL OF AMERICA.
E. IN THE AREAS OF EXISTING SPACES BEING REMODELED WHERE NEW WALL OR CEILING FINISHES ARE TO MEET THE EXISTING WALL AND CEILING FINISHES, THE CONTRACTOR SHALL PATCH, REPAIR OR FINISH THESE SURFACES AS REQUIRED TO MATCH THE SURROUNDING FINISHES. IF IT IS DETERMINED THAT A PATCH, REPAIR OR MATCH WILL NOT BE SUCCESSFUL IN MATCHING THE FINISHES, THEN THE ENTIRE WALL OR CEILING SHALL BE REFINISHED OR LAMINATED OVER FROM CORNER TO CORNER OR EDGE TO EDGE.
F. THE SUPPLIERS OF THE DOORS AND WINDOWS SHALL VERIFY THE LOCATION OF UNITS IN THE BUILDING TO DETERMINE IF THEY ARE CONSIDERED TO BE IN A 'HAZARDOUS LOCATIONS' AS OUTLINED IN FBC, SECTION K308.4 IF SUCH UNITS FALL INTO THE CATEGORY OF 'HAZARDOUS LOCATIONS' THEY SHALL BE SUPPLIED AS REQUIRED TO MEET FBC SECTION K308.4 REGARDING GLAZING IN BOTH THE DOORS AND WINDOWS. SUCH GLAZING SHALL BE MIN. 1/4" TEMPERED GLASS WITH LABELS INDICATING THIS.
G. THE PLUMBING SUBCONTRACTOR SHALL LOCATE AND DETERMINE THE SIZE OF THE EXISTING SANITARY WASTE AND POTABLE WATER LINES FOR THE CONNECTION OF NEW SERVICES TO THE REMODELED OR ADDITION TO THE BUILDING. THE SUBCONTRACTOR SHALL MAKE ANY AND ALL NECESSARY CONNECTIONS AS REQUIRED TO THESE EXISTING SERVICES. IF HOWEVER, THE EXISTING SERVICES ARE NOT OF SUFFICIENT SIZE OR CAPACITY, THEN HE SHALL NOTIFY THE GENERAL CONTRACTOR OF THESE CONDITIONS AND PROVIDE OPTIONS FOR CORRECTING THE SITUATION PRIOR TO PROCEEDING WITH THE WORK.
H. IF ANY NEW 'STUCCO' FINISHES ARE INDICATED ON THE DRAWINGS, THE CONTRACTOR SHALL PROVIDE A STANDARD PORTLAND CEMENT PLASTER SYSTEM WITH PVC TYPE CORNER DEAD, 'J' CHANNEL, EXPANSION JOINT ACCESSORIES (NOT GALVANIZED). THE REQUIRED WIRE LATH FOR FRAME AND CAST-IN-PLACE CONCRETE SUBSTRATE SHALL BE DIAMOND TYPE GALVANIZED ZINC COATED LATH (RIPPED WHERE REQUIRED ON HORIZONTAL SURFACES).
I. INSTALL 1/2" CEMENT TILE BACKER BOARD (DUROCK OR EQUAL) AT ANY WET AREAS SUCH AS TUB SURROUNDS, SHOWER ENCLOSURES, OR TUB DECK AREAS THAT ARE TO HAVE A CERAMIC TILE SURFACE. ON WOOD SUBFLOOR SYSTEMS WHERE CERAMIC TILE IS TO BE PLACED, INSTALL MINIMUM 1/4" CEMENT TILE BACKER BOARD UNDERLAYMENT OVER SUBFLOOR AND NAIL OR SCREW PER MANUFACTURERS RECOMMENDATION.
J. THE CONTRACTOR SHALL FIELD VERIFY THE EXISTING ROOF TRUSS OR RAFTER CONFIGURATION, BEARING CONDITIONS AND HELL HEIGHT OF THE EXISTING TRUSSES OR RAFTERS SO THAT THE NEW AND EXISTING ROOF PLANS MATCH. IN ADDITION, CONSIDERATION FOR THE THICKNESS OF THE EXISTING ROOF SHEATHING SHALL BE CALCULATED IN THIS VERIFICATION.

ASPHALT SHINGLE SPECIFICATIONS

- 1. THE INSTALLATION OF ASPHALT SHINGLES SHALL COMPLY W/ THE PROVISIONS OF FLORIDA BUILDING CODE SECTION 1507.2 & R905.2.
2. ASPHALT SHINGLES SHALL BE FASTENED TO SOLIDLY SHEATHED DECKS.
3. ASPHALT SHINGLES SHALL BE USED ONLY ON ROOF SLOPES OF TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (2:12) OR GREATER. FOR ROOF SLOPES FROM TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (2:12) AND LESS THAN FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (4:12), DOUBLE UNDERLAYMENT APPLICATION IS REQUIRED IN ACCORDANCE WITH SECTION K905.1.1.
4. UNLESS OTHERWISE NOTED, REQUIRED UNDERLAYMENT SHALL CONFORM WITH ASTM D 226, TYPE 1, OR ASTM 4869, TYPE 1.
5. SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET SHALL COMPLY WITH ASTM D 1970.
6. ASPHALT SHINGLES SHALL HAVE SELF-SEAL STRIPS OR BE INTERLOCKING, AND COMPLY WITH ASTM D 225 OR ASTM D 3462.
7. FASTENERS FOR ASPHALT SHINGLES SHALL BE GALVANIZED, STAINLESS STEEL, ALUMINUM OR COPPER ROOFING NAILS, MINIMUM 12 GAUGE (0.105 INCH) SHANK WITH A MINIMUM 5/8 INCH DIAMETER HEAD, OF A LENGTH TO PENETRATE THROUGH THE ROOFING MATERIALS AND A MINIMUM OF 3/4 INCH INTO THE ROOF SHEATHING. THE CORROSION RESISTANCE OF NAILS AND SCREWS SHALL MEET ASTM A153. WHERE THE ROOF SHEATHING IS LESS THAN 3/4 INCH THICK, THE NAILS SHALL PENETRATE THROUGH THE SHEATHING.
8. FLASHING MADE FROM METAL SHALL BE CORROSION RESISTANT AND SHALL BE NOT LESS THAN 26 GAUGE.
9. ASPHALT SHINGLES SHALL HAVE THE MINIMUM NUMBER OF FASTENERS REQUIRED BY THE MANUFACTURER, BUT NOT LESS THAN FOUR FASTENERS PER STRIP SHINGLE OR TWO FASTENERS PER INDIVIDUAL SHINGLE, UNLESS OTHERWISE NOTED. AT ATTACHMENT OF ASPHALT SHINGLES SHALL CONFORM WITH ASTM D 3161 (MODIFIED TO 110 MPH) OR M-DC FA 107-95.

MODIFIED BITUMEN ROOFING SPECIFICATIONS

- 1. THE INSTALLATION OF MODIFIED BITUMEN ROOFING SHALL COMPLY WITH THE PROVISIONS OF THE FLORIDA BUILDING CODE - SECTION K905.11 & K905.11.
2. MODIFIED BITUMEN MEMBRANE ROOFS SHALL HAVE A DESIGN SLOPE OF NOT LESS THAN ONE-FOURTH UNIT VERTICAL IN 12 UNITS HORIZONTAL (2-PERCENT SLOPE) FOR DRAINAGE.
3. MODIFIED BITUMEN ROOF COVERINGS SHALL COMPLY WITH ASTM D 6162; D6163; D6164; D 6222; D6223; D6238; D6509; CG9B 37-GF-56M.
4. MODIFIED BITUMEN ROOFS SHALL BE INSTALLED IN ACCORDANCE WITH CHAPTER K905.11 AND THE MANUFACTURER'S INSTRUCTIONS. THE APPROVED ALLOWABLE UPLIFT RESISTANCE FOR THE MODIFIED BITUMEN ROOF SHALL BE EQUAL TO OR GREATER THAN THE UPLIFT RESISTANCE FOR THE ROOF BASED ON TABLE K301.2(2).

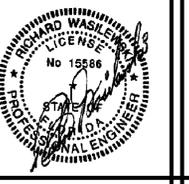
NOTES TO PRE-ENG. TRUSS MFG.

- 1. THE STRUCTURAL ENGINEER FOR THIS PROJECT HAS BASED HIS STRUCTURAL CALCULATIONS ON THE WIND DATA INDICATED ON SHEET C10R ATTACHED INFORMATION ON DRAWING SHEET. DEVIATION FROM THIS INFORMATION WILL POTENTIALLY RESULT IN INCORRECT UPLIFT FACTORS THAT WILL EFFECT SPECIFIED HOLDOWN AND STRUCTURAL CONNECTIONS. PLEASE USE WIND DATA INDICATED ON SHEET C10R INFORMATION ON DRAWING SHEET TO PREPARE TRUSS DESIGN.
2. THE TYPE AND LAYOUT OF THE FLOOR AND/OR ROOF FRAMING SYSTEMS SHALL BE AS INDICATED ON THESE DRAWINGS UNLESS THE CONTRACTOR OR TRUSS ENGINEER DEEMS IT NECESSARY TO MODIFY OR CHANGE THE DESIGN DUE TO FIELD CONDITIONS OR SPECIFIC ENGINEERING DESIGN OF FRAMING COMPONENTS. THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY SUCH MODIFICATIONS FOR APPROVAL PRIOR TO THE FABRICATION OF TRUSS SYSTEM.
3. PRE-ENGINEERED TRUSS MANUFACTURER TO BE RESPONSIBLE FOR THE DESIGN OF ANY REQUIRED OR SPECIALTY TRUSS BRACING NOT SHOWN IN THESE DRAWINGS. TRUSS BRACING DESIGN IS TO BE SHOWN IN THE PRE-ENGINEERED ROOF TRUSS DRAWINGS.
4. THE CONTRACTOR SHALL FIELD VERIFY THE EXISTING ROOF TRUSS OR RAFTER CONFIGURATION, BEARING CONDITIONS AND HELL HEIGHT OF THE EXISTING TRUSSES OR RAFTERS SO THAT THE NEW AND EXISTING ROOF PLANS MATCH. IN ADDITION, CONSIDERATION FOR THE THICKNESS OF THE EXISTING ROOF SHEATHING SHALL BE CALCULATED IN THIS VERIFICATION.

RICHARD WASHLEWSKI, P.E.
1520 CHATEAUWOOD DR.
CLEARWATER, FL 33764
(727) 580-4341
(727) 531-3111-FAAX
Professional Engineer, PE #15586

I HEREBY CERTIFY THAT I HAVE REVIEWED THE ATTACHED DESIGN AND FOUND IT TO BE IN COMPLIANCE WITH THE STRUCTURAL PROVISIONS OF THE FLORIDA BUILDING CODE 2017-6TH EDITION

SEALED FOR STRUCTURAL ONLY



04.27.2020
Sean Timothy Roney
sean@roneydesign.com
(727) 922-8600

RONEY DESIGN GROUP
CERTIFIED PROFESSIONAL BUILDING DESIGNERS
MEMBER
555 CENTRAL AVENUE, STE. M-1
917 PETERSBURG, FL 33701
RGRP@RONEYDESIGN.COM
(727) 922-8600
Est. 1990

ADDITIONS & REMODELING
TO THE
RIBNER RESIDENCE
2662 44th AVENUE NORTH
517, PETERSBURG, FLORIDA 33713
DRAWN BY STR
CHECKED BY RW
DATE APRIL 13, 2020
JOB NUMBER
19075
SHEET NUMBER
D7
PERMIT

REVISIONS
© 2020 Roney Design Group, LLC. All rights reserved. All other trademarks are the sole property of RONEY DESIGN GROUP, LLC. Unauthorized and/or reuse may be prosecuted in accordance with applicable copyright and patent laws.

**ELECTRICAL LEGEND**

- SD ● CEILING MOUNT SMOKE DETECTOR, HARD WIRED IN SERIES w/ BATTERY BACKUP
- SD D WALL MOUNT SMOKE DETECTOR, HARD WIRED IN SERIES w/ BATTERY BACKUP
- CM ⊗ CARBON MONOXIDE DETECTOR
- ⊕ SINGLE POLE WALL SWITCH
- ⊕<sub>3</sub> THREE WAY WALL SWITCH
- ⊕<sub>D</sub> DIMMER WALL SWITCH
- ⊕<sub>D,3</sub> THREE WAY DIMMER WALL SWITCH
- GFCI GROUND FAULT CIRCUIT INTERRUPTER ON RECEPTACLE
- AF ARC-FAULT CIRCUIT INTERRUPTER ON RECEPTACLE
- PC PHOTO CELL ACTIVATED LIGHT
- MD MOTION DETECTOR ACTIVATED LIGHT
- E INDICATES EXISTING FIXTURE, SWITCH, RECEPTACLE, ETC. AS PER LEGEND
- ⊕ 120V DUPLEX RECEPTACLE, 14" AFF
- ⊕<sub>WP</sub> 120V DUPLEX RECEPTACLE, WEATHER PROOF
- ⊕<sub>DC</sub> 120V DUPLEX RECEPTACLE, DEDICATED CIRCUIT
- ⊕ 120V DUPLEX RECEPTACLE, HALF SWITCH LEG
- ⊕ 120V DUPLEX RECEPTACLE, MOUNT ABOVE COUNTER
- ⊕ 220V PLUG IN TYPE RECEPTACLE
- ⊕ 120V DOUBLE DUPLEX RECEPTACLE
- ⊕ 120V DUPLEX RECESSED FLOOR RECEPTACLE
- ⊕ SPECIAL PURPOSE RECEPTACLE
- ⊕ TELEPHONE OUTLET
- ⊕ FLUORESCENT LIGHT FIXTURE (SIZE SHOWN ON PLAN)
- ⊕ RECESSED CAN LIGHT - 6" LED
- ⊕ MINI RECESSED CAN LIGHT - 4" LED
- ⊕ CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
- ⊕ WALL SCONCE LIGHT FIXTURE
- ⊕ WALL MOUNTED INCANDESCENT LIGHT FIXTURE
- ⊕ CEILING MTD PENDANT INCANDESCENT LIGHT FIXTURE
- ⊕ CEILING JUNCTION BOX FOR LIGHT FIXTURE OR CEILING FAN
- ⊕ SPOT/FLOOD LIGHT
- ⊕ EXHAUST FAN/LIGHT COMBINATION
- ⊕ SPECIAL PURPOSE MOTOR
- ⊕ BATHROOM EXHAUST FAN
- ⊕ DISCONNECT SWITCH PANEL
- CAT6 HIGH SPEED CABLE OUTLET-ETHERNET
- TV TELEVISION OUTLET (CABLE)
- S SECURITY SYSTEM SENSOR
- ⊕ CEILING SPEAKER
- ⊕ MOTORIZED O.H. DOOR OPERATOR (AS SELECTED BY OWNER)
- ⊕ CEILING FAN, WITHOUT LIGHT UNLESS NOTED OTHERWISE

**SECTION R314 - TYPICAL SMOKE ALARM NOTES:**

1. SMOKE ALARMS SHALL BE PROVIDED IN ACCORDANCE WITH SECTION R314.
2. R314.2.2 - WHERE ALTERATIONS, REPAIRS OR ADDITIONS REQUIRING A PERMIT OCCUR, OR WHERE ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED IN EXISTING DWELLINGS, THE INDIVIDUAL DWELLING UNIT SHALL BE EQUIPPED WITH SMOKE ALARMS LOCATED AS REQUIRED FOR NEW DWELLINGS.  
EXCEPTIONS:  
a. WORK INVOLVING THE EXTERIOR SURFACES OF DWELLINGS, SUCH AS THE REPLACEMENT OF ROOFING OR SIDING, THE ADDITION OR REPLACEMENT OF WINDOWS OR DOORS, OR THE ADDITION OF A PORCH OR DECK, ARE EXEMPT FROM THE REQUIREMENTS OF THIS SECTION.  
b. INSTALLATION, ALTERATION OR REPAIRS OF PLUMBING OR MECHANICAL SYSTEMS ARE EXEMPT FROM THE REQUIREMENTS OF THIS SECTION.
3. R314.3.1 - SMOKE ALARMS SHALL NOT BE INSTALLED IN THE FOLLOWING LOCATIONS UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM IN A LOCATION REQUIRED BY SECTION R314.3.  
a. IONIZATION SMOKE ALARMS SHALL NOT BE INSTALLED LESS THAN 20 FT. HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.  
b. IONIZATION SMOKE ALARMS WITH AN ALARM-SILENCING SWITCH SHALL NOT BE INSTALLED LESS THAN 10 FT. HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.  
c. PHOTOELECTRIC SMOKE ALARMS SHALL NOT BE INSTALLED LESS THAN 6 FT. HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.

- ABBREVIATIONS:**
- WC - WINE COOLER
  - DW - DISH WASHER
  - IM - ICE MAKER
  - TC - TRASH COMPACTOR
  - D - DRYER
  - W - WASHER
  - WH - WATER HEATER
  - REFRIG. - REFRIGERATOR
  - A/H - AIR HANDLER

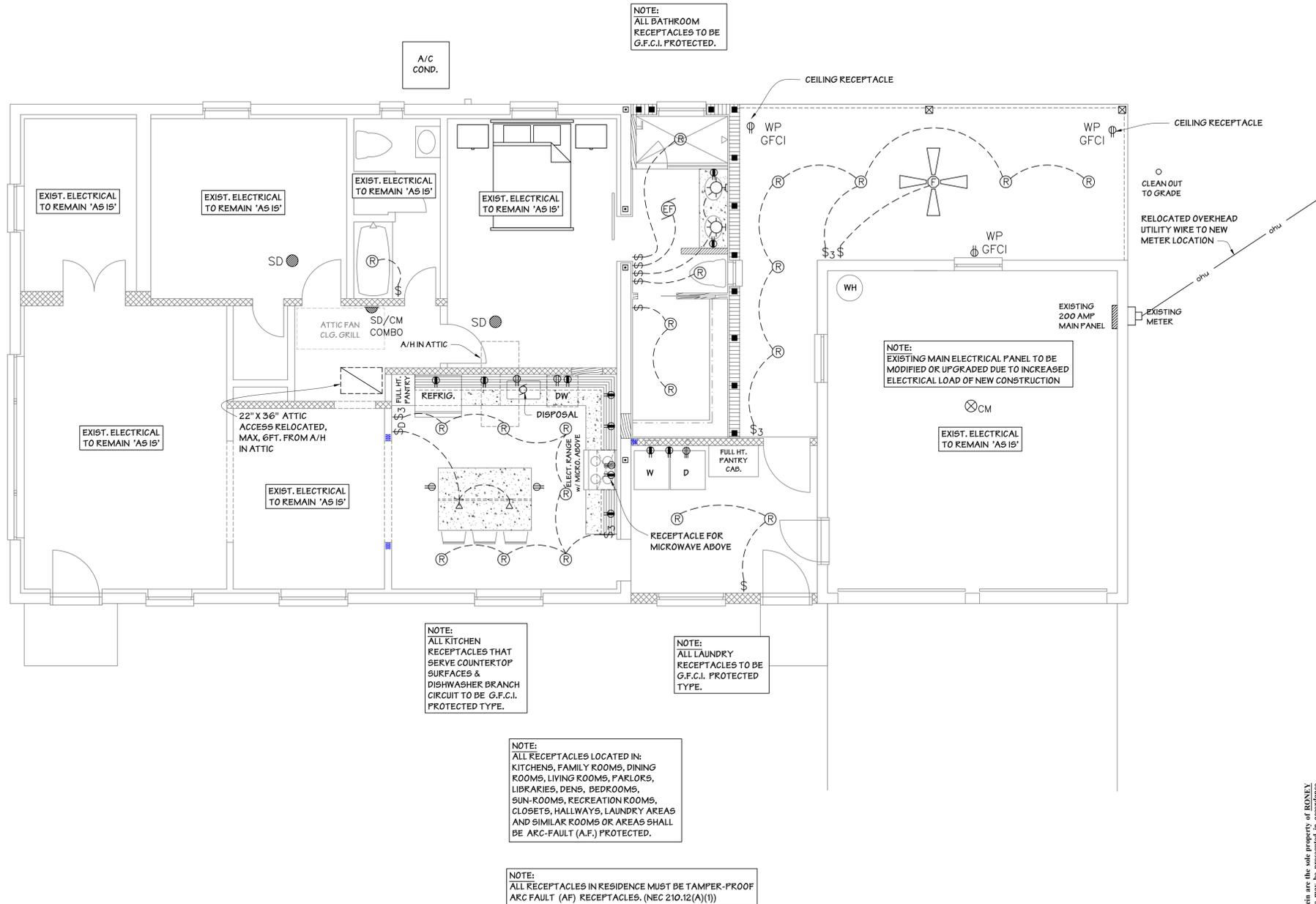
**GENERAL NOTES TO CONTRACTOR**

1. ALL DIMENSIONS AND CONDITIONS OF THE PROJECT SHALL BE VERIFIED BY THE CONTRACTOR WHO SHALL BE RESPONSIBLE FOR SAME ONCE THE CONSTRUCTION HAS BEGUN. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS SHALL BE REPORTED TO THE DESIGNER FOR CORRECTION PRIOR TO THE BEGINNING OF CONSTRUCTION.
2. THE STRUCTURAL INTEGRITY OF THE BUILDING / CONSTRUCTION SHOWN ON THESE DRAWINGS IS DEPENDENT UPON THE COMPLETION ACCORDING TO THE DRAWINGS AND SPECIFICATIONS. STRUCTURAL MEMBERS ARE NOT SELF SUPPORTING DURING CONSTRUCTION AND REQUIRE TEMPORARY BRACING OR SHORING UNTIL PERMANENTLY AFFIXED TO THE STRUCTURE AS DIRECTED. THE STRUCTURAL ENGINEER AND DESIGNER ASSUMES NO LIABILITY FOR THE STRUCTURE DURING CONSTRUCTION. UNLESS THE CONSTRUCTION METHOD AND BRACING ARE INCLUDED IN THE DRAWINGS AND SPECIFICATIONS, OR ARE SUPERVISED BY THE STRUCTURAL ENGINEER DURING CONSTRUCTION.

5. R314.4 - WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT IN ACCORDANCE WITH SECTION R314.3, THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL DWELLING UNIT. PHYSICAL INTERCONNECTION OF SMOKE ALARMS SHALL NOT BE REQUIRED WHERE LISTED WIRELESS ALARMS ARE INSTALLED AND ALL ALARMS SOUND UPON ACTIVATION OF ONE ALARM.  
EXCEPTIONS:  
a. INTERCONNECTION OF SMOKE ALARMS IN EXISTING AREAS SHALL NOT BE REQUIRED WHERE ALTERATIONS OR REPAIRS DO NOT RESULT IN REMOVAL OF INTERIOR WALL OR CEILING FINISHES EXPOSING THE STRUCTURE, UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMENT AVAILABLE THAT COULD PROVIDE ACCESS FOR INTERCONNECTION WITHOUT REMOVAL OF INTERIOR FINISHES.
6. R314.5 - COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE PERMITTED TO BE USED IN LIEU OF SMOKE ALARMS.

**SECTION R315 - TYPICAL CARBON MONOXIDE PROTECTION NOTES:**

1. SMOKE ALARMS SHALL BE PROVIDED IN ACCORDANCE WITH SECTION R314.
2. EVERY SEPARATE BUILDING OR AN ADDITION TO AN EXISTING BUILDING FOR WHICH A PERMIT FOR NEW CONSTRUCTION IS ISSUED HAVING A FOSSIL-FUEL BURNING HEATER OR APPLIANCE, A FIREPLACE, AN ATTACHED GARAGE, OR OTHER FEATURE, FIXTURE, OR ELEMENT THAT EMITS CARBON MONOXIDE AS BYPRODUCT OF COMBUSTION SHALL HAVE AN OPERATIONAL CARBON MONOXIDE ALARM INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES.  
EXCEPTIONS:  
a. THIS SECTION SHALL NOT APPLY TO EXISTING BUILDINGS THAT ARE UNDERGOING ALTERATIONS OR REPAIR UNLESS THE ALTERATION IS AN ADDITION AS DEFINED IN SECTION R315.1.5.



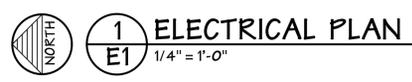
**RONNEY DESIGN GROUP**  
CERTIFIED PROFESSIONAL BUILDING DESIGNERS

MEMBER  
**A I B D**  
AMERICAN INSTITUTE OF BUILDING DESIGNERS

535 CENTRAL AVENUE, STE. M-1  
917 PETERSBURG, FL 33701  
RGRP@RONNEYDESIGN.COM  
(727) 922-8600  
Est. 1990

**ADDITIONS & REMODELING**  
TO THE  
**RIBNER RESIDENCE**  
2662 4th AVENUE NORTH  
517 PETERSBURG, FLORIDA 33713

REVISIONS	DRAWN BY: STR CHECKED BY: TER DATE: APRIL 13, 2020 JOB NUMBER: 19075 SHEET NUMBER: E1 PERMIT
-----------	---



© 2020 Roney Design Group, LLC. All rights reserved. No part of these drawings may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Roney Design Group, LLC. Unpermitted use and/or reuse may be prosecuted in accordance with the appropriate copyright and patent laws.



City of St. Petersburg  
 Planning & Economic Development  
 One Fourth Street North  
 St. Petersburg, FL 33701

Construction Services & Permitting

Reserved for Clerk of Court  
 STATE OF FLORIDA, PINELLAS COUNTY  
 I hereby certify that the foregoing is a true  
 copy as recorded in the official records of  
 Pinellas County.  
 This 27 day of MAY, 2020  
 KEN BURKE  
 Clerk of the Circuit Court & Comptroller  
 BY: [Signature]  
 Deputy Clerk

## Notice of Commencement

Permit No. \_\_\_\_\_  
 Tax Folio No. \_\_\_\_\_

THE UNDERSIGNED hereby informs you that the improvement will be made to certain real property and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description):  
 a. Street Address: 2662 4th Ave N St. Petersburg, FL 33713
2. Description of improvements: Add master bathroom, remodel kitchen and add outdoor living area.
3. Owner information or Lessee information if the Lessee contracted for the improvement::  
 a. Name and Address: Michelle & Lewis Ribner - Ribner, Jr  
 b. Name and Address of fee simple titleholder (if other than owner): \_\_\_\_\_  
 c. Interest in property: Owner
4. Contractor information:  
 a. Name and Address: Wydel Simmons - Renovations Inc FL - 2644 3rd Ave N St. Pete, FL 33713  
 b. Telephone No.: 727-300-9044 Fax No. (opt.) \_\_\_\_\_
5. Surety information:  
 a. Name and Address: \_\_\_\_\_  
 b. Telephone No.: \_\_\_\_\_ Fax No. (opt.) \_\_\_\_\_  
 c. Amount of Bond: \$ \_\_\_\_\_
6. Lender:  
 a. Name and Address: \_\_\_\_\_  
 b. Phone No.: \_\_\_\_\_
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:  
 a. Name and Address: \_\_\_\_\_  
 b. Telephone No.: \_\_\_\_\_ Fax No. (opt.) \_\_\_\_\_
8. In addition to himself or herself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:  
 a. Name and Address: \_\_\_\_\_  
 b. Telephone No.: \_\_\_\_\_ Fax No. (opt.) \_\_\_\_\_
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): \_\_\_\_\_

**Warning to Owner: Any payments made by the owner after the expiration of the Notice of Commencement are considered improper payments under chapter 713, Part I, Section 713.13, Florida Statutes, and can result in your paying twice for improvements to your property. A notice of Commencement must be recorded and posted on the job site before the first inspection. If you intend to obtain financing, consult your lender or an attorney before commencing work or recording your Notice of Commencement.**

Under penalty of perjury, I declare that I have read the foregoing Notice of Commencement and that the facts stated therein are true to the best of my knowledge and belief.

[Signature] Michelle Ribner  
 (Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Director/Partner/Manager)  
Owners of home  
 (Signatory's Title/Office)  
 The foregoing instrument was acknowledged before me by means of  physical presence or  online this 27 day of April, 2020  
 by Lewis and Michelle Ribner as owners (type of authority, e.g. officer, trustee, attorney in fact)  
 for 2662 4th Ave N, St Petersburg, FL 33713 (name of party on behalf of whom instrument was executed).

Personally Known  Produced Identification Notary Signature \_\_\_\_\_  
 Type of ID Florida Driver License Print Name James Atchison

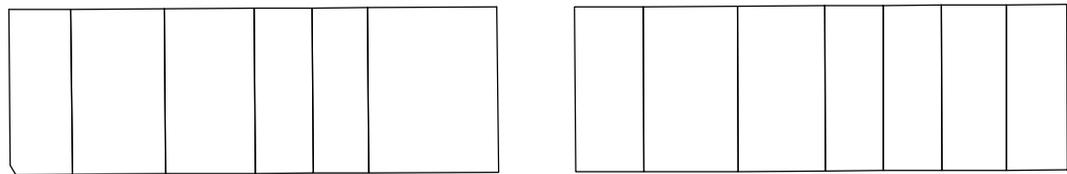
James Atchison  
 Notary Public  
 State of Florida  
 My Commission Expires 07/27/2023  
 Commission No. GG 331638

02/01/2020

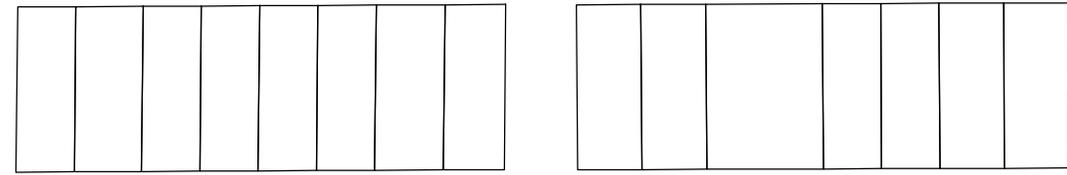
# Appendix B:

## Maps of Subject Property

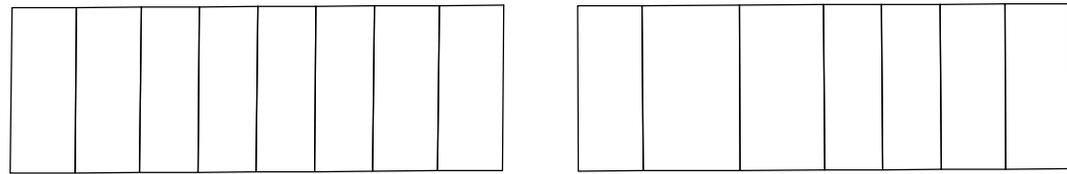
Kenwood Section – Southwest Central Kenwood Local Historic District  
(Proposed local historic district subject to complete designation application  
as of January 27, 2020 and pending public hearing by CPPC and City Council)



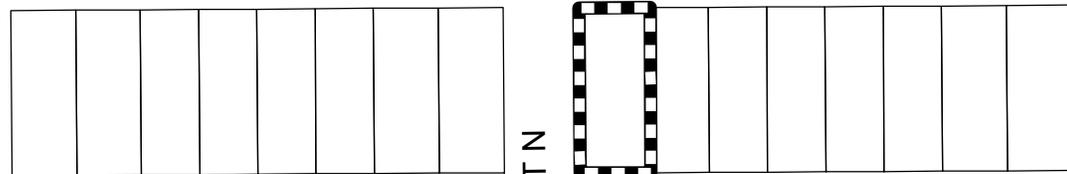
DARTMOUTH AVE N



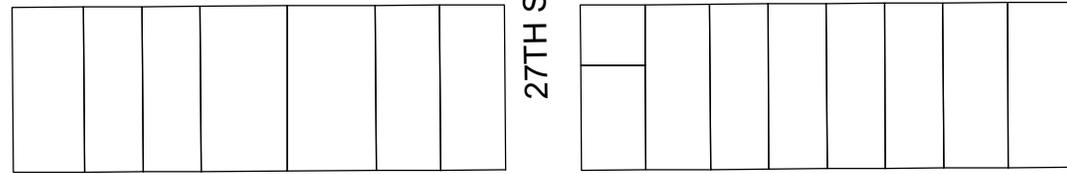
4TH AVE N



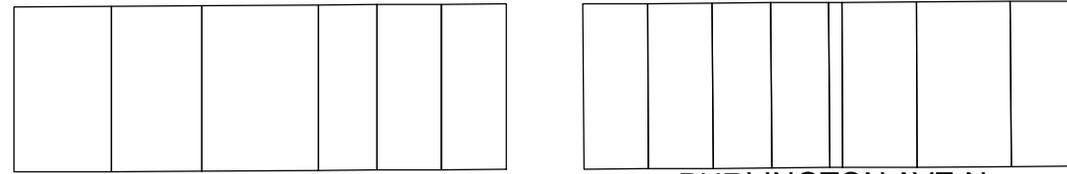
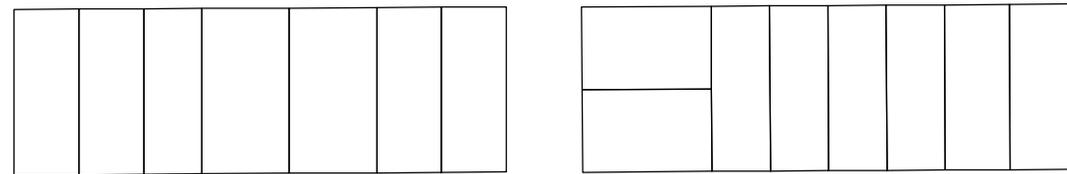
3RD AVE N



27TH ST N



BURLINGTON AVE N



28TH ST N

26TH ST N

**Community Planning and Preservation Commission**

**2662 4th Ave N**

**AREA TO BE APPROVED,**

**SHOWN IN**



**CASE NUMBER**

**20-90200053**



**N**

SCALE:  
1" = 167'