



DEVELOPMENT REVIEW COMMISSION

Prepared by the Planning & Development Services Department,
Urban Planning and Historic Preservation Division

For Public Hearing on Wednesday, May 1, 2019
at 2:00 p.m. in the City Council Chambers, City Hall,
175 Fifth Street North, St. Petersburg, Florida.

City File: LDR 2019-03

This is a City-initiated application requesting that the Development Review Commission (“DRC”), in its capacity as the Land Development Regulation Commission (“LDRC”), make a finding of consistency with the Comprehensive Plan and recommend to City Council **APPROVAL** the following text amendments to the City Code, Chapter 16, Land Development Regulations (“LDRs”).

The purpose of this text amendment application (presented in the order of the staff report) is to:

1. Reduce the minimum unit size (square feet) required for multi-family dwelling units;
2. Reduce the minimum number of parking spaces required for multi-family dwelling units;
3. Amend administrative adjustment for parking Certified Affordable/Workforce Housing units;
4. Create administrative adjustment for parking when within 1/8 mile of a high frequency transit route;
5. Reduce the minimum land area required to qualify for an accessory dwelling unit;
6. Amend design standards for certified affordable and workforce housing units.

APPLICANT INFORMATION

APPLICANT: City of St. Petersburg
275 5th Street North
St. Petersburg, Florida 33701

CONTACT: Derek Kilborn, Manager
Urban Planning and Historic Preservation Division
Planning and Development Services Department
One – 4th Street North
St. Petersburg, Florida 33711
Derek.Kilborn@stpete.org
(727) 893-7872

COMMISSION AUTHORITY

Pursuant to Section 16.80.020.1 of the City Code of Ordinances, the DRC, acting as the LDRC, is responsible for reviewing and making a recommendation to the City Council on all proposed amendments to the LDRs.

STAFF ANALYSIS

Background

This application includes a set of proposed text amendments extending from a community-wide discussion relating to housing affordability. The multi-year, multi-disciplinary discussion has included many aspects of, and factors influencing, housing affordability.

In the Spring 2017, City Development Administration and Planning and Development Services staff began evaluating a private-sector proposal to expand allowances for detached, row houses. By the Fall 2017, this research evolved into a more comprehensive review of the City's existing housing programs and land use and zoning strategies.

On March 22, 2018, and again on April 19, 2018, the City Council convened as the Committee of the Whole ("COW") and received detailed presentations from the City's Housing Department and Planning and Development Services Department. The purpose of the first meeting was to review existing programs, land use and zoning policies. The second meeting reviewed key considerations and possible next steps.

Following the COW, a series of public engagement meetings were hosted at the Main Library throughout the Summer 2018:

- At the first two (2) meetings, attendees discussed density, building typologies, and the potential creation of one or more zoning categories to provide a variety of urban housing choices in medium-density building types including single-family houses, accessory dwelling units, duplexes, small multiplexes, bungalow courts ("tiny" houses), courtyard buildings, detached row houses ("skinny"), townhouses, and large multiplexes.
- At the third meeting, attendees discussed transportation initiatives, parking regulations (minimum requirements based on land-use type), existing parking reductions, and proposed parking reductions based on land use type (e.g. affordable and workforce housing) or geographic proximity to major streets, multi-modal transit options, activity centers, and community redevelopment areas.
- At the fourth meeting, attendees discussed affordability initiatives, including different funding mechanisms, housing assistance programs, affordable housing initiatives in the South St. Petersburg Community Redevelopment Area, and Penny for Pinellas affordable housing funding.
- At the fifth and final meeting in the series, attendees discussed affordable and workforce housing density bonuses, recalibrating development bonuses within the Downtown Center to prioritize affordable and workforce housing units, and establishing additional activity centers throughout the City.

Since the initial series of public engagement meetings, City staff has been working with related stakeholders including the Pinellas Realtors Organization ("PRO"), St. Petersburg Area Chamber of Commerce, Council of Neighborhood Associations ("CONA"), Forward Pinellas (countywide land planning agency), City's Housing Land Use and Transportation Committee ("HLUT"), and the City's Community Housing Policy Group ("CHPG"). The concepts outlined in this proposal extend from input received during these discussions.

The specific set of recommendations included herein were recently presented to the HLU Committee on February 28, 2019. Following the staff presentation and discussion, Committee members requested that City Staff initiate an application including the proposed text amendments, as follows and attached.

Reduce the minimum unit size (square feet) required for multi-family dwelling units

Section 16.10.020.1 *Matrix: Use Permissions and Parking Requirements Matrix and Zoning Matrix of the St. Petersburg City Code* currently requires a minimum unit size for multi-family construction: 375-square feet for an efficiency or studio unit, 500-square feet for a one-bedroom unit, 750-square feet for a two-bedroom unit, and an additional 200-square feet for each additional bedroom.

These minimum unit sizes exceed the unit size standards outlined in the Florida Building Code. If approved, minimum unit sizes will still need to comply with the Florida Building Code and other accessibility, visitability, and life safety standards.

The City's existing minimum unit size requirement is increasingly separated from contemporary preferences in consumer demand and multi-family construction, both of which are trending toward smaller unit sizes. Smaller unit sizes help reduce the monthly rent rate for tenants and, when combined with related parking reductions, encourage the construction of more units within a development project. Since housing affordability is improved when there is parity between unit demand and unit supply, increasing unit supply is a critical objective of this proposal.

Reduce the minimum number of parking spaces required for multi-family dwelling units

Minimum parking requirements can have a consequential impact on the number of multi-family units provided within a new development or renovation. For example, multi-family developments commonly include structured parking. According to the City's Transportation and Parking Management Department, cost estimates for structured parking in the City of St. Petersburg are approximately \$24,000 per parking space. Using this estimate, a decision to construct two (2) 700-square foot units compared to one (1) 1,400-square foot unit is immediately constrained by an additional \$24,000 to provide the second parking space.

This attempt to reduce the multi-family parking requirement is an incentive for the developer to provide additional dwelling units by mitigating the negative impact of parking and land costs. The proposed text amendment is not a mandate or maximum cap. Reducing the minimum requirement will create more options, but the property owner still retains the right to develop as many parking spaces as their market analysis dictates or their Pro-Forma requires.

An analysis of St. Petersburg's existing parking requirements compared to a diversity of other Florida and national cities is included. The study was prepared by the City's Transportation and Parking Management Department.

Amend administrative adjustment for parking Certified Affordable/Workforce Housing units

Workforce and affordable housing units and senior housing units typically require less parking than standard requirements. This text amendment proposes to reduce the minimum number of parking spaces required by 10-percent where a project is committing at least 50-percent of the total number of dwelling units for occupancy as Certified Affordable/Workforce Housing. For Certified Affordable/Workforce Housing units that are also classified senior age-restricted, the minimum number of parking spaces required may be reduced an additional 5-percent for a combined 15-percent reduction.

Create administrative adjustment for parking when within 1/8 mile of a high frequency transit route

Proximity to high frequency transit routes, defined as a route with a scheduled weekday peak hour headway of 30-minutes or better, reduces the demand for parking spaces as residents have reliable access to public transit service.

This text amendment proposes to reduce the minimum number of parking spaces required by 10-percent where a property, in whole or part, is located within 1/8 mile of a high frequency transit route. 1/8 mile is the distance most commonly used when considering pedestrian comfort; although 1/4 mile is occasionally used when making related land use and transportation decisions, it is not recommended here. The City's Transportation and Parking Management Department has mapped Pinellas Suncoast Transit Authority ("PSTA") routes to help identify the effectiveness of this proposal and location of qualified areas, see attached map. The map shows fourteen (14) routes with a scheduled weekday peak hour headway of 30-minutes or better. Although transit routes with 30-minute headways are more susceptible to schedule modifications and route elimination, several key neighborhoods would be excluded from consideration if the proposal was amended to 20-minutes or better, see attached map.

Reduce the minimum land area required to qualify for an accessory dwelling unit

Section 16.50.010 *Accessory Dwelling Units: Lot Requirements* currently requires a minimum land area of 5,800 square feet to construct an accessory dwelling unit on a property with a single-family home. A review of typical lot sizes in our City shows that there are many subdivisions platted with lot measurements of 45 feet in width by 127 feet in depth, which equates to 5,715 square feet. Data analysis performed by staff found that reducing the minimum qualified threshold to 5,715 square feet qualified an additional 1,843 parcels. During deliberations on this subject, it was ultimately recommended by the HLUT to reduce the minimum land area to 4,500 square feet, the minimum lot size in the NT-1 zoning district. The reduced land area will help several neighborhoods most in need and qualify an additional 9,617 parcels. When compared to the existing number of qualified parcels (22,319), this constitutes an increase of 43-percent.

Enabling the construction of accessory dwelling units helps in several critical ways. First, the property owner creates a secondary income that reduces the cost of existing housing obligations and protects against an unforeseen future reduction or loss of primary income. Second, the renter benefits from a larger supply of available dwelling units thereby creating more rent stabilization and parity with increasing community demand. Third, home builders benefit from additional opportunities for new business. Finally, the City's Housing Department and other housing-related agencies benefit from expanded opportunities to provide housing assistance, for e.g. gap financing on the construction of an accessory dwelling unit might require less investment than building a new, single-family house.

Amend design standards for certified affordable and workforce housing units.

This proposal continues earlier discussions and prior text amendments to reduce the construction costs for Certified Affordable/Workforce Housing. City staff continues to consult with not-for-profit agencies building affordable housing regarding the impacts of design standards on overall construction costs. Two items are included herein for amendment at the request of these agencies, see attached letter dated April 12, 2019 from Habitat for Humanity. The first request is to reduce the requirement in "traditional" neighborhoods to design a front porch that is elevated above the abutting finished grade level at the entrance from 12-inches to 8-inches. This reduction will change the foundation requirements for each building in a way that results in impactful savings. The second request is to reduce the requirement for fenestration and glazing on the front and corner façades from 30% to 20%, and the interior side façades from 20% to 15%. The reduction for fenestration and glazing will result in the elimination of at least one (1) window per house, further reducing the construction costs.

Consistency and Compatibility (with Comprehensive Plan)

The following objectives and policies from the City's Comprehensive Plan are applicable to the attached proposal:

- H1.3 - Review ordinances, codes, regulations and the permitting process for the purpose of eliminating excessive and overlapping requirements and resolving conflicting requirements and amending or adding other requirements in order to increase private sector participation in meeting housing needs, while continuing to insure the health, welfare and safety of the residents.
- LU3.6 Land use planning decisions shall weigh heavily the established character of predominately developed areas where changes of use or intensity of development are contemplated.
- LU3.8 The City shall protect existing and future residential uses from incompatible uses, noise, traffic and other intrusions that detract from the long term desirability of an area through appropriate land development regulations.
- LU21.1 The City shall continue to utilize its innovative development regulations and staff shall continue to examine new innovative techniques by working with the private sector, neighborhood groups, special interest groups and by monitoring regulatory innovations to identify potential solutions to development issues that provide incentives for the achievement of the goals, objectives and policies of the Comprehensive Plan.
- LU22.1 The City shall continue to pursue strategies which reduce GHG emissions and vehicle miles traveled.
- LU23.1 The City's development review policies and procedures shall continue to integrate land use and transportation planning so that land development patterns support mobility choices and reduced trip lengths.
- LU23.2 The City's development review policies and procedures shall acknowledge the GHG emission reduction impacts of higher density development and the negative impacts of sprawling, low-density development.
- LU23.3 The City's LDRs shall continue to support greater development intensity within the Corridor and Center zoning districts, particularly where located along fixed transit lines and around transit stops and stations.

PROPOSED TEXT AMENDMENTS

ORDINANCE ____

[ORDINANCE TITLE]

[WHEREAS CLAUSES]

THE CITY OF ST. PETERSBURG DOES ORDAIN:

Section 1. Section 16.10.020.1 Matrix: Use Permissions and Parking Requirements Matrix and Zoning Matrix of the St. Petersburg City Code is hereby amended to replace the existing definition for an “Accessory, Dwelling Unit” use with the following language:

“An ancillary or secondary living unit that has a separate kitchen, bathroom, and sleeping area, existing either within the same structure, or on the same lot, as the primary detached single-family house. Accessory dwelling units are not counted against the otherwise applicable maximum dwelling units per acre density standard. (See Use Specific Development Standards)”

Section 2. Section 16.10.020.1 Matrix: Use Permissions and Parking Requirements Matrix and Zoning Matrix of the St. Petersburg City Code is hereby amended to revise an existing definition for the “Dwelling, Multi-Family” use to read as follows:

“A building designed for or occupied by two or more families (on the basis of monthly, or longer occupancies, or ownership of individual units) with separate cooking, bathroom and sleeping facilities for each unit. Motels, hotels, and other transient accommodation uses are not multiple-family dwellings. Accessory uses include clubhouses, recreational and laundry facilities. ~~Minimum gross floor area shall be, for an efficiency/studio unit 375 sf; one bedroom unit 500 sf; two bedroom unit 750 sf; for dwelling units with more than two bedrooms, an additional 200 sf for each additional bedroom.”~~

Section 3. Section 16.10.020.1 Matrix: Use Permissions and Parking Requirements Matrix and Zoning Matrix of the St. Petersburg City Code is hereby amended to reduce the minimum number of parking spaces required for the “Dwelling, Multi-Family” use to read as follows:

Land Use	Traditional	Suburban	Downtown
Dwelling, Multi-Family	<p><u>More than 750 square feet:</u> <u>0.75 +</u> per unit up to 2 bedrooms, plus 0.5 for each additional bedroom;</p> <p><u>Equal to or less than 750 square feet:</u> <u>0.50 per unit</u></p>	<p><u>More than 750 square feet:</u> <u>1.25 +.5</u> per unit up to 2 bedrooms, plus 0.5 for each additional bedroom;</p> <p><u>Equal to or less than 750 square feet:</u> <u>0.75 per unit</u></p>	<p><u>More than 750 square feet:</u> 1 per unit;</p> <p><u>Equal to or less than 750 square feet:</u> <u>zero (0) per unit</u></p>

Section 4. Section 16.40.090.3.2.C *Minimum Number of Parking Spaces Required:* *Administrative Adjustment of Standards* is hereby amended to revise an existing adjustment for workforce and affordable housing to read as follows:

~~Workforce and Affordable Housing reduction. Where committing at least 50 % of the total no. of dwelling units for occupancy as affordable to low income households, as defined in chapter 17.5, City Code, and for a duration of 15 yrs. or more, the development may hold open space in landscape reserve for future parking needs:~~

- ~~• Up to 25 % of the min. no. of required spaces and their associated drive lanes may be held in reserve as unimproved open space;~~
- ~~• Additional 20 % may be held in reserve if located within 1/8 mile of a transit stop serving at least two different transit routes; or~~
- ~~• Additional 10 % may be held in reserve if located or if the development is not located within 1/8 mile of a transit stop, but is located within 1/4 mile of a transit stop serving at least two different routes~~

9. Where committing at least 50-percent of the total number of dwelling units for occupancy as Certified Affordable/Workforce Housing, the minimum number of parking spaces required may be reduced by 10-percent. For Certified Affordable/Workforce Housing units that are also classified [senior age-restricted], the minimum number of parking spaces required may be reduced an additional 5-percent for a combined 15-percent reduction.

Section 5. Section 16.40.090.3.2.C *Minimum Number of Parking Spaces Required:* *Administrative Adjustment of Standards* is hereby amended to add a new adjustment for proximity to high frequency transit routes to read as follows:

10. Proximity to High-Frequency Transit Routes. Where a property, in whole or part, is located within 1/8-mile of a high frequency transit route, defined as a route with a scheduled weekday peak hour headway of 30-minutes or better, the minimum number of parking spaces required may be reduced by 10-percent. High frequency transit routes located on the Interstate 275 do not qualify for this adjustment. This 10-percent reduction may be combined with the reductions allowed for Certified Affordable/Workforce Housing and senior age restricted housing.

Section 6. Section 16.50.010.5.1.A.1 *Development Standards: Lot Requirements* is hereby amended to revise the minimum lot area to read as follows:

1. The lot area shall be at least ~~5,800~~ 4,500 square feet.

Section 7. Section 16.20.010.11 *Building and Site Design: Building Form* is hereby amended to revise the building form standards for certified affordable and workforce housing to read as follows:

Building form.

1. The front porch shall be elevated at least 12 inches above the abutting finished grade level as measured abutting the porch at the front entry. For Certified Affordable / Workforce Housing, the required minimum elevation shall be 8-inches, and the pedestrian walkway at the entrance may be graded to allow zero step entrance in accordance with the City Visitability ordinance,

provided that all other areas of the porch meet the 8-inch minimum above the abutting finished grade.

Section 8. Section 16.20.010.11 *Building and Site Design: Wall Composition and Transparency* is hereby amended to revise the wall composition and transparency standards for certified affordable and workforce housing to read as follows:

2. At least 30 percent of primary and secondary street facades shall consist of fenestration or architectural details and features. At least 20 percent of the front two-thirds of interior side facades shall consist of fenestration or architectural details and features. At least ten percent of the rear façade on corner lots and through lots shall consist of fenestration or architectural details and features. At least 50 percent of the required fenestration shall be transparent (i.e., window glass). For Certified Affordable / Workforce Housing, the primary and secondary street facades minimum shall be 20-percent and the interior side yard facade minimum shall be 15-percent.

Section 9. Section 16.90.020.3 *Rules of Interpretation and Definitions: Definitions* is hereby amended to add a definition, in alphabetical order, for certified affordable and workforce housing to read as follows:

Certified Affordable/Workforce Housing shall mean any single-family home designated through the City's Affordable/Workforce housing program.

Section 10. Coding: As used in this ordinance, language appearing in struck-through type is language to be deleted from the City Code, and underlined language is language to be added to the City Code, in the section, subsection, or other location where indicated. Language in the City Code not appearing in this ordinance continues in full force and effect unless the context clearly indicates otherwise. Sections of this ordinance that amend the City Code to add new sections or subsections are generally not underlined.

Section 11. The provisions of this ordinance shall be deemed to be severable. If any provision of this ordinance is determined unconstitutional or otherwise invalid, such determination shall not affect the validity of any other provisions of this ordinance.

Section 12. In the event this Ordinance is not vetoed by the Mayor in accordance with the City Charter, it shall become effective upon the expiration of the fifth business day after adoption unless the Mayor notifies the City Council through written notice filed with the City Clerk that the Mayor will not veto this Ordinance, in which case this Ordinance shall become effective immediately upon filing such written notice with the City Clerk. In the event this Ordinance is vetoed by the Mayor in accordance with the City Charter, it shall not become effective unless and until the City Council overrides the veto in accordance with the City Charter, in which case it shall become effective immediately upon a successful vote to override the veto.

HOUSING AFFORDABILITY IMPACT STATEMENT

**City of St. Petersburg
Housing Affordability Impact Statement**

Each year, the City of St. Petersburg receives approximately \$2 million in State Housing Initiative Partnership (SHIP) funds for its affordable housing programs. To receive these funds, the City is required to maintain an ongoing process for review of local policies, ordinances, resolutions, and plan provisions that *increase the cost of housing construction, or of housing redevelopment*, and to establish a tracking system to estimate the cumulative cost per housing unit from these actions for the period July 1– June 30 annually. This form should be attached to all policies, ordinances, resolutions, and plan provisions which increase housing costs, and a copy of the completed form should be provided to the City’s Housing and Community Development Department.

I. Initiating Department: Planning & Development Services Development

II. Policy, Procedure, Regulation, or Comprehensive Plan Amendment Under Consideration for adoption by Ordinance or Resolution:

See attached proposed amendments to Chapter 16, City Code of Ordinances (City File LDR 2019-03).

III. Impact Analysis:

A. Will the proposed policy, procedure, regulation, or plan amendment, (being adopted by ordinance or resolution) increase the cost of housing development? (i.e. more landscaping, larger lot sizes, increase fees, require more infrastructure costs up front, etc.)

No X (No further explanation required.)

Yes Explanation:

If Yes, the **per unit cost increase** associated with this proposed policy change is estimated to be: \$_____.

B. Will the proposed policy, procedure, regulation, plan amendment, etc. increase the time needed for housing development approvals?

No X (No further explanation required)

Yes Explanation:

IV: Certification

It is important that new local laws which could counteract or negate local, state and federal reforms and incentives created for the housing construction industry receive due consideration. If the adoption of the proposed regulation is imperative to protect the public health, safety and welfare, and therefore its public purpose outweighs the need to continue the community's ability to provide affordable housing, please explain below:

CHECK ONE:

- The proposed regulation, policy, procedure, or comprehensive plan amendment will **not** result in an increase to the cost of housing development or redevelopment in the City of St. Petersburg and no further action is required. (Please attach this Impact Statement to City Council Material, and provide a copy to Housing and Community Development department.)



Manager, Urban Planning and Historic Preservation Division (signature)

Date

OR

- The proposed regulation, policy, procedure, or comprehensive plan amendment being proposed by resolution or ordinance *will increase housing costs* in the City of St. Petersburg. (Please attach this Impact Statement to City Council Material, and provide a copy to Housing and Community Development department.)

Manager, Urban Planning and Historic Preservation Division (signature)

Date

Copies to: City Clerk
Joshua A. Johnson, Director, Housing and Community Development

HABITAT FOR HUMANITY LETTER, APRIL 12, 2019

MAP, QUALIFIED ADU LOTS 4,500 SF – 5,799 SF

MAP, HIGH FREQUENCY TRANSIT ROUTES

COMPARATIVE PARKING ANALYSIS



Habitat
for Humanity®
of Pinellas & West Pasco Counties

We build **strength, stability, self-reliance and shelter.**

April 12, 2019

St. Petersburg City Council Member Charlie Gerdes
P.O. Box 2842
St. Petersburg, FL 33731

Dear Councilmember Gerdes,

Habitat for Humanity of Pinellas and West Pasco Counties (HfHPWPC) has worked closely with City Staff in finding common sense solutions, specifically related to design standards, to reduce some of the significant cost barriers of constructing single family affordable housing within St. Petersburg. Currently, there is a package of potential Land Development Regulations (LDRs) design standards amendments for certified affordable housing projects being proposed that with your support would facilitate the ability for all single family housing nonprofit developers to build more homes in the City.

Proposed Changes

Building and site design. Building form

1. ~~The front porch shall be elevated at least 12 inches above the abutting finished grade level as measured abutting the porch at the front entry. For Certified Affordable/Workforce Housing, the required minimum elevation shall be 8 inches, and the pedestrian walkway at the entrance may be graded to allow zero step entrance in accordance with the City Visitability ordinance, provided that all other areas of the porch meet the 8" minimum above the abutting finished grade~~
 - ❖ Reducing the design requirement from 12" to 8" will save approximately \$8,000 per home in construction costs. Collateral information is attached to this document (Attachment 1), demonstrating the realized foundation costs for a Habitat home built in St. Petersburg (\$28,433.66) vs the City of Largo (\$20,983.02).
 - ❖ Greater allowances for 'zero step' entries, ensure homes meet visitability standards and assist in ageing in place.

Wall composition and transparency

2. ~~At least 30 percent of primary and secondary street facades shall consist of fenestration or architectural details and features. At least 20 percent of the front two thirds of interior side facades shall consist of fenestration or architectural details and features. At least ten percent of the rear façade on corner lots and through lots shall consist of fenestration or architectural details and features. At least 50 percent of the required fenestration shall be transparent (i.e., window glass). For Certified Affordable/Workforce Housing, the primary and secondary street facades minimum shall be 20 percent and the interior side yard facade minimum shall be 15 percent.~~
 - ❖ For a standard SFH front façade of 240sqft this change would reduce the required transparency (windows) by 12sqft from the current 36sqft to 24sqft, effectively reducing the number of windows on the front façade from three to two. Construction costs savings would in the range of \$600 to \$1,500 per home Attached (attachment 2) are example photos of what a reduction would look like.



**Habitat
for Humanity®**
of Pinellas & West Pasco Counties

We build **strength, stability, self-reliance and shelter.**

These minimal design changes will save approximately \$10,000.00 in construction costs per home and provide greater feasibility to the development of affordable housing in the City. **HfHPWPC is requesting your full support** for the LDRs design standards amendments for certified affordable housing projects being proposed. We thank you for your time and compassion in your service to the community.

Sincerely,

Mike Sutton
President and Chief Executive Officer

cc: St. Petersburg Mayor Rick Kriseman
St. Petersburg Deputy Mayor and City Administrator Dr. Kanika Tomalin
St. Petersburg Neighborhood Affairs Administrator Rob Gerdes
Habitat for Humanity Board member Karl Nurse

Habitat for Humanty of Pinellas
 132.293 - 1819 48th St S
 As of March 31, 2019

	Mar 31, 19
Service	
02-Permits (Permits & Fees)	
0203 Power (Power)	-422.39
0207 Storage (Mobile Mini)	-557.06
0209 - other (Permits and Fees - Other)	-209.00
0210 Appraisals (Appraisals)	-500.00
02-Permits (Permits & Fees) - Other	-1,141.76
Total 02-Permits (Permits & Fees)	-2,830.21
03-Surveys (Surveys)	-940.00
04-Site Prep (Site Prep)	
0402 Lot Clearing (Lot Clearing)	-8,140.00
0403 Plumbing R/I (P1-Plumbing R-I)	-2,295.00
0405-Lawn Maintenance (Lawn Maintenance)	-314.25
Total 04-Site Prep (Site Prep)	-10,749.25
05-Slab Prep (Slab Prep)	-16,200.33
06-Slab Pour (Slab Pour)	-12,233.33
07-Ext Frame (Exterior Frame Material)	-12,233.34
08-Trusses (Trusses)	-11,515.13
09-Sheathing (Exterior Sheathing)	-3,975.20
10-Roofing (Roofing Material)	-3,918.00
11-Int Wall F (Interior Wall Frame Material)	-5,002.15
12-Ext Doors (Exterior Doors)	-1,351.46
13-Windows (Windows)	-2,113.18
14-Ext Siding (Exterior Siding / Soffit)	-3,020.00
15-Soffit & Facia (Soffit & Fascia)	-1,742.91
16-Rough Ins (Rough Ins)	
1601 Tub Set (Tub Set)	-2,200.00
1602 HVAC (HVAC Rough-in)	-2,377.50
1603 Elect (Electrical Rough-In)	-3,983.00
Total 16-Rough Ins (Rough Ins)	-8,560.50
17-Insulation (Insulation)	
1701 Batts (Batts Insulation)	-140.88
1702 Blown (Blown Insulation)	-924.00
Total 17-Insulation (Insulation)	-1,064.88
19-Paint (Paint)	-1,582.17
20-Int Doors (Interior Doors)	
2001 Hdwr (Door Hardware)	-342.40
20-Int Doors (Interior Doors) - Other	-915.56
Total 20-Int Doors (Interior Doors)	-1,257.96
21-Int Trim (Interior Trim)	-221.76
22-Cabinets (Cabinets)	-2,749.34

STEM WALL ST. PETE

Habitat for Humanty of Pinellas
136.90 1597 Gooden Crossing
 As of March 31, 2019

Mar 31, 19

Service	
02-Permits (Permits & Fees)	
0203 Power (Power)	-340.86
0204 Waste Disposal (Waste Disposal)	-450.00
0205 Water&Sewer (Water & Sewer)	-3,464.01
0207 Storage (Mobile Mini)	-521.16
0209 - other (Permits and Fees - Other)	-119.00
0210 Appraisals (Appraisals)	-475.00
02-Permits (Permits & Fees) - Other	-5,396.83
Total 02-Permits (Permits & Fees)	-10,766.86
03-Surveys (Surveys)	-1,530.00
04-Site Prep (Site Prep)	
0402 Lot Clearing (Lot Clearing)	-5,325.00
0403 Plumbing R/I (P1-Plumbing R-I)	-2,245.00
0404 Soil Pre-Treat (Soil Treatment)	-1,250.00
0405-Lawn Maintenance (Lawn Maintenance)	-154.00
04-Site Prep (Site Prep) - Other	-400.00
Total 04-Site Prep (Site Prep)	-9,374.00
05-Slab Prep (Slab Prep)	-8,414.35
06-Slab Pour (Slab Pour)	-12,568.67
07-Ext Frame (Exterior Frame Material)	-12,102.51
08-Trusses (Trusses)	-6,238.85
09-Sheathing (Exterior Sheathing)	-4,147.20
10-Roofing (Roofing Material)	-4,079.69
11-Int Wall F (Interior Wall Frame Material)	-3,222.72
12-Ext Doors (Exterior Doors)	-869.61
13-Windows (Windows)	-1,923.91
14-Ext Siding (Exterior Siding / Soffit)	-3,475.00
15-Soffit & Facia (Soffit & Fascia)	-1,753.45
16-Rough Ins (Rough Ins)	
1601 Tub Set (Tub Set)	-2,150.00
1602 HVAC (HVAC Rough-in)	-2,419.00
1603 Elect (Electrical Rough-In)	-4,137.00
Total 16-Rough Ins (Rough Ins)	-8,706.00
18-Drywall (Drywall)	-5,650.00
19-Paint (Paint)	-2,059.02
20-Int Doors (Interior Doors)	
2001 Hdwr (Door Hardware)	-482.06
20-Int Doors (Interior Doors) - Other	-922.82
Total 20-Int Doors (Interior Doors)	-1,404.88
21-Int Trim (Interior Trim)	-236.80
22-Cabinets (Cabinets)	-2,317.36

*MONO SLAB
 COUNTY*

Attachment 2

City of St. Petersburg



Pinellas County (Unincorporated)

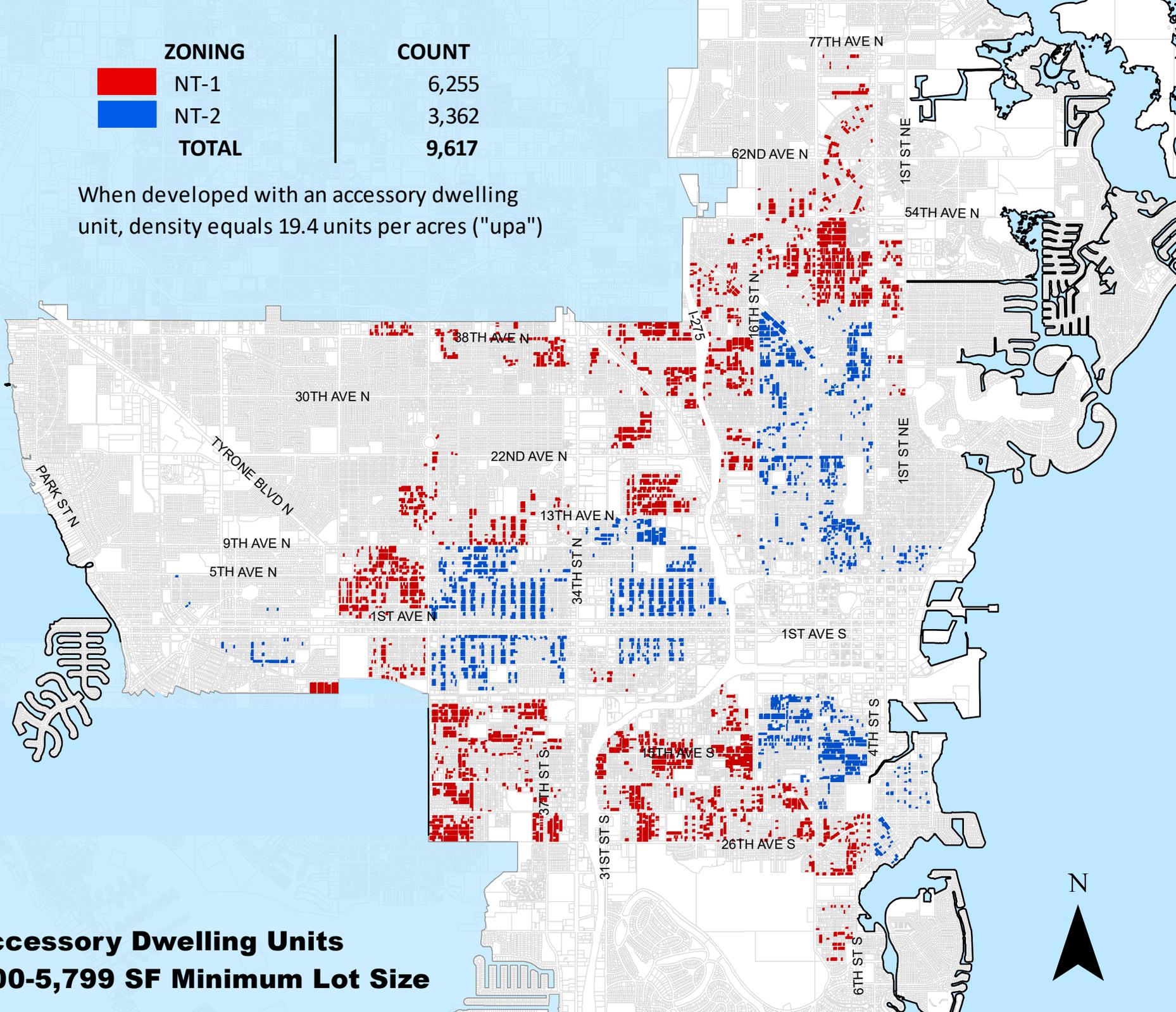


12 inches Above Grade	8 Inches Above Grade
Step Entry	Zero Step Entry / Visitability
30% Fenestration (3 Windows on Front Façade)	> 30% Fenestration (2 Windows on Front Façade)

ZONING		COUNT
■	NT-1	6,255
■	NT-2	3,362
	TOTAL	9,617

When developed with an accessory dwelling unit, density equals 19.4 units per acres ("upa")

Accessory Dwelling Units
NT, 4,500-5,799 SF Minimum Lot Size

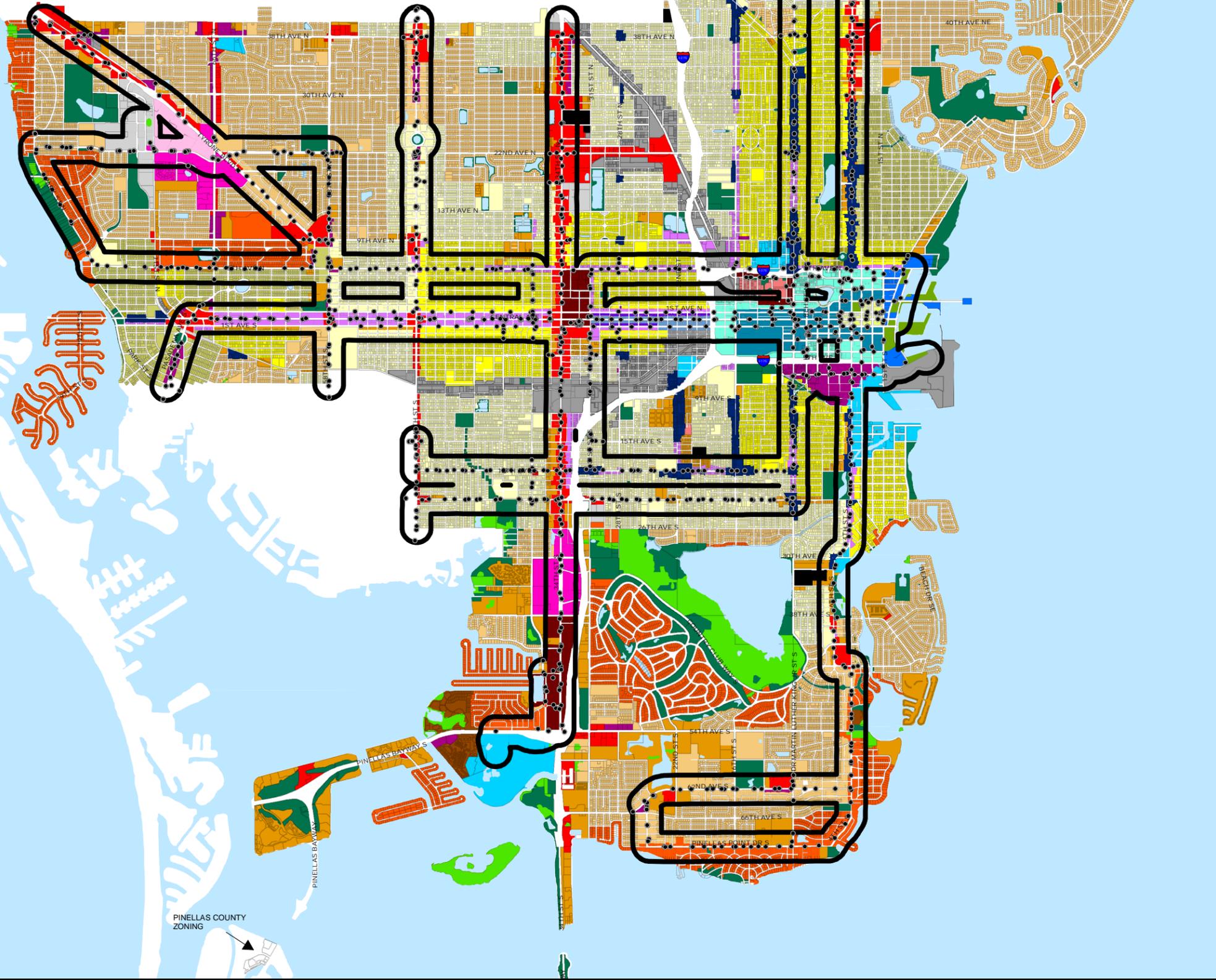


ZONING WITH 1/8 MILE BUFFERS FROM HIGH FREQUENCY ROUTES

NEIGHBORHOOD TRADITIONAL		
	Neighborhood Traditional Single Family - 1	NT-1
	Neighborhood Traditional Single Family - 2	NT-2
	Neighborhood Traditional Single Family - 3	NT-3
	Neighborhood Traditional Single Family - 4	NT-4
NEIGHBORHOOD SUBURBAN		
	Neighborhood Suburban Single Family - 1	NS-1
	Neighborhood Suburban Single Family - 2	NS-2
	Neighborhood Suburban Estate	NS-E
	Neighborhood Suburban Multi Family - 1	NSM-1
	Neighborhood Suburban Multi Family - 2	NSM-2
	Neighborhood Mobile Home	NMH
	Neighborhood Planned Unit Development-1	NPUD-1
	Neighborhood Planned Unit Development-2	NPUD-2
CORRIDOR RESIDENTIAL		
	Corridor Residential Traditional - 1	CRT-1
	Corridor Residential Traditional - 2	CRT-2
	Corridor Residential Suburban - 1	CRS-1
	Corridor Residential Suburban - 2	CRS-2
CORRIDOR COMMERCIAL		
	Corridor Commercial Traditional - 1	CCT-1
	Corridor Commercial Traditional - 2	CCT-2
	Corridor Commercial Suburban - 1	CCS-1
	Corridor Commercial Suburban - 2	CCS-2
INDUSTRIAL		
	Industrial Suburban	IS
	Industrial Traditional	IT
CENTERS		
	Downtown Center- Core	DC-C
	Downtown Center-1	DC-1
	Downtown Center-2	DC-2
	Downtown Center-3	DC-3
	Downtown Center- Park	DC-P
	Employment Center-1	EC-1
	Employment Center -2	EC-2
	Institutional Center	IC
	Retail Center - 1	RC-1
	Retail Center - 2	RC-2
	Retail Center - 3	RC-3
PRESERVATION		
	Preservation	P
WATER		
	Water	W

1/8 Mile Buffer from Higher Frequency Routes

Route Stops along Higher Frequency Routes



PINELLAS COUNTY ZONING

City	US Census Data	Most Intense District(s)				Suburban District(s)			
	July 1, 2017 Pop	Studio	1-bedroom	2-bedroom	3+bedroom	Studio	1-bedroom	2-bedroom	3+bedroom
Miami Beach	92,307	-	-	-	-	1.50	1.50	1.75	2.00
Fort Lauderdale	180,072	-	-	-	-	1.75	1.75	2.00	2.10
Gainesville	132,249	-	-	-	-	1.50	1.75	2.00	2.00
Memphis	652,236	-	-	-	-	1.00	1.50	1.50	1.50
Atlanta	486,290	0.42	0.42	0.42	0.42	1.00	1.00	1.00	1.00
St. Petersburg	263,255	1.00	1.00	1.00	1.00	1.50	1.50	1.50	2.00
Tampa	385,430	1.00	1.00	1.00	1.00	1.00	1.00	1.50	2.00
Phoenix	1,626,078	1.00	1.00	1.00	1.00	1.30	1.50	1.50	2.00
West Palm Beach	110,222	1.00	1.25	1.50	1.50	1.50	1.75	2.00	2.00
Charlotte	859,035	1.50	1.50	1.50	1.50	1.50	1.50	1.50	1.50
Houston	2,312,717	1.25	1.33	1.66	2.00	1.25	1.33	1.66	2.00
Orlando	280,257	1.50	1.50	1.75	2.00	1.50	1.50	1.75	2.00
Jacksonville	892,062	1.50	1.75	2.00	2.25	1.50	1.75	2.00	2.25
Fort Myers	79,943	1.50	1.50	2.00	2.00	1.50	1.50	2.00	2.00
Dallas	1,341,075	1.00	1.00	2.00	3.00	1.00	1.00	2.00	3.00
Tallahassee	191,049					1.00	1.50	2.00	2.00
Clearwater	115,513	2.00	2.00	2.00	2.00	2.00	2.00	2.00	2.00
Temple Terrace	26,489	1.60	1.60	1.60	2.20				

Comparison of parking requirements to St. Petersburg's current requirements

>0.25
>= 0.25 to > 0.125
>= 0.125 to <=0.125
<0.125 to <=0.25
<0.25



CITY OF ST. PETERSBURG, FLORIDA
PLANNING & DEVELOPMENT SERVICES DEPT.
DEVELOPMENT REVIEW SERVICES DIVISION

APPEAL
STAFF REPORT
DEVELOPMENT REVIEW COMMISSION - VARIANCE REQUEST
PUBLIC HEARING

For **Public Hearing** and **Executive Action** on **May 1, 2019** beginning at 2:00 P.M., Council Chambers, City Hall, 175 Fifth Street North, St. Petersburg, Florida

According to Planning & Development Services Department records, **no Commission member** resides or has a place of business within 2,000 feet of the subject property. All other possible conflicts should be declared upon the announcement of the item.

CASE No.: 19-54000009 PLAT SHEET: F-6

DESCRIPTION: Appeal of a POD decision to streamline approval of a variance to the required permeable area in the front yard in order to provide on-site parking and a driveway.

OWNER: Stacha Madsen
554 6th Avenue North
Saint Petersburg, Florida 33701

ADDRESS: 554 6th Avenue North

PARCEL ID NO.: 18-31-17-77814-014-0122

LEGAL DESCRIPTION: On File

ZONING: Neighborhood Traditional Single-Family-2 (NT-2)

Background:

The property in question is a legal non-conforming lot of record, located in the Historic Uptown neighborhood. The property is 60-feet in depth by 43.3-feet in width. The property record card shows there was a legally constructed structure in 1930.

On December 10, 2018 a contractor applied for and obtained a permit (18-12000517) to construct a driveway in the front yard of this property based on the criteria in section 16.20.010.11. A City provided driveway application worksheet was used to obtain this permit. After the commencement of construction and prior to the first inspection, the owner came to the City to change contractors and to discuss the driveway with Development Review Services staff. During

this visit the Owner provided staff a copy of the survey at time of purchase (Exhibit A) and staff determined that the driveway permit had been issued in error. Staff informed the owner of the error and discussed the need for a variance to the impervious surface ratio in the front yard. As originally developed the residence was constructed close to the front property line creating an issue with the required permeable area in the front yard. Staff placed a hold on the permit pending the outcome of a variance and the owner complied and provided a completed application which included the owner's original driveway proposal (Exhibit B) as approved under the permit. The POD then made the determination to streamline the approval of the variance with conditions. First condition was that the site conditions needed be verified to determine the correct site calculations by requesting the applicant provide an updated survey (Exhibit C) reflecting any changes due to the active residential remodel permit. The second condition was that in lieu of a full car width parking pad the owner was to construct a ribbon drive way to create minimal impact on the site. (Exhibit D)

POD's Decision:

The POD (Zoning Official) reviewed the application and made a determination of consistency With the Land Development Regulations (LDR) Sections 16.20.010.05. and 16.20.010.11., therefore, approving the application. The applicant's request is for approval of a variance to the required permeable area in the front yard in order to provide two on-site parking spaces. Section 16.20.010.11 – Vehicles Connections and Parking states that in the absence of an alley and a side street, a single lane width curb cut, and driveway shall be allowed which shall be located to the side of the principal structure. Required parking shall be allowed only behind the front façade line of the principal structure, including the porch, if any.

Based on this portion of the code, the property by right, is allowed to install a driveway. Since this specific property was developed so close to the front property line, it is in non-compliance and requires the variance in order for the applicant to access the curb cut. The applicant agreed to provide the most minimal code compliant parking pad in the form of a ribbon drive as well as allocating for the parking to be located behind the front façade line of the principle structure.

Appeal:

Dr. Beth Eschenfelder and Robert Coscia filed an appeal on March 7, 2019 to the POD's decision to approve the application. The appeal generally argues the request is:

1. Incompatible with the neighborhood's traditional neighborhood pattern.
2. Inconsistent with the City's code and the City's Comprehensive plan.
3. Not meeting the Standards for Review of variances as established by code.
4. Contributing to flooding in the area.
5. Provides inaccurate surface calculations.

Staff Response:

Staff finds that the application meets the criteria of code and provides an analysis in support of this finding below. Following the analysis of the code criteria, staff provides responses to the five issues identified in the appeal.

Staff Analysis of Criteria:

The Planning & Development Services Department staff reviewed this application in the context of the following criteria excerpted from the City Code and found that the requested variance is **consistent** with these standards. Per City Code Section 16.70.040.1.6 Variances, Generally, the DRC's decision shall be guided by the following factors:

1. *Special conditions exist which are peculiar to the land, building, or other structures for which the variance is sought, and which do not apply generally to lands, buildings, or other structures in the same district. Special conditions to be considered shall include, but not be limited to, the following circumstances:*

a. *Preservation district. If the site contains a designated preservation district.*
The subject property is listed as a contributing property in the Round Lake National Register Historic District; however, the property is not locally designated.

b. *Neighborhood Character. If the proposed project promotes the established historic or traditional development pattern of a block face, including setbacks, building height, and other dimensional requirements.*

The proposed project does promote the established development pattern of the block face. The property currently exceeds the impervious surface ratio (ISR) allowed in the front yard by 45% for a total front yard ISR of 90% and for the overall site ISR at 67%.

The applicant's improvements to the residence in conjunction with the ribbon driveway will actually reduce the amount of ISR in the front yard and the site. See tables below.

Structure	Area	Max Allowed / Min Required ISR	Existing ISR	Proposed ISR	Variance Requested
Lot / Site	2600	65%	67%	56%	0%
Front Yard	1083	45%	90%	66%	21%

EXISTING CONDITIONS - SITE BREAKDOWN

Structure	Area in Sq. Ft.	Lot Sq. Ft.	Percentage
House	1146		
Shed	45		
Patio	355		
Steps / Pads / Walkways	196		
SQ. FT TOTAL	1742	2600	67%

PROPOSED CONDITIONS - SITE BREAKDOWN

Structure	Area in Sq. Ft.	Lot Sq. Ft.	Percentage
House	1035		
Ribbon Drive	144		
Patio	79		
Steps / Pads / Walkways	196		
SQ. FT TOTAL	1454	2600	56%

EXISTING CONDITIONS - FRONT YARD BREAKDOWN

Structure	Area in Sq. Ft.	Lot Sq. Ft.	Percentage
House	583		
Patio	263		
Steps / Pads / Walkways	134		
SQ. FT TOTAL	980	1083	90%

PROPOSED CONDITIONS - FRONT YARD BREAKDOWN

Structure	Area in Sq. Ft.	Lot Sq. Ft.	Percentage
House	583		
Ribbon Drive	100		
Steps / Pads / Walkways	30		
SQ. FT TOTAL	713	1083	66%

2. *The special conditions existing are not the result of the actions of the applicant;*

The existing conditions are not the result of actions by the applicant. The parcel and home are in the same conditions as when it was originally developed.

3. *Owing to the special conditions, a literal enforcement of this Chapter would result in unnecessary hardship;*

Without approval of the requested variance, the owner will not be able to provide on-site parking for the single-family residence as it is required in Sections 16.10.020.1 for this particular use.

4. *Strict application of the provisions of this chapter would provide the applicant with no means for reasonable use of the land, buildings, or other structures;*

If a literal application of the Code is used, the property owner could not enjoy the same rights as others in the zoning district who have similar lot sizes and site conditions. The applicant does not have the ability to access the site via an alley or side street to provide on-site parking. The applicant is proposing to reduce the amount of ISR on the site and in the front yard bringing the property closer into compliance. The applicant is also in the process of completing home improvements that have reduced the overall site ISR by 11% for a total ISR of 56%.

5. *The variance requested is the minimum variance that will make possible the reasonable use of the land, building, or other structure;*

The variance request is the minimum necessary to allow reasonable use of the land as a single-family residence. If a new single-family residence was to be developed on this site it would be required to provide a minimum of two on-site parking spaces.

The applicant currently meets ISR requirements for the site and is bringing the front yard further into compliance by 21% by not requesting a parking pad and instead providing a ribbon driveway.

6. *The granting of the variance will be in harmony with the general purpose and intent of this chapter;*

The intent of having the maximum impervious surface requirement is to improve the appearance, environment, character, and value of the City by requiring the installation of vegetation in a manner which conserves and percolates water. Implementation of these requirements potentially reduces stormwater runoff, flooding, and heat island effects. Reducing stormwater runoff is one way to protect water quality and the natural environment. Reducing flooding and the heat island effect is a key objective for making the City more liveable, pedestrian friendly, and aesthetically pleasing. The granting of this variance would

be harmonious with the purposes of promoting the public health, safety, and welfare as described in Chapter 16. It is reducing the non-conformance of an existing condition as well as removing 2 vehicles off the street and onto the property. The drive aisle is deep enough for the parking to occur behind the front façade line of the principal structure as prescribed in Section 16.20.010.11 – Vehicles Connections and Parking.

7. *The granting of the variance will not be injurious to neighboring properties or otherwise detrimental to the public welfare; and,*

The granting of this variance should not be injurious to neighboring properties, as it is providing more permeable areas than what exists on the property and removing vehicles from the constrained public parking.

8. *The reasons set forth in the application justify the granting of a variance;*

Staff finds that the reasons set forth in the variance application do justify the granting of the variance based on the analysis provided and the recommended special conditions of approval.

9. *No nonconforming use of neighboring lands, buildings, or other structures, legal or illegal, in the same district, and no permitted use of lands, buildings, or other structures in adjacent districts shall be considered as grounds for issuance of a variance permitting similar uses.*

No nonconforming uses, buildings, or structures have been utilized in Staff's analysis.

Appeal Responses:

#1 Incompatible with the neighborhoods traditional neighborhood's pattern.

Response: As developed, this property does not meet the current lot sizes set forth in 16.20.010.1 however, it does meet the compositional intent of the District. The residences in traditional neighborhoods were typically constructed prior to 1950 and exhibit architecture of the early 20th Century. Buildings were typically constructed close to the street and kept the pedestrian nature of the neighborhoods in mind. Alleyways are used as the primary means of providing areas for utilities and access to off-street parking to the rear of the properties. Driveways and garages in front yards are not typical in most traditional neighborhoods. City Code Section 16.20.010.11 provides regulations for vehicle connections and parking on traditional neighborhood properties which do not have access to a side street or an alleyway. This proposal meets these regulations and therefor is allowed a single lane width curb-cut and driveway to be located to the side of the structure and provides that the required parking be located behind the front façade line of the principal structure.

#2 Inconsistent with the City's Code and the City's Comprehensive plan.

Response:

Land Development Regulations:

By providing parking on-site and placing it behind the principle façade line, Staffs finds the proposal is consistent with Section 16.20.010.2 by preserving the character of the NT district by

removing the vehicle out of the pedestrian realm and promotes rehabilitation of the property to be used as a single-family residence.

The application also is meeting the requirements of section 16.20.010.5. - Maximum Development potential since the proposal reduces overall site ISR and brings the site into compliance. The request is seeking a variance not for total site ISR but rather the ISR required in the front yard per section 16.40.060.2.1.2. The existing front yard ISR on this non-conforming lot is at 90% and the proposal provides a reduction of 21% bringing the front yard ISR to be 66%. The residence and front steps alone contribute to 57% of that final front yard ISR calculation.

City's Comprehensive Plan:

The City's Comprehensive Plan Future Land Use Element Section LU3.6 – states that land use planning decisions shall weigh heavily the established character of predominately developed areas where changes of use or intensity of development are contemplated.

This proposal is not requesting a change in use or a change in the intensity/floor area of the site. A curb cut, or a ribbon drive aisle do not increase the intensity on the site as they do not count towards floor area.

The City's Comprehensive Plan Future Land Use Element Section LU3.8 states that The City shall protect existing and future residential uses from incompatible uses, noise, traffic and other intrusions that detract from the long-term desirability of an area through appropriate land development regulations.

This proposal is not changing the use of the property and is reducing the traffic congestion in the public right of way by providing safe accommodations to vehicles on private property.

The City's Comprehensive Plan under the Goal Aquifer Recharge (AR) Objective Policy AR2.1 it states that Variances from the required Impervious Surface Ratio (ISR) shall be discouraged. In this specific case the variance requested is not to the overall ISR on the site but rather the ISR within the front-yard. The overall site ISR will be in compliance with the NT district requirement of 65%. Further, it is reducing the front yard ISR from 90% to 66% bringing the property closer into compliance.

#3 Failure to meet the Standards for Review of variances as established by code.

Response: See staffs complete review of the variance criterion provided in this Staff Report beginning on page 2.

#4 Contributes to flooding in the area.

Response: The proposed ribbon drive along with the other permitted residential and site improvements actually reduces the overall site ISR which aids in providing more permeable area on the site for drainage.

#5 Inaccurate surface calculations.

Response: Staff has worked with the applicant to ensure an updated/current survey has been provided. The subject property is under permitted construction to provide improvements and modifications to the residence and property causing for some discrepancy in site conditions. The Applicant provided an additional updated survey on 3/5/2019 to ensure accuracy. Staff site visits, the revised survey and the original conditions survey have all been used to verify the site calculations.

Public Comments:

As of the date of this report, staff received an application with support signatures from various neighbors including the most affected neighbors to the west of the property.

The subject property is within the boundaries of the Historic Uptown Neighborhood Association. An email from the president of the neighborhood association was sent to Staff indicating their objection to the granting of this variance. Neighbors to the East of the property also sent an email opposing the granting of this variance. Find these emails as attachments to this staff report. A formal Appeal to the case was filed by the neighbors to the east of the property.

Recommendation:

STAFF RECOMMENDATION: Based on a review of the application according to the criteria contained within the City Code, the Planning and Development Services Department Staff recommends **DENIAL** of the appeal, upholding the PODs approval of the variance to the required front yard ISR as consistent with the established neighborhood pattern in accordance with sections 16.20.010.05. and 16.20.010.11.

CONDITIONS OF APPROVAL: If the variance is approved consistent with the site plan submitted with this application, the Planning and Development Services Department Staff recommends that the approval shall be subject to the following:

1. The applicant shall secure building permits for the improvements by **May 1, 2022**.
2. Approval of the front yard ISR does not grant or imply other variances from the City Code or other applicable regulations.
3. The plans submitted for permitting shall substantially resemble the plans attached to this report. Significant modifications to the plans shall require a new application and public hearing.
4. The maximum impervious surface ratio on the site shall not exceed 65%, all plans submitted for permitting must show all improvements on site and include the Impervious Surface Ratio.
5. This variance approval shall be valid through May 1, 2022. Substantial construction shall commence prior to this expiration date. A request for extension must be filed in writing prior to the expiration date.

ATTACHMENTS: Aerial, Exhibit A – Existing survey at time of purchase, Exhibit B – Original proposal by Applicant, Exhibit C – Updated survey during construction, Exhibit D – Revised proposal to provide minimal impact to the site, Applicant's Narrative, Participation Report, Signatures of Support, Appeal, opposition email from neighbors and Neighborhood Association.

Report Prepared By:

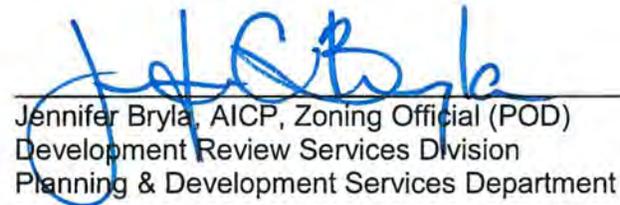


Adriana Puentes Shaw, AICP, Planner I
Development Review Services Division
Planning & Development Services Department

4/23/19

Date

Report Approved By:

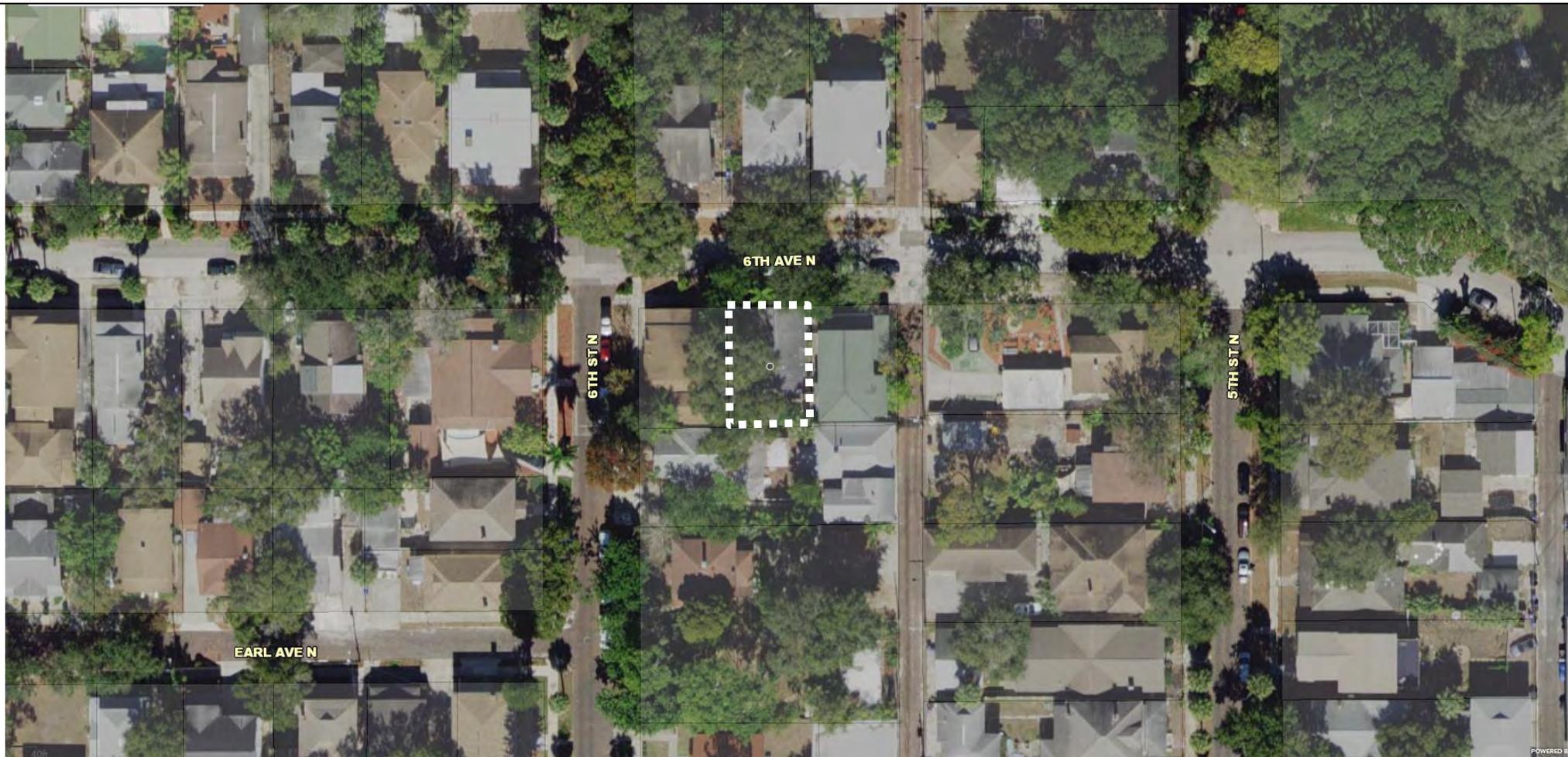


Jennifer Bryla, AICP, Zoning Official (POD)
Development Review Services Division
Planning & Development Services Department

4.23.19

Date

JCB/APS:iw



Project Location Map
City of St. Petersburg, Florida
Planning and Development Services
Department
Case No.: 19-54000009
Address: 554 6th Avenue North

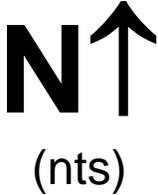


EXHIBIT A

BOUNDARY SURVEY

Date Of Field Work - 05/18/2018 Drawn By - O.G. Order #: 1000027783

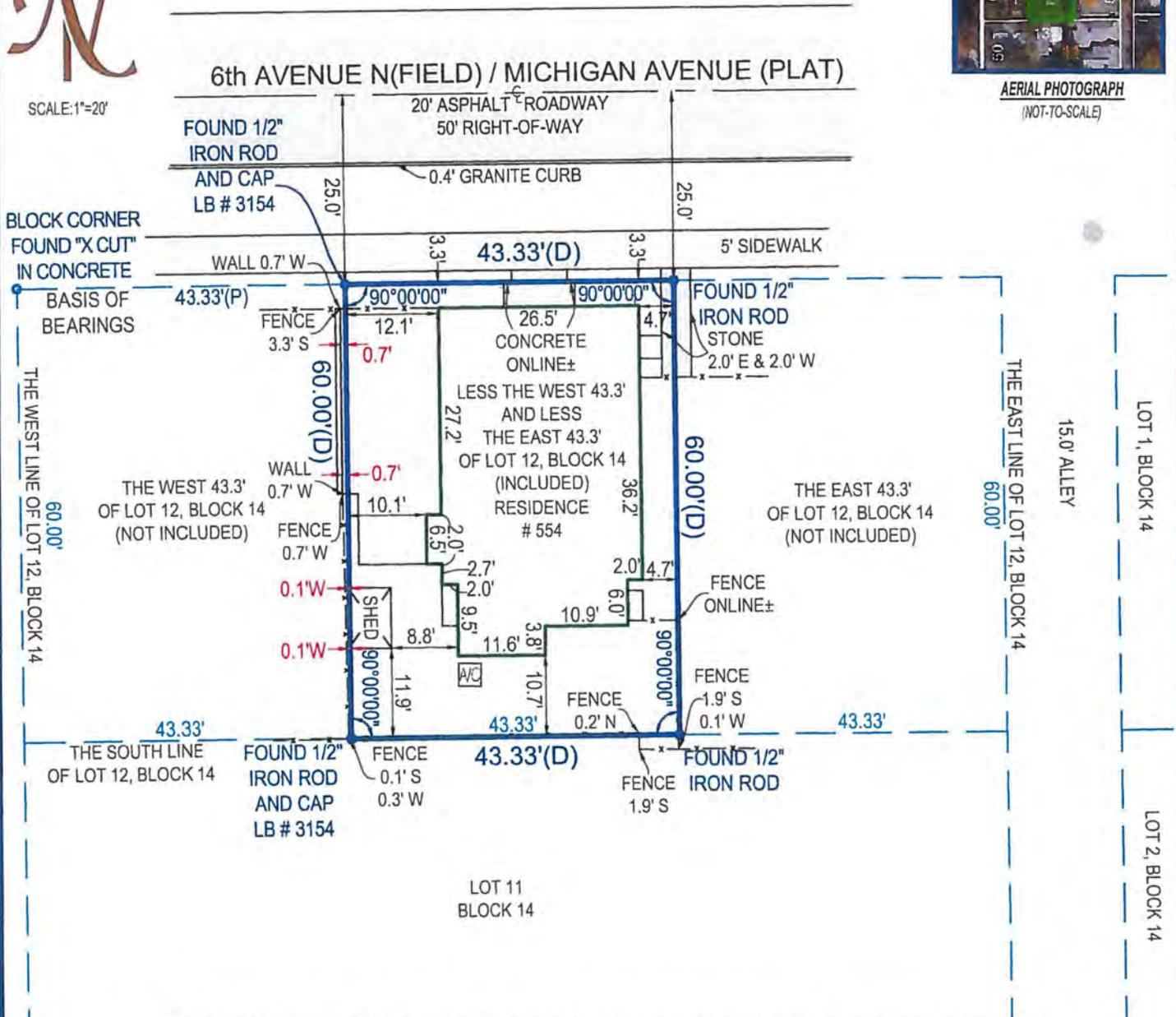
554 6th AVENUE N, ST. PETERSBURG, FL 33701



SCALE: 1"=20'



AERIAL PHOTOGRAPH
(NOT-TO-SCALE)



- ALL ANGLES AND DISTANCES SHOWN HEREON ARE BOTH RECORD AND MEASURED UNLESS OTHERWISE NOTED

SHEET 1 OF 2 (SKETCH OF SURVEY) - SEE SHEET 2 OF 2 FOR LEGAL DESCRIPTION, AND OTHER SURVEY RELATED DATA. SURVEY IS NOT COMPLETE WITHOUT ALL SHEETS



5601 CORPORATE WAY, SUITE 103
WEST PALM BEACH, FL 33407

561.508.6272
FAX: 561.508.6309
LB 8111
NexgenSurveying.com

Clyde McNeal PSM 2883
THIS SURVEY IS NOT VALID WITHOUT
THE SIGNATURE AND THE ORIGINAL RAISED SEAL
OF A FLORIDA LICENSED SURVEYOR AND MAPPER

EXHIBIT B

BOUNDARY SURVEY

Date Of Field Work - 05/18/2018 Drawn By - O.G. Order #: 1000027783

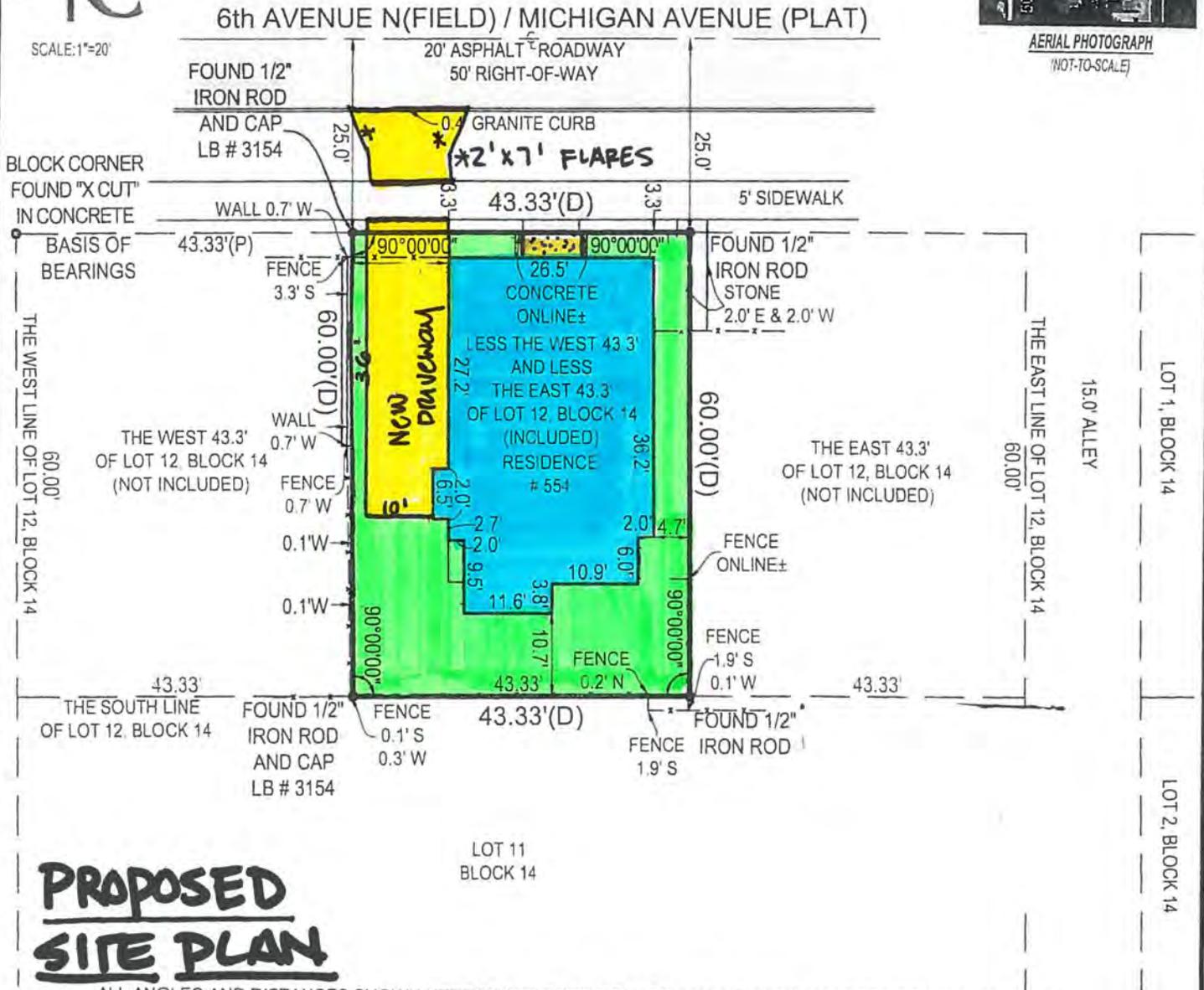
554 6th AVENUE N, ST. PETERSBURG, FL 33701



SCALE: 1"=20'



AERIAL PHOTOGRAPH
(NOT-TO-SCALE)



PROPOSED SITE PLAN

- ALL ANGLES AND DISTANCES SHOWN HEREON ARE BOTH RECORD AND MEASURED UNLESS OTHERWISE NOTED

SHEET 1 OF 2 (SKETCH OF SURVEY) - SEE SHEET 2 OF 2 FOR LEGAL DESCRIPTION, AND OTHER SURVEY RELATED DATA. SURVEY IS NOT COMPLETE WITHOUT ALL SHEETS

NEXGEN

SURVEYING, LLC.

5601 CORPORATE WAY, SUITE 103
WEST PALM BEACH, FL 33407

561.508.6272
FAX: 561.508.6309
LB 8111

NexgenSurveying.com

Clyde McNeal PSM 2883

THIS SURVEY IS NOT VALID WITHOUT
THE SIGNATURE AND THE ORIGINAL RAISED SEAL
OF A FLORIDA LICENSED SURVEYOR AND MAPPER

EXHIBIT C

BOUNDARY SURVEY

Date Of Field Work - 03/05/2019 Drawn By - V.S. Order #: 1000049331

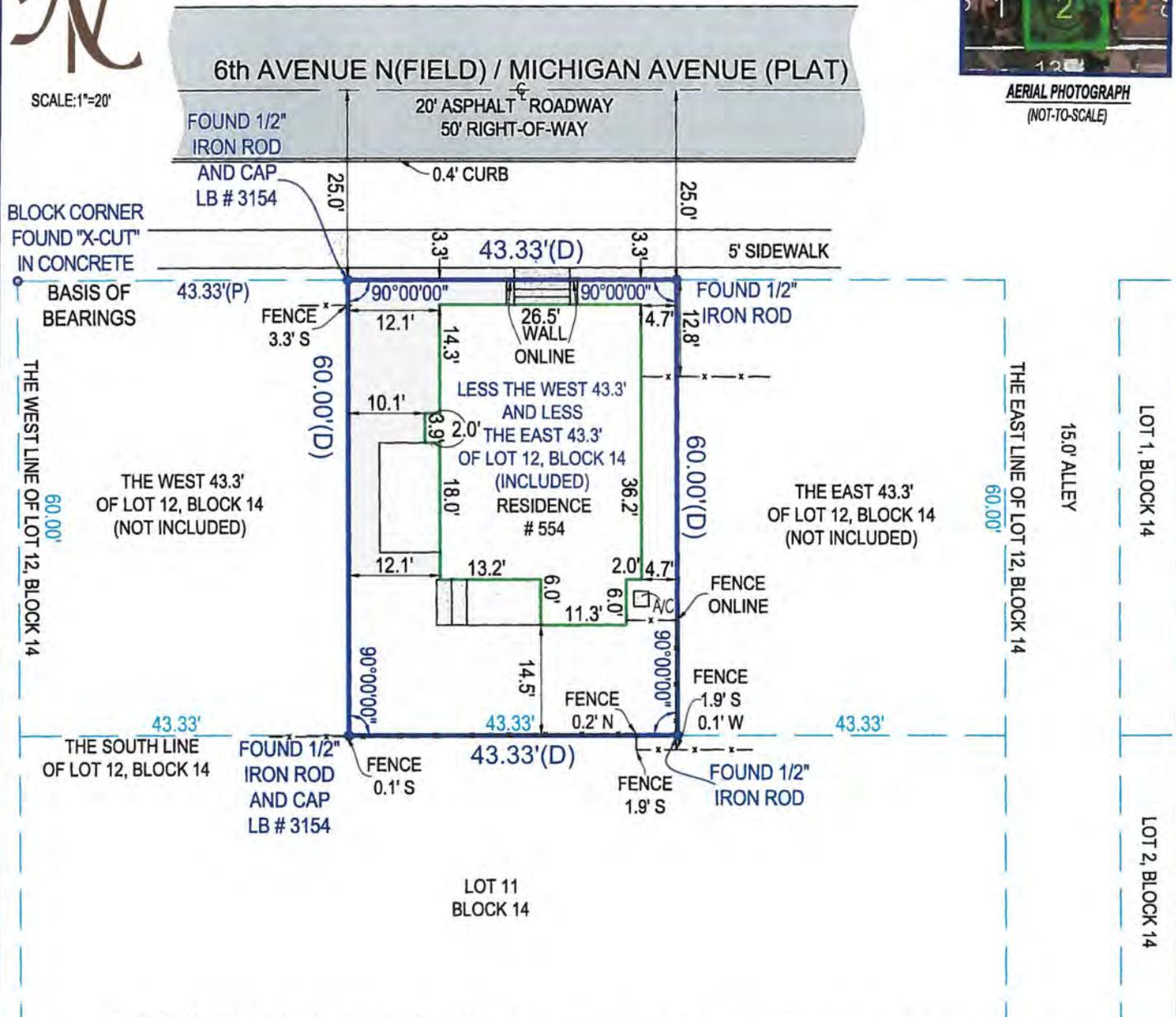
554 6th AVENUE N, ST. PETERSBURG, FL 33701



SCALE: 1"=20'



AERIAL PHOTOGRAPH
(NOT-TO-SCALE)



- ALL ANGLES AND DISTANCES SHOWN HEREON ARE BOTH RECORD AND MEASURED UNLESS OTHERWISE NOTED

SHEET 1 OF 2 (SKETCH OF SURVEY) - SEE SHEET 2 OF 2 FOR LEGAL DESCRIPTION, AND OTHER SURVEY RELATED DATA. SURVEY IS NOT COMPLETE WITHOUT ALL SHEETS

NEXGEN

SURVEYING, LLC.

5601 CORPORATE WAY, SUITE 103
WEST PALM BEACH, FL 33407

561.508.6272
FAX: 561.508.6309
LB 8111

NexgenSurveying.com



EXHIBIT D

BOUNDARY SURVEY

Date Of Field Work - 03/05/2019 Drawn By - V.S. Order #: 1000049331

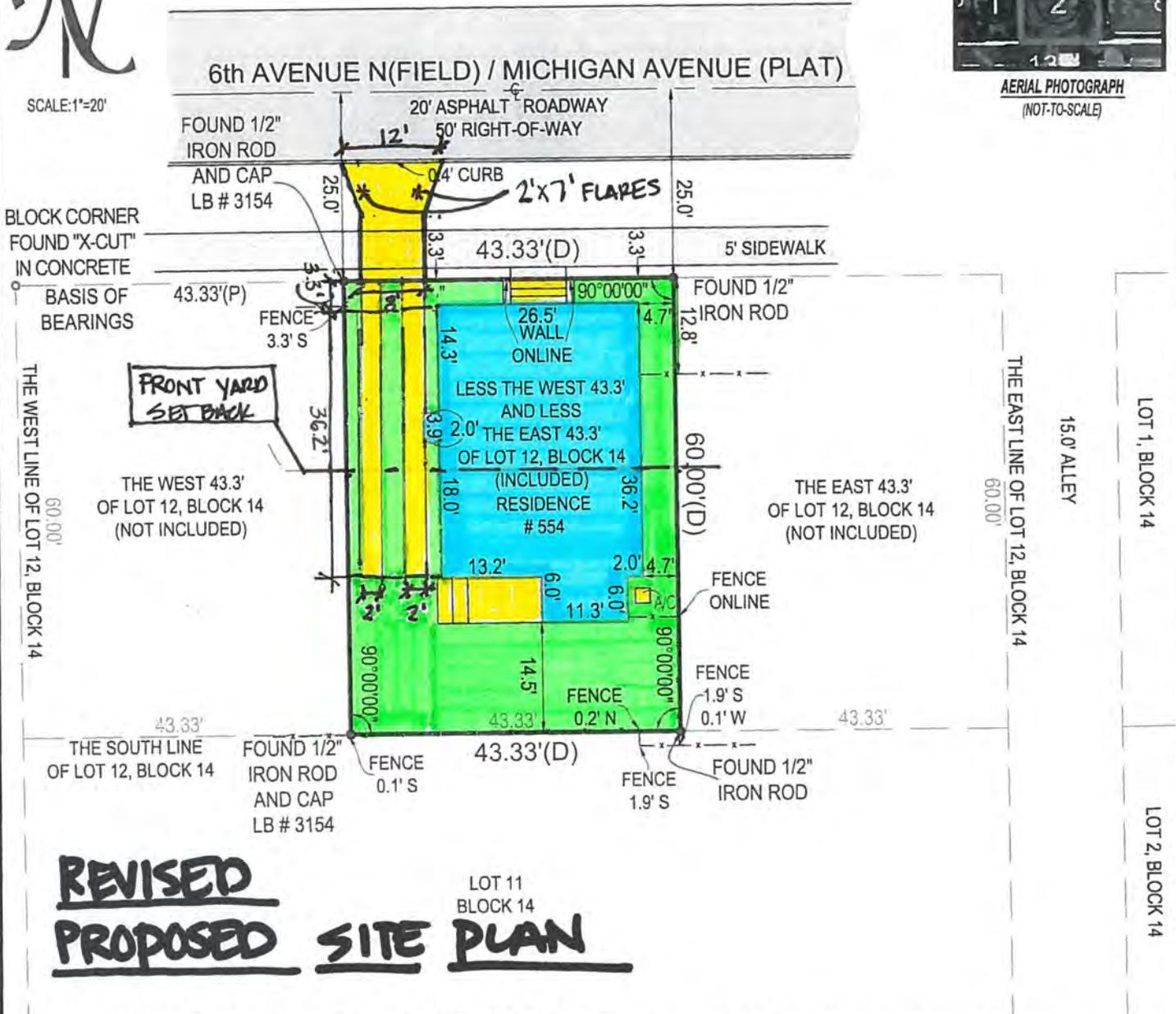
554 6th AVENUE N, ST. PETERSBURG, FL 33701



AERIAL PHOTOGRAPH
(NOT-TO-SCALE)



SCALE: 1"=20'



REVISED PROPOSED SITE PLAN

- ALL ANGLES AND DISTANCES SHOWN HEREON ARE BOTH RECORD AND MEASURED UNLESS OTHERWISE NOTED

SHEET 1 OF 2 (SKETCH OF SURVEY) - SEE SHEET 2 OF 2 FOR LEGAL DESCRIPTION, AND OTHER SURVEY RELATED DATA. SURVEY IS NOT COMPLETE WITHOUT ALL SHEETS

NEXGEN

SURVEYING, LLC.

5601 CORPORATE WAY, SUITE 103
WEST PALM BEACH, FL 33407

561.508.6272
FAX: 561.508.6309
LB 8111

NexgenSurveying.com





RECEIVED
 FEB 05 2019
 DEVELOPMENT REVIEW
 SERVICES

VARIANCE

Application No. 19-54000009

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Development Review Services Division, located on the 1st floor of the Municipal Services Building, One Fourth Street North.

GENERAL INFORMATION	
NAME of APPLICANT (Property Owner): <u>Stacha madjen</u>	
Street Address: <u>531 6th AVE N.</u>	
City, State, Zip: <u>ST PETERSBURG FL 33701</u>	
Telephone No: <u>253.350.3401</u>	Email Address: <u>Stachamadjen@gmail.com</u>
NAME of AGENT or REPRESENTATIVE: <u>SAME - HOMEOWNER</u>	
Street Address:	
City, State, Zip:	
Telephone No:	Email Address:
PROPERTY INFORMATION:	
Street Address or General Location: <u>531 6th AVE N. ST PETERSBURG FL 33701</u>	
Parcel ID#(s):	
DESCRIPTION OF REQUEST: <u>DRIVEWAY / FRONT YARD I.S.R. / TOTAL I.S.R.</u>	
PRE-APPLICATION DATE:	PLANNER:

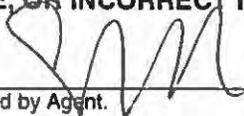
FEE SCHEDULE			
1 & 2 Unit, Residential – 1 st Variance	\$300.00	Each Additional Variance	\$100.00
3 or more Units & Non-Residential --		After-the-Fact	\$500.00
1 st Variance	\$300.00	Docks	\$400.00
		Flood Elevation	\$300.00
Cash, credit, checks made payable to "City of St. Petersburg"			

AUTHORIZATION

City Staff and the designated Commission may visit the subject property during review of the requested variance. Any Code violations on the property that are noted during the inspections will be referred to the City's Codes Compliance Assistance Department.

The applicant, by filing this application, agrees he or she will comply with the decision(s) regarding this application and conform to all conditions of approval. The applicant's signature affirms that all information contained within this application has been completed, and that the applicant understands that processing this application may involve substantial time and expense. Filing an application does not guarantee approval, and denial or withdrawal of an application does not result in remittance of the application fee.

NOTE: IT IS INCUMBENT UPON THE APPLICANT TO SUBMIT CORRECT INFORMATION. ANY MISLEADING, DECEPTIVE, INCOMPLETE, OR INCORRECT INFORMATION MAY INVALIDATE YOUR APPROVAL.

Signature of Owner / Agent*:  Date: 2-4-19

*Affidavit to Authorize Agent required, if signed by Agent.

Typed Name of Signatory: _____



All applications for a variance must provide justification for the requested variance(s) based on the criteria set forth by the City Code. It is recommended that the following responses be typed. Illegible handwritten responses will not be accepted. Responses may be provided as a separate letter, addressing each of the six criteria.

ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE	
Street Address: 554 6th AVEN.	Case No.:
Detailed Description of Project and Request: allow driveway. Need vanway to front yard I.S.R.	
1. What is unique about the size, shape, topography, or location of the subject property? How do these unique characteristics justify the requested variance?	
My property is set close to the property line. I would like to improve the neighborhood street parking by adding a driveway and increasing onsite parking. I do not have access to an alley. Some nights it is difficult to find parking on my street and need to park on other streets. It seems unsafe for me with my 6 year old when we have to walk a block when	
2. Are there other properties in the immediate neighborhood that have already been developed or utilized in a similar way? If so, please provide addresses and a description of the specific signs or structures being referenced.	
The following addresses are neighbors on same street that have driveways: 501 6th AVEN, 548 6th AVEN, 620 6th AVEN, 630 6th AVEN, 633 6th AVEN, 636 6th AVEN, 644 6th AVEN. alley access: 525 6th AVEN, 532 6th AVEN, 535 6th AVEN	
3. How is the requested variance not the result of actions of the applicant?	
Property is set close to the property line	



VARIANCE

NARRATIVE (PAGE 2)

All applications for a variance must provide justification for the requested variance(s) based on the criteria set forth by the City Code. It is recommended that the following responses be typed. Illegible handwritten responses will not be accepted. Responses may be provided as a separate letter, addressing each of the six criteria.

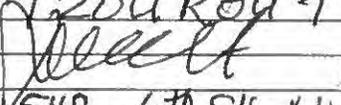
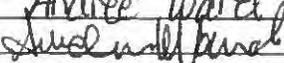
ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE
<p>4. How is the requested variance the minimum necessary to make reasonable use of the property? In what ways will granting the requested variance enhance the character of the neighborhood?</p> <p><i>There is currently a cement slab on the side of the house, I would like to use that area to provide a driveway. By adding a driveway I will be improving & increasing on-site parking. It will provide more street parking & will be set behind my front facade.</i></p>
<p>5. What other alternatives have been considered that do not require a variance? Why are these alternatives unacceptable?</p> <p><i>There really is no other alternative to alleviate more street parking.</i></p>
<p>6. In what ways will granting the requested variance enhance the character of the neighborhood?</p> <p><i>granting me a driveway will improve neighborhood by helping to alleviate street parking issues, increasing more street parking</i></p>

VARIANCE

NEIGHBORHOOD WORKSHEET

Applicants are strongly encouraged to obtain signatures in support of the proposal(s) from owners of property adjacent to or otherwise affected by a particular request.

NEIGHBORHOOD WORKSHEET	
Street Address: 551 6th Ave N.	Case No.:
Description of Request: DRIVEWAY / FRONT YARD I.S.R.	
The undersigned adjacent property owners understand the nature of the applicant's request and do not object (attach additional sheets if necessary):	
1. Affected Property Address: 553 6th Ave N, St. Petersburg, FL 33701	
Owner Name (print): Rachel Zafar	
Owner Signature: 	
2. Affected Property Address: 525 6th Avenue N	
Owner Name (print): Greg Ellis	
Owner Signature: 	
3. Affected Property Address: 535 6th Avenue N.	
Owner Name (print): Anna Glenn	
Owner Signature: 	
4. Affected Property Address: 591 6th Ave N.	
Owner Name (print): 1011 N. ZOU ROY TIS	
Owner Signature: 	
5. Affected Property Address: 548 6th St. N.	
Owner Name (print): Lisa Sartori	
Owner Signature: 	
6. Affected Property Address: 556 6th AVE N. - Rental / owners out of town	
Owner Name (print): Linda / ROSI Bungali	
Owner Signature:	
7. Affected Property Address: 528 6th Street N	
Owner Name (print): Andree Ward	
Owner Signature: 	
8. Affected Property Address: 557 6th AVE N. - Rental -	
Owner Name (print):	
Owner Signature:	



st.petersburg
www.stpete.org

PUBLIC PARTICIPATION REPORT

Application No. _____

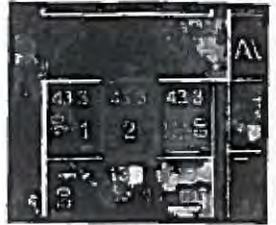
In accordance with LDR Section 16.70.040.1.F.2. "It is the policy of the City to encourage applicants to meet with residents of the surrounding neighborhoods prior to filing an application for a permit requiring review and public hearing. The applicant, at his option, may elect to include neighborhood mediation as a preparatory step in the development process. Participation in the public participation process prior to required public hearings will be considered by the decision-making official when considering the need, or request, for a continuance of an application. It is not the intent of this section to require neighborhood meetings, but to encourage meetings prior to the submission of applications for approval and documentation of efforts which have been made to address any potential concerns prior to the formal application process."

APPLICANT REPORT	
Street Address:	
1. Details of techniques the applicant used to involve the public	
(a) Dates and locations of all meetings where citizens were invited to discuss the applicant's proposal	
2-4 emailed, and met neighbors at their homes to discuss driveway being added to my property	
(b) Content, dates mailed, and number of mailings, including letters, meeting notices, newsletters, and other publications	
2-4 met with neighbors at their homes	
(c) Where residents, property owners, and interested parties receiving notices, newsletters, or other written materials are located	
2. Summary of concerns, issues, and problems expressed during the process	
No concerns or problems arise. Neighbors were happy to have more street parking	
3. Signature or affidavit of compliance - President or vice-president of any neighborhood associations	
Check one:	<input type="checkbox"/> Proposal supported
	<input type="checkbox"/> Do not support the Proposal
	<input checked="" type="checkbox"/> Unable to comment on the Proposal at this time
	<input type="checkbox"/> Other comment(s): WMA Email.
Association Name:	President or Vice-President Signature:
If the president or vice-president of the neighborhood association are unavailable or refuse to sign such certification, a statement as to the efforts to contact them and (in the event of unavailability or unwillingness to sign) why they were unable or unwilling to sign the certification.	

BOUNDARY SURVEY

Date Of Field Work - 05/18/2018 Drawn By - O.G. Order #: 10G0027783

554 6th AVENUE N, ST. PETERSBURG, FL 33701



AERIAL PHOTOGRAPH
(NOT-TO-SCALE)



SCALE: 1"=20'

6th AVENUE N(FIELD) / MICHIGAN AVENUE (PLAT)



LOT: 2600 ♂
 HOUSE: 1146 ♂
 DRIVEWAY: 360 ♂
 WALKS: 30 ♂

TOTAL ISR = 59%

PROPOSED

- ALL ANGLES AND DISTANCES SHOWN HEREON ARE BOTH RECORD AND MEASURED UNLESS OTHERWISE NOTED

SHEET 1 OF 2 (SKETCH OF SURVEY) - SEE SHEET 2 OF 2 FOR LEGAL DESCRIPTION, AND OTHER SURVEY RELATED DATA. SURVEY IS NOT COMPLETE WITHOUT ALL SHEETS

NEXGEN

SURVEYING, LLC.

5601 CORPORATE WAY, SUITE 103
WEST PALM BEACH, FL 33407

561.508.6272
FAX: 561.508.6309
LB 8111

NexgenSurveying.com

Clyde McNeal PSM 2883
 THIS SURVEY IS NOT VALID WITHOUT
 THE SIGNATURE AND THE ORIGINAL RAISED SEAL
 OF A FLORIDA LICENSED SURVEYOR AND MAPPER



VARIANCE

NEIGHBORHOOD WORKSHEET

Applicants are strongly encouraged to obtain signatures in support of the proposal(s) from owners of property adjacent to or otherwise affected by a particular request.

NEIGHBORHOOD WORKSHEET	
Street Address: <u>477 6th AVE N.</u>	Case No.:
Description of Request: <u>DRIVEWAY +</u>	
The undersigned adjacent property owners understand the nature of the applicant's request and do not object (attach additional sheets if necessary):	
1. Affected Property Address: <u>556 6th Ave N.</u>	<u>DRIVEWAY + ACCESS</u>
Owner Name (print): <u>Linda Bongugli</u>	
Owner Signature: <u>[Signature]</u>	
2. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
3. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
4. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
5. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
6. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
7. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
8. Affected Property Address:	
Owner Name (print):	
Owner Signature:	

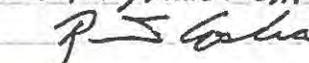


PLANNING & DEVELOPMENT SERVICES DEPARTMENT
DEVELOPMENT REVIEW SERVICES DIVISION



APPEAL TO DEVELOPMENT REVIEW COMMISSION

Contact Information

Name	DR. BETH ESCHENFELDER + ROBERT A. COSCIA	
Street Address	532-6TH AVE N	
City ST ZIP Code	ST PETERSBURG FL 33701	
Telephone	239 770 2683	
E-Mail Address	BETHESCHENFELDER@gmail.com ROBERTCOSCIA23@gmail.com	
Signature	  Date 3/6/19	

Date of Hearing

Date of Hearing	04-03-2019
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Case No.

Case No.	VARIANCE CASE # 19-54-000009
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Case Address

Case Address	554-6TH AVE N ST PETERSBURG FL 33701
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Submittal Requirements

1. Narrative describing grounds for appeal.	PLEASE SEE ATTACHED LETTERS FROM HISTORIC UPTOWN ASSOCIATION AND OR BETH ESCHENFELDER AND ROBERT COSCIA
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Information on Procedures for Hearing

- 1) Staff, appellant, applicant, and, registered opponent (registered opponent ONLY allowable if timely registered and appellant is the applicant/owner) will have a total of ten (10) minutes each to present their case.
- 2) The cross-examination phase allows each participant five (5) minutes to ask questions of any individual or party that presented testimony in the presentation phase or public hearing. All questions shall be directed to the Chair who will direct the question to the appropriate person.
- 3) The rebuttal/closing statements phase allows each participant five (5) minutes to rebut prior arguments and make closing statements.
- 4) The Commission Chair will then close the proceedings and go into Executive Action and make a decision. The Commission members may ask questions at any time during the Quasi-Judicial process.

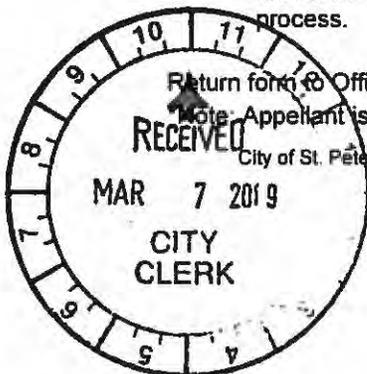
Return form to Office of City Clerk, cathy.davis@stpete.org, (727) 893-7447

*Fee: \$250.00

Note: Appellant is also responsible for required public notice and any associated post office mailing fees.

City of St. Petersburg, Development Review Services, One 4th Street North, PO Box 2842, St. Petersburg, FL 33731

(727) 893-5498
www.stpete.org/ldr





March 7th, 2019

City Clerk
175 5th Street North
St. Petersburg, FL 33701

RE: Appeal of Staff Determination - Case Number 19-5400009
Approval of a variance to exceed the Maximum Impervious Surface Ratio of
a non-conforming lot in the NT -2 zoning district commonly known as 554
6th Ave. N

Clerk,

Myself, along with fellow neighbors and board members of the neighborhood association, hereby appeal staff's decision to grant the proposed variance to the Maximum Impervious Surface Ratio for lots within the NT-2 zoning district, case number 19-5400009. If approved, the proposed variance will retroactively permit the applicant to construct an on-site parking space, remove trees from the public right-of-way, and remove the granite curb to emplace a curb-cut where none has existed since the block was platted.

The basis of our appeal is the proposed variance is incompatible with our neighborhood's traditional development pattern, is inconsistent with the city code and the city's comprehensive plan, and fails to meet the *Standards for Review* of variances as established in the code.

Specifically, we contend that the proposed variance is consistent with the stated Section **116.20.010.2 Purpose and Intent** of the NT district regulations, **116.20.010.5 Maximum Development Potential**, and **16.70.040.1.6. Variances, Generally**. Additionally, appellants contend the application is inconsistent with Section **3.2 Goals Objectives and Policies** as well as policies LU3.6 and LU3.8.

A handwritten signature in black ink, appearing to read "RYAN TODD".

RYAN TODD, CNU-A
Board Member
Historic Uptown Neighborhood Association
ryantodd1@gmail.com

March 6, 2019

Departmental Review Services
City of St. Petersburg
P.O. Box 2842
St. Petersburg, FL 33731

RE: **Case No. 19-54000009** – Appeal of Variance Request
Please add to Appeal File submitted by Mr. Robert Coscia

Dear City Staff and Members of Development Review Commission:

I want to add one personal appeal to this variance, regarding how approval of the variance will directly impact our home, which is located next door, to the east of the subject property located at 554 6th Ave. N. This document pertains to two specific issues for this appeal:

1. **FLOODING:** I am especially concerned about this variance because of the flooding that ALREADY occurs on our property (and subject property) in the shared alley located between our homes. Granting the variance will increase the flooding drastically, making the alley impossible to use during a rain. The alley is the ONLY entrance to our approved garage apartment property.
2. **WRONG SURFACE AREA CALCULATIONS:** The applicant and the city staff included **inaccurate** surface calculations – considering the alley to be stone, instead of concrete. A wide concrete side walk extends the full length of the property.

Shown in the photos attached is the alleyway between our properties (our property, 532 6th Ave. N. and the subject property, 554 6th Ave. N.). This alley is a wide CONCRETE sidewalk COVERED by rock.

Before the rocks were placed, excessive flooding made it impossible to walk on the walkway. Water would reach 3+ inches deep in a heavy rain.

Five years ago, Mr. Coscia and I (with the previous neighbor's approval) placed hundreds of pounds of rock on the walkway to raise the actual walking area inches above the pavement. My disabled sister was coming to live with us, for a short period of time, and she would be using that walkway to get to the rear entrance for the garage apartment.

On the attached page are photos that show the alley between the properties – concrete covered by rock.

PHOTOS 1 and 2 show the concrete sidewalk that extends the full length of the alley between the two properties.

PHOTO 3 shows the current depth of the rocks (about 2 inches), after 5 years of settling. Mr. Coscia and I had/have plans to add more rock to return it to its original level.

PHOTO 4 shows one older photo (from 2015) that shows the original level of the rocks pouring over the side barriers.

In summary:

- This is an alley that already floods badly.
- The surface area calculations used to approve this variance are incorrect.
- Approval of the variance will increase the flooding in this alley even more, likely making use of this alley impossible during a rain.

I STRONGLY urge and request you to deny this variance for this and all the reasons noted in the balance of Mr. Coscia's appeal that address the devastating impact its approval would have on our immediate block, as well as the historic character of our entire neighborhood.

Thank you for you diligent work and consideration.

Cordially,



Beth Eschenfelder, Ph.D., MPA
727-412-3957, betheschenfelder@gmail.com

Photos of Alley – between 532 and 554 6th Ave. N.



PHOTO 1: CONCRETE Walkway that extends the full length of the properties (between 532 and 554 6th Ave. N.), covered by stone.

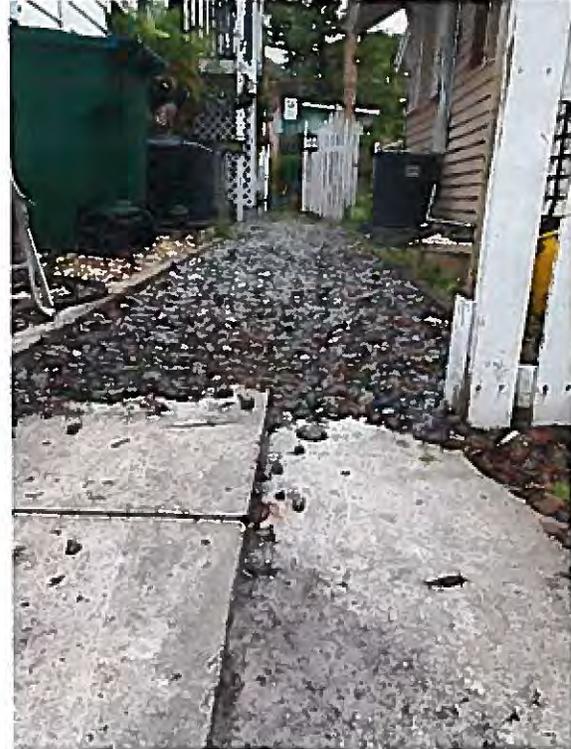


PHOTO 2: CONCRETE Walkway that extends the full length of the properties (between 532 and 554 6th Ave. N.), covered by stone.



PHOTO 3: Showing the current depth of the rocks at 2 inches (AFTER 5 years of settling).



PHOTO 4 (from Appraisal document dated 4/2015): Shows level of rocks a few months after being placed in the alley (at a higher level than photo 3), pouring over side barriers.

2/23/2019

Dear Clerk &

Dear Jennifer Bryla and Iris Winn,

We are Beth Eschenfelder and Robert Coscia, the owners of 532 6th Ave N. St Petersburg, FL 33701.

We are the direct next door neighbors to the East of the applicant, Stacha Madsen 554 6th Ave N.

We are in opposition to the potential granting of Variance No # 19-54000009.

The application that was submitted to the City is inaccurate and deceiving and will be explained in detail below.

There are also other factors that granting such a Variance would have, such as safety, esthetic and other negative effects on the Historic Uptown community.

Page 1 (my numbering system)

1.a (We would be in favor of the City Staff to visit the subject property before making a final determination on the Variance as outlined in your application. We would also encourage staff to come by the site at night, as unlit street security issues were a concern of applicant. The number of street lights/lighting situation will follow.)

1.b (The applicant has not been forthcoming with accurate information on the Variance application, inaccurate in her true impervious calculations, and untrue in her written statements concerning conversations she had with neighbors, which will be shown shortly.)

2.a Detailed Description of Project & Request: applicant response "allow driveway"

It appears the Variance, by the City notes, is for the front yard area.

There is a permeable / impermeable issue as well as an issue for proper drainage.

2.b What is unique about the size, shape, topography, or location of the subject property? How do these unique characteristics justify the requested variance?

Applicant response "My property is set close to the property line." (this makes no sense, your property goes from property line to property line. Your property is too small as many others in the neighborhood, to properly accommodate a driveway would be a much more accurate description of the situation)

Applicant Response "I would like to improve the neighborhood street parking by adding a driveway and increase onsite parking." (Adding a driveway will take a parking spot from the public street parking. If you chose not to use the on site parking, then TWO on street parking spots will be lost. You have two large vehicles, so possibly THREE street parking spots would be lost, 2 from the vehicles and the driveway area.)

Applicant Response "I do not have access to an alley." (Our property at 532 6th Ave N. has access to an alley and we can not park on our property because our property is TOO SMALL as well to accommodate parking) (We would need to climb out the windows to exit the vehicle as our width is 8' and the vehicle width is almost 7')

Applicant Response "Some nights it is difficult to find parking on my street and need to park on other streets. It seems unsafe for me with my 6 year old when we have to walk a block when dark out."

(So you knowingly and willingly BOUGHT a property in what you consider an unsafe area knowing well before hand you had NO onsite parking, see MLS sheet) (There are MANY street lights, alley lights, city park lights, homeowners front lights, Mercury vapor light on a tall pole, near your property, etc.)

2.c Are there other properties in the immediate neighborhood that have already been developed or utilized in a similar way?

Applicant Response "The following addresses are neighbors on same street that have driveways."

(Our determination)

501 6th Ave N. (This is the person who sold the property to applicant. This person has a driveway 24' wide with a two car garage, and a double carport on his property, yet: he often chooses to park his vehicles on the street and we all fit. He has also T boned another vehicle BACKING out across the sidewalk, into two way traffic on a narrow two way street only 14' wide with cars parked along the opposite curb. Most SUV/truck vehicles are aprox 7' wide 17' long. That fact now makes one to do a K turn to exit a 24' driveway to exit. This would be even worse with a 14' driveway as applicant proposes. (See attached police report)

548 6th Ave N. This driveway is 23' wide, lots of property/area for impermeable, so this is not utilized in the same way as you are proposing using your limited space.

620 6th Ave N. This property has a 8' wide driveway and also much more front yard and rear yard area for permeable and vegetation to not look like paving over paradise. Again, not a suitable example to compare of what you are proposing to do.

630 6th Ave N. This property has an 8' wide driveway as well, large permeable property, not a suitable example for what you are proposing to do.

633 6th Ave N. This is a 14' wide driveway with no cars and unobstructed view when exiting. Again, not a comparable driveway set up to subject property.

636 6th Ave N. This is an 18' driveway, large property, not a comparable.

644 6th Ave N. This is a 14' driveway with plenty of front permeable land. Corner multi family home. Not a good comparable either.

ALLEY ACCESS:

525 6th Ave N. Property has a 14' wide driveway on the alley side. Front permeable, Not a Comparable.

532 6th ave N. No room for parking with 8' wide space and not a comparable.

535 6th Ave N. This has a 18' wide double car garage with plenty of property and permeable areas. Not a comparable.

(None of the above properties she noted IMO have been utilized in a similar way as she proposes to do to her property.)

2.d. How is the requested Variance not the result of the actions of the applicant?

Applicant Response Property is set close to the property line. (This answer makes no sense, the property is too small and that was known before applicant purchased it)

Page 3, please see application:

3.a (The "current" cement slab was removed without a permit.)

(The City granite curb was removed without a permit.)

(The property can and has been reasonably used "as is" for almost 100 years. Applicant purchased property "AS IS" knowing street parking was the norm.)

(This property for the last 20 years that we have lived next door has been a rental property with tenants having 2 cars and using street parking without a problem.)

3.b (This Variance will not create more street parking and will actually create an unsafe environment for the children who walk past this property multiple times a day to get to the school bus stop 400 ft away on 7th St North)

(This is a pedestrian friendly neighborhood and to back up across the sidewalk into a narrow 14' two way street doing a K turn to get a 17' vehicle out does not make sense. We have over 6 children who "walk ahead" of their parents and pass this area frequently would be at risk for being hit by a vehicle going in reverse. There are also wheelchairs, other handicap people, children, people and dog walkers going to the parks, East (Millennium) and West (Round Lake) of this property who would also be in danger.)

3.c (Creating another concrete driveway apron will only take away from the greenery of the neighborhood, cause more rain water problems and create the City to deal with more storm water issues due to removing a large permeable area.)

(Applicant has also not performed a traffic survey, as this two way street is heavily used and backing into it daily with potentially two vehicles could cause problems.)

Neighborhood Worksheet: The undersigned adjacent property owners understand the nature of the applicants request and do not object.

(We were approached by the applicant and told us she did not need anyone's signature but the City would like to have them. That seemed odd. She then wrote us to please sign "because she is so close to her front property line". This is mis information to us and to other neighbors most likely did not realize what they were signing by her vague and innacurate e mail description (attached).

- 4.a Only one of the two owners signed
- 4.b Only one of two owners signed
- 4.c Only one of two owners signed
- 4.d Not an Adjacent neighbor, Only one owner signed
- 4.e Not an adjacent neighbor
- 4.f No owner signature
- 4.g Not an adjacent owner
- 4.h No owner signature

Application Report:

5.a (All neighbors were not emailed nor were met with.)

5.b. (Not Correct, we never met with her and we are directly next door.)

5.c N/A

5.d (There are concerns and problems. Neighbors nor the Neighborhood association is not happy with her proposed Variance.)

5.e (Not approved by the Neighborhood Association, see attachment)

Boundary Survey:

6. (The Total impervious area has to be corrected to add at minimum an additional 100 sq ft. The area applicant has highlighted as "green" drainage is actually concrete under the gravel rocks. The rocks were placed to "get above" the flood waters that come off of her roof into that area and have no where to go. That area is aprox 50' long by 2' wide.)

(We were also told of a 10' X 12' rear deck which also adds 120 sq ft. to the impermeable area of the property and additional water run off issues.)

7. Needs to be Re calculated adding impervious areas from #6 above.

Attachments:

Pages. 8 & 9. Shows applicant is not homesteading property in 2019 or 2020

Pages. 10 & 11. HUNA Board letter of denying the proposed Variance

Page. 12 Multiple Listing Service Data Sheet applicant bought from.

Pages. 13 to 18. Police Report of one of numerous crashes backing out of driveway onto 6th Ave North

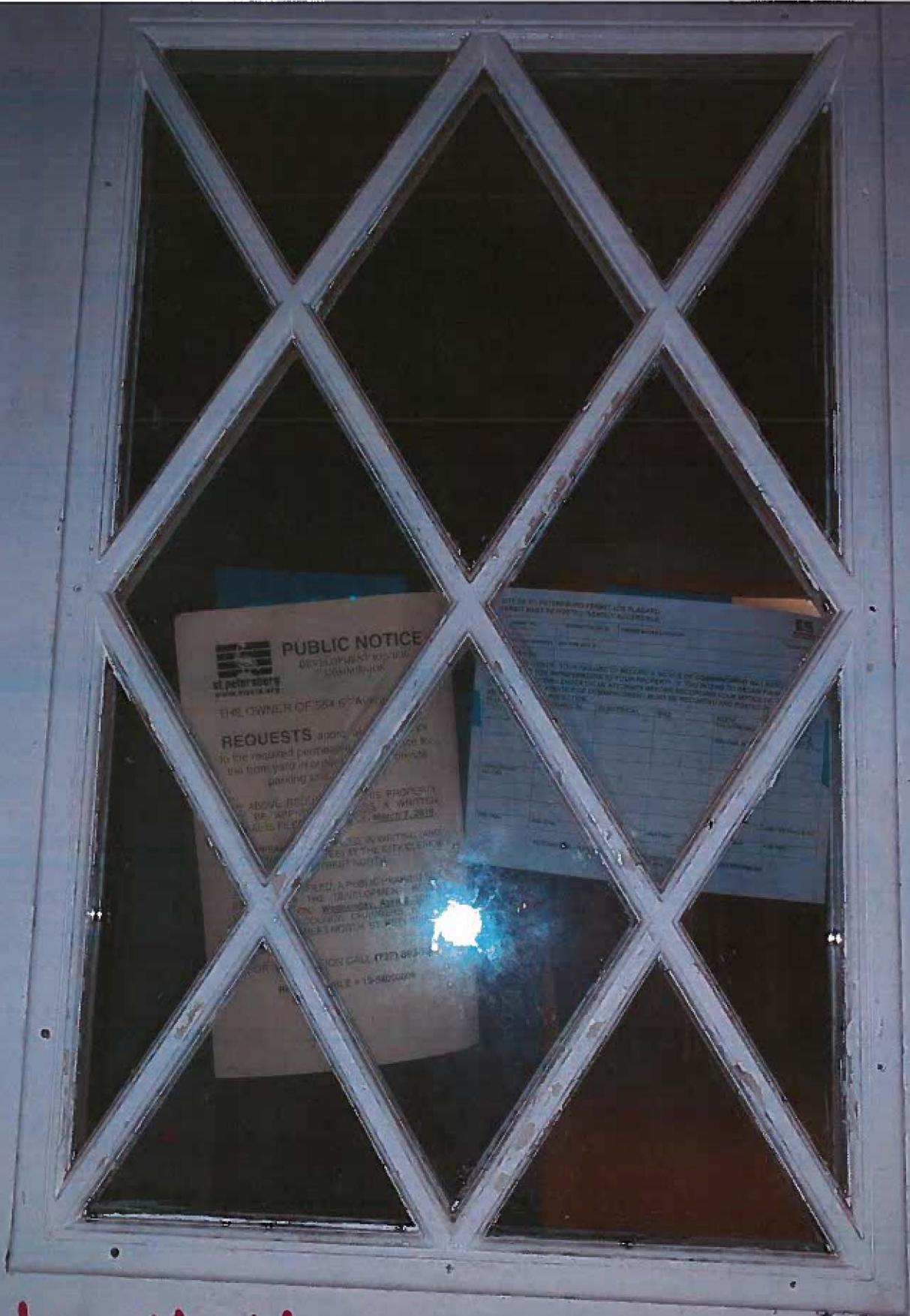
Page. 19. One of many neighbors with children having another driveway with vehicles backing out across the sidewalk

Page 20. Applicant already using the driveway illegally that she created without permits or approval.

Page 21. Mis information email we received from applicant.

R - S Loria

BUTLER



PUBLIC NOTICE
DEVELOPMENT PROJECT
CITY OF ST. PETERSBURG

THE OWNER OF 604 67th Avenue North
REQUESTS approval for a development project
to the required permit for the construction of
the front yard parking area.

ABOVE RECOMMENDED FOR THE PROPERTY
BE REVIEWED BY THE CITY ENGINEER
AND THE CITY COMMISSIONERS. A WRITTEN
APPROVAL IS REQUIRED BY THE CITY ENGINEER
AND THE CITY COMMISSIONERS.

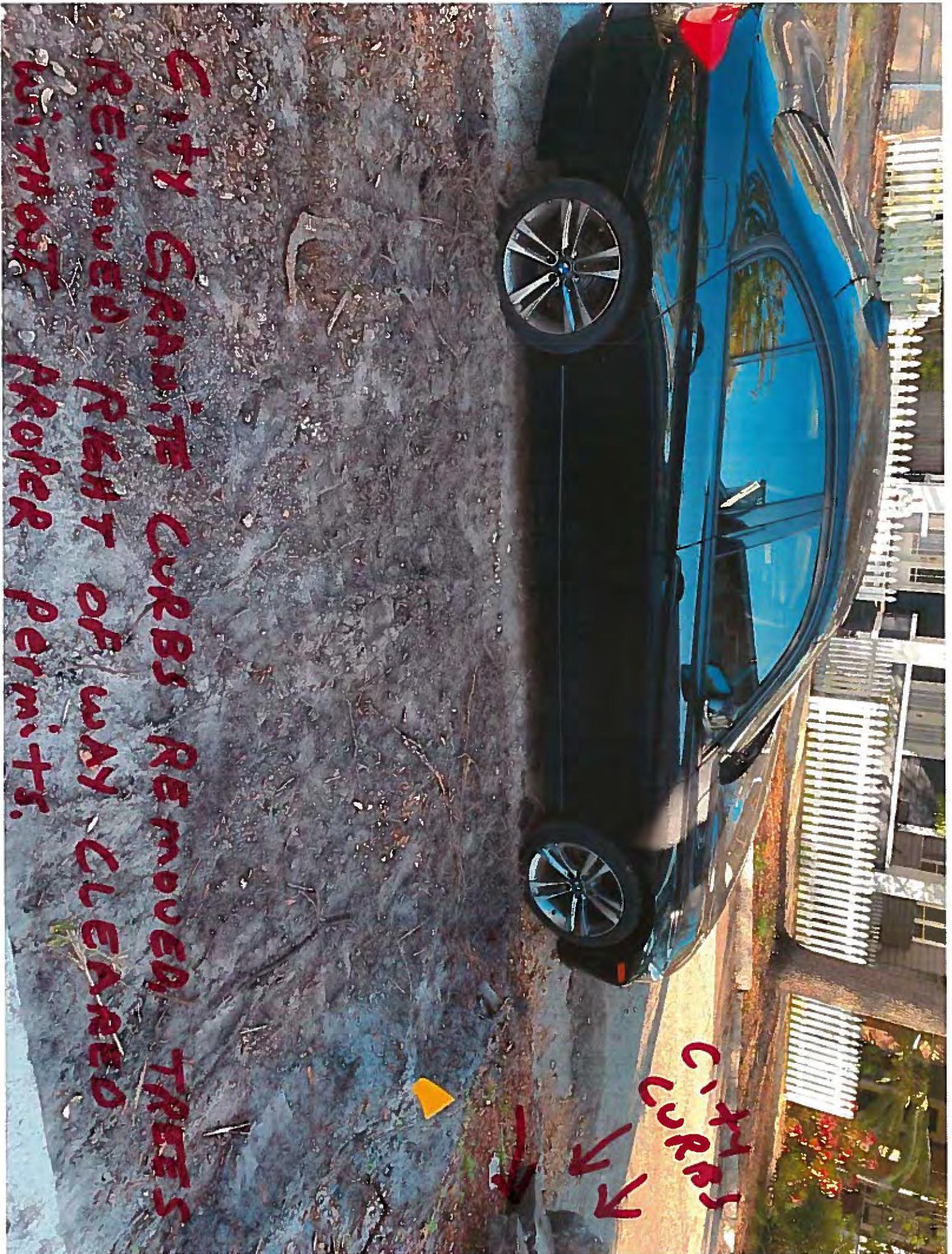
IF YOU HAVE ANY QUESTIONS, PLEASE
CONTACT THE CITY ENGINEER AT
3371 1st Street North, St. Petersburg, FL 33713
OR CALL (727) 424-1111.

FOR MORE INFORMATION, PLEASE
CALL (727) 424-1111.
CITY OF ST. PETERSBURG

CITY OF ST. PETERSBURG PUBLIC NOTICE
PROJECT MUST BE APPROVED BY THE CITY ENGINEER

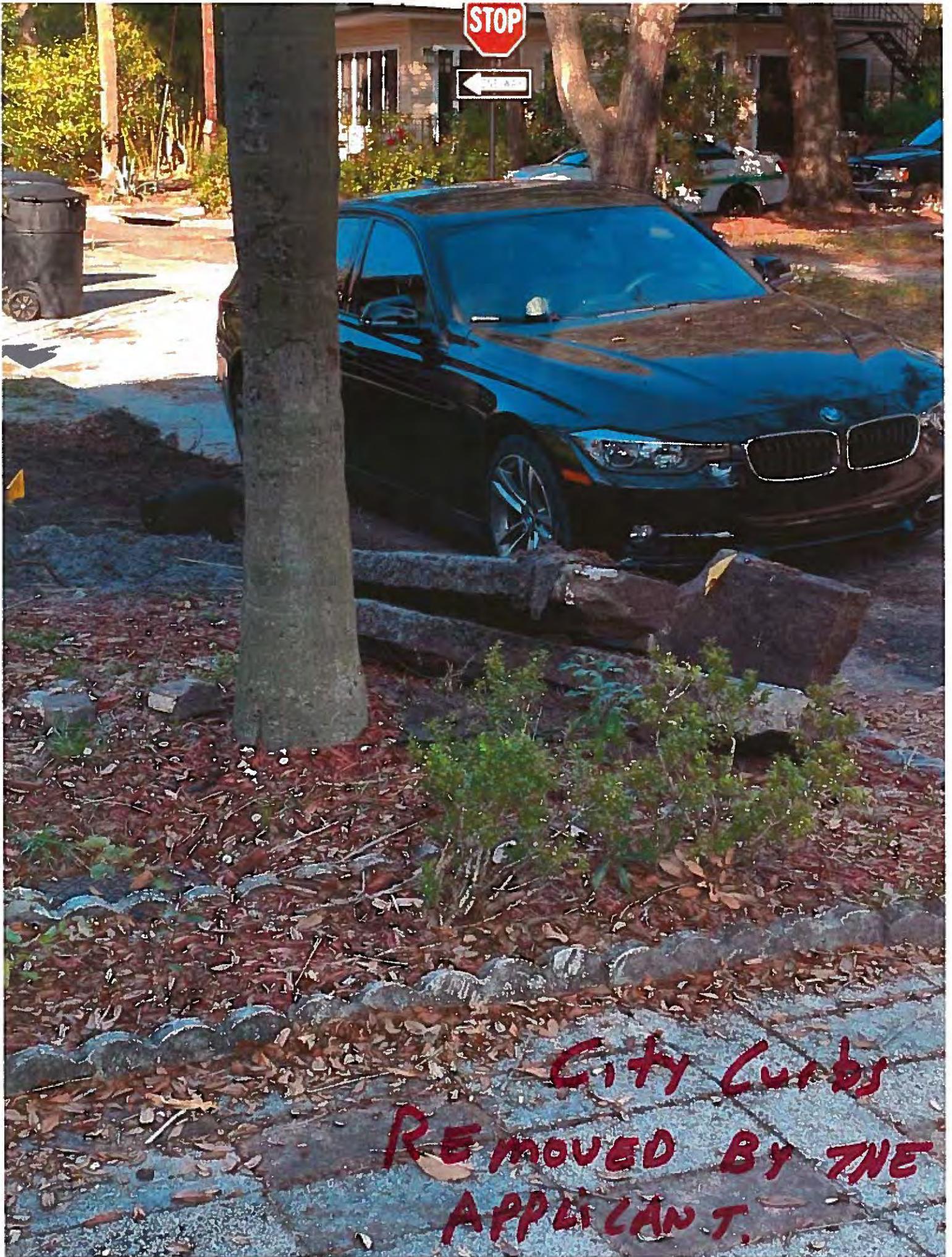
YOUR NOTICE TO RECEIVE A NOTICE OF COMMENCEMENT ALL
THE RESPONSIBILITIES OF YOUR PROPERTY OF THE CITY OF ST. PETERSBURG
THE CITY ENGINEER AND THE CITY COMMISSIONERS. A WRITTEN
APPROVAL IS REQUIRED BY THE CITY ENGINEER AND THE CITY COMMISSIONERS.

Public Notice NOT posted for
correct amount of time as
required by law.

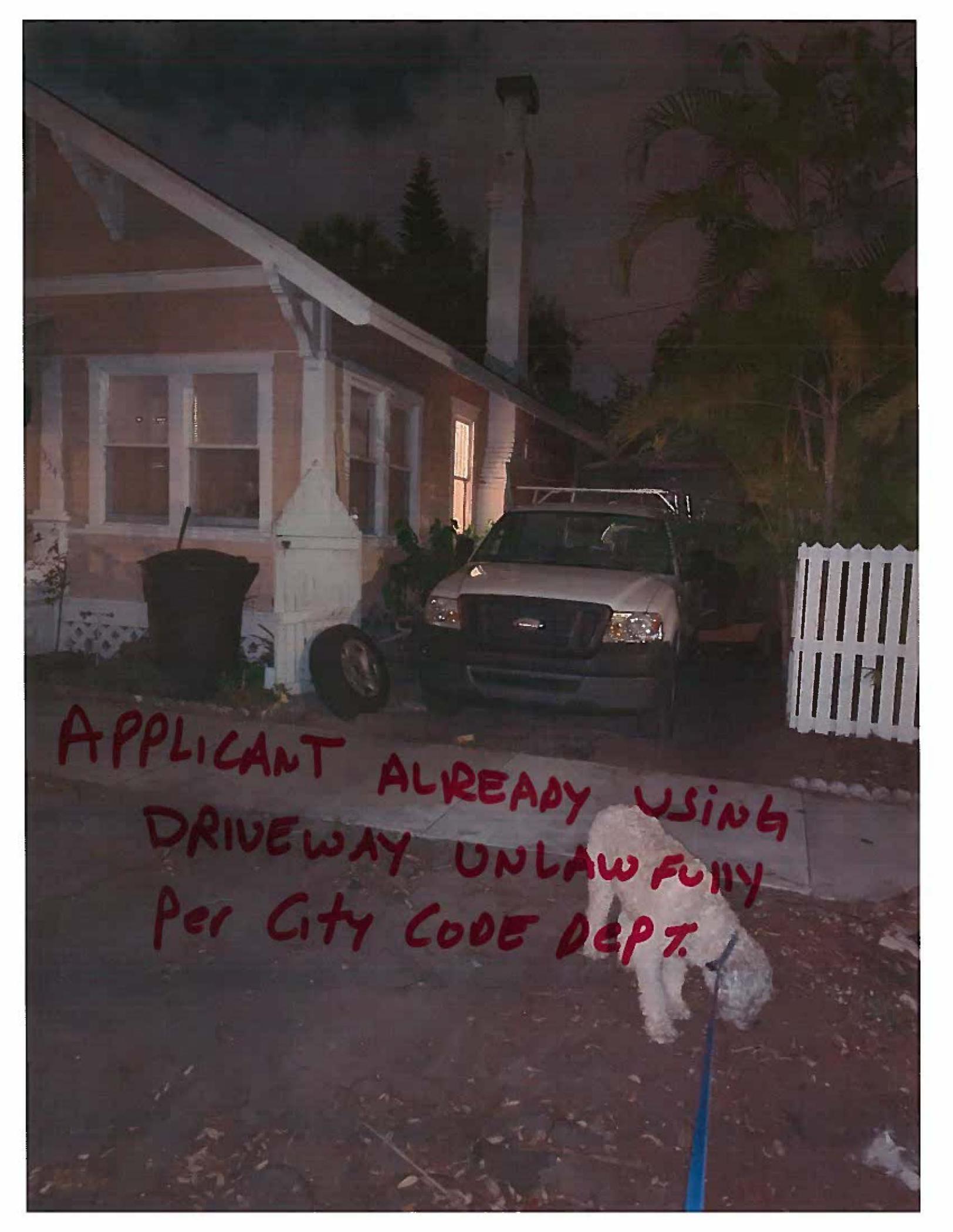


CITY GRANITE CURBS REMOVED TREES
REMOVED. FRONT OF WAY CLEARED
WITHOUT PROPER PERMITS.

City's
Curb's
→
→



City Curbs
REMOVED BY THE
APPLICANT.



APPLICANT ALREADY USING
DRIVEWAY UNLAWFULLY
PER CITY CODE DEPT.



Well lit streets with
parking.

WELL LIT STREETS WITH PARKING - NOT THE BEST PHOTO -



RECEIVED
FEB 05 2019
DEVELOPMENT REVIEW
SERVICES

VARIANCE

Application No. 19-54000009

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Development Review Services Division, located on the 1st floor of the Municipal Services Building, One Fourth Street North.

GENERAL INFORMATION	
NAME of APPLICANT (Property Owner): <u>Stacha madsen</u>	
Street Address: <u>554 6th AVE N</u>	
City, State, Zip: <u>ST PETERSBURG FL 33701</u>	
Telephone No: <u>253.350.3401</u>	Email Address: <u>stachamadsen@gmail.com</u>
NAME of AGENT or REPRESENTATIVE: <u>SAME - HOMEOWNER</u>	
Street Address:	
City, State, Zip:	
Telephone No:	Email Address:
PROPERTY INFORMATION:	
Street Address or General Location: <u>554 6th AVE N ST PETERSBURG FL 33701</u>	
Parcel ID#(s):	
DESCRIPTION OF REQUEST: <u>DRIVEWAY / FRONT YARD I.S.R. / normal use</u>	
PRE-APPLICATION DATE:	PLANNER:

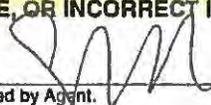
FEE SCHEDULE			
1 & 2 Unit, Residential – 1 st Variance	\$300.00	Each Additional Variance	\$100.00
3 or more Units & Non-Residential -- 1 st Variance	\$300.00	After-the-Fact	\$500.00
		Docks	\$400.00
		Flood Elevation	\$300.00
<small>Cash, credit, checks made payable to "City of St. Petersburg"</small>			

AUTHORIZATION

1 a. City Staff and the designated Commission may visit the subject property during review of the requested variance. Any Code violations on the property that are noted during the inspections will be referred to the City's Codes Compliance Assistance Department.

The applicant, by filing this application, agrees he or she will comply with the decision(s) regarding this application and conform to all conditions of approval. The applicant's signature affirms that all information contained within this application has been completed, and that the applicant understands that processing this application may involve substantial time and expense. Filing an application does not guarantee approval, and denial or withdrawal of an application does not result in remittance of the application fee.

6. **NOTE: IT IS INCUMBENT UPON THE APPLICANT TO SUBMIT CORRECT INFORMATION. ANY MISLEADING, DECEPTIVE, INCOMPLETE, OR INCORRECT INFORMATION MAY INVALIDATE YOUR APPROVAL.**

Signature of Owner / Agent*:  Date: 2-4-19
*Affidavit to Authorize Agent required, if signed by Agent.
 Typed Name of Signatory: _____

UPDATED 09-30-16

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VARIANCE

NARRATIVE (PAGE 1)

All applications for a variance must provide justification for the requested variance(s) based on the criteria set forth by the City Code. It is recommended that the following responses be typed. Illegible handwritten responses will not be accepted. Responses may be provided as a separate letter, addressing each of the six criteria.

ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE	
Street Address: 554 6th AVEN.	Case No.:
Detailed Description of Project and Request: allow driveway. Need variance to front yard L.S.R.	
1. What is unique about the size, shape, topography, or location of the subject property? How do these unique characteristics justify the requested variance?	
2 a.	My property is set close to the property line. I would like to improve the neighborhood street parking by adding a driveway and increasing onsite parking. I do not have access to an alley. Some nights it is difficult to find parking on my street and need to park on other streets. It seems unsafe for me with my 10 year old when we have to walk a block when
b.	2. Are there other properties in the immediate neighborhood that have already been developed or utilized in a similar way? If so, please provide addresses and a description of the specific signs or structures being referenced. park out
c.	The following addresses are neighbors on same street that have driveways: 501 6th AVEN, 518 6th AVEN, 600 6th AVEN, 630 6th AVEN, 633 6th AVEN, 636 6th AVEN, 644 6th AVEN. alley access: 525 6th AVEN, 532 6th AVEN, 535 6th AVEN
d.	3. How is the requested variance not the result of actions of the applicant? property is set close to the property line



VARIANCE

NARRATIVE (PAGE 2)

All applications for a variance must provide justification for the requested variance(s) based on the criteria set forth by the City Code. It is recommended that the following responses be typed. Illegible handwritten responses will not be accepted. Responses may be provided as a separate letter, addressing each of the six criteria.

ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE	
3 a	<p>4. How is the requested variance the minimum necessary to make reasonable use of the property? In what ways will granting the requested variance enhance the character of the neighborhood?</p> <p>There is currently a cement slab on the side of the house, I would like to use that area to provide a driveway. By adding a driveway I will be improving & increasing on-site parking. It will provide more street parking & will be set behind my front facade.</p>
b.	<p>5. What other alternatives have been considered that do not require a variance? Why are these alternatives unacceptable?</p> <p>There really is no other alternative to alleviate more street parking.</p>
c.	<p>6. In what ways will granting the requested variance enhance the character of the neighborhood?</p> <p>granting me a driveway will improve neighborhood by helping to alleviate street parking issues, increasing more street parking</p>



VARIANCE

NEIGHBORHOOD WORKSHEET

Applicants are strongly encouraged to obtain signatures in support of the proposal(s) from owners of property adjacent to or otherwise affected by a particular request.

NEIGHBORHOOD WORKSHEET	
Street Address: 531 6th Ave N.	Case No.:
Description of Request: DRIVEWAY / FRONT YARD I.S.R.	
The undersigned adjacent property owners understand the nature of the applicant's request and do not object (attach additional sheets if necessary):	
4 a.	1. Affected Property Address: 533 6th Ave N, St. Petersburg, FL 33701 Owner Name (print): Rachel Tatar Owner Signature: <i>[Signature]</i>
b.	2. Affected Property Address: 525 6th Avenue N Owner Name (print): Greg Ellis Owner Signature: <i>[Signature]</i>
c.	3. Affected Property Address: 535 6th Avenue N. Owner Name (print): Anna Glenn Owner Signature: <i>[Signature]</i>
d.	4. Affected Property Address: 591 6th Ave N. Owner Name (print): LIOU H. TZOU ROU TIS Owner Signature: <i>[Signature]</i>
e.	5. Affected Property Address: 548 6th St N Owner Name (print): Lisa Sartori Owner Signature: <i>[Signature]</i>
f.	6. Affected Property Address: 576 6th AVE N. - Rental / owners out of town Owner Name (print): Linda / ROSTI Bungali Owner Signature:
g.	7. Affected Property Address: 528 6th Street N Owner Name (print): Andree March Owner Signature: <i>[Signature]</i>
h.	8. Affected Property Address: 557 6th AVE N. - Rental - Owner Name (print): Owner Signature:



PUBLIC PARTICIPATION REPORT

Application No. _____

In accordance with LDR Section 16.70.040.1.F.2. "It is the policy of the City to encourage applicants to meet with residents of the surrounding neighborhoods prior to filing an application for a permit requiring review and public hearing. The applicant, at his option, may elect to include neighborhood mediation as a preparatory step in the development process. Participation in the public participation process prior to required public hearings will be considered by the decision-making official when considering the need, or request, for a continuance of an application. It is not the intent of this section to require neighborhood meetings, but to encourage meetings prior to the submission of applications for approval and documentation of efforts which have been made to address any potential concerns prior to the formal application process."

APPLICANT REPORT	
Street Address:	
5 a.	1. Details of techniques the applicant used to involve the public
	(a) Dates and locations of all meetings where citizens were invited to discuss the applicant's proposal <i>2-4 emailed, and met neighbors at their homes to discuss driveway being added to my property</i>
	(b) Content, dates mailed, and number of mailings, including letters, meeting notices, newsletters, and other publications <i>2-4 met with neighbors at their homes</i>
	(c) Where residents, property owners, and interested parties receiving notices, newsletters, or other written materials are located
d.	2. Summary of concerns, issues, and problems expressed during the process <i>no concerns or problems arise. neighbors were happy to have more street parking</i>
	3. Signature or affidavit of compliance - President or vice-president of any neighborhood associations
e.	Check one: <input type="checkbox"/> Proposal supported
	<input type="checkbox"/> Do not support the Proposal
	<input checked="" type="checkbox"/> Unable to comment on the Proposal at this time
	<input type="checkbox"/> Other comment(s): <i>will email.</i>
Association Name:	President or Vice-President Signature:
If the president or vice-president of the neighborhood association are unavailable or refuse to sign such certification, a statement as to the efforts to contact them and (in the event of unavailability or unwillingness to sign) why they were unable or unwilling to sign the certification.	

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BOUNDARY SURVEY

Date Of Field Work - 03/18/2019 Drawn By - J.C. Order # - 19-001753

554 6th AVENUE N, ST. PETERSBURG, FL 33701

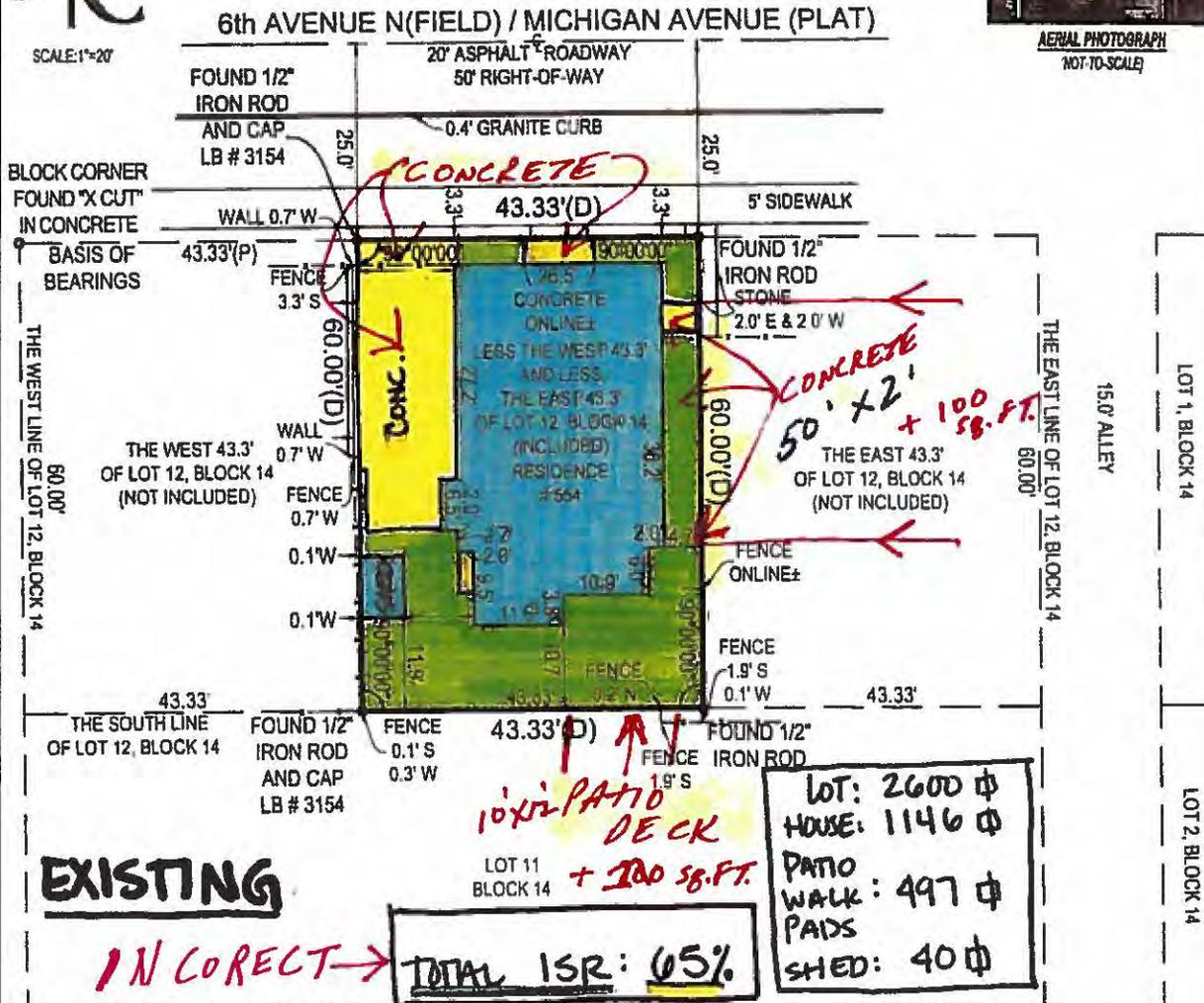
- NEW IMPERMEABLE AREAS -



SCALE: 1"=20'



AERIAL PHOTOGRAPH
NOT TO SCALE



- ALL ANGLES AND DISTANCES SHOWN HEREON ARE BOTH RECORD AND MEASURED UNLESS OTHERWISE NOTED

SHEET 1 OF 2 (SKETCH OF SURVEY) - SEE SHEET 2 OF 2 FOR LEGAL DESCRIPTION AND OTHER SURVEY RELATED DATA. SURVEY IS NOT COMPLETE WITHOUT ALL SHEETS

NEXGEN

SURVEYING, LLC.

5601 CORPORATE WAY, SUITE 103
WEST PALM BEACH, FL 33407

561.508.6272
FAX: 561.508.6309
LB 8111

NexgenSurveying.com

Clyde McNeal PSM 2883

THIS SURVEY IS NOT VALID WITHOUT
THE SIGNATURE AND THE ORIGINAL RAISED SEAL
OF A FLORIDA LICENSED SURVEYOR AND MAPPER

6

BOUNDARY SURVEY

Date of Field Work - 08/10/2018 Drawn By - D.G. Order # - 180302/1501

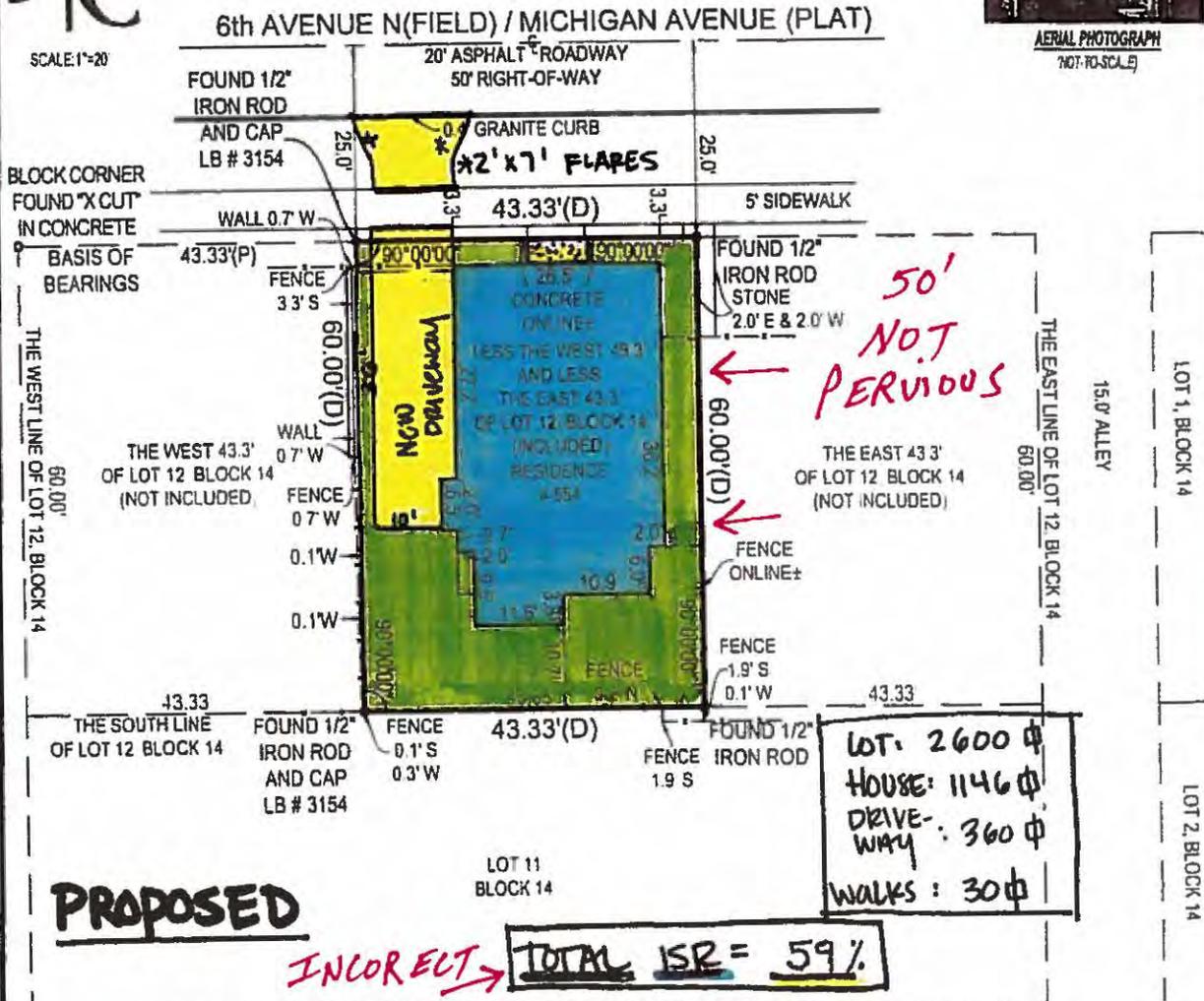
554 6th AVENUE N, ST. PETERSBURG, FL 33701



SCALE 1"=20'



AERIAL PHOTOGRAPH
NOT TO SCALE



- ALL ANGLES AND DISTANCES SHOWN HEREON ARE BOTH RECORD AND MEASURED UNLESS OTHERWISE NOTED

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THE SIGNATURE AND THE ORIGINAL RAISED SEAL
OF A FLORIDA LICENSED SURVEYOR AND MAPPER

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18-31-17-77814-014-0122

Compact Property Record Card

Tax Estimator

Updated February 22, 2019

Email Print

Radius Search

FEMA/WLW

Ownership/Mailing Address Change Mailing Address	Site Address
554 6TH AVE N ST PETERSBURG FL 33710	554 6TH AVE N ST PETERSBURG



Property Use: 0820 (Duplex-Triplex-Fourplex)

Total Living SF: 1,146

Total Gross SF: 1,146

Total Living Units: 2

[\[click here to hide\]](#) Legal Description

SAFFORDS ADD REVISED BLK 14, W 43.33 FT OF E 86.66 FT OF LOT 12

Tax Estimator		2019 Parcel Use	
Exemption	2019	2020	
Homestead:	No	No	
Government:	No	No	
Institutional:	No	No	
Historic:	No	No	
		Classified Agricultural: No	

Parcel Information Latest Notice of Proposed Property Taxes (TRIM Notice)

Most Recent Recording	Sales Comparison	Census Tract	Evacuation Zone	Flood Zone	Plat Book/Page
20099/0385	\$178,600 Sales Query	121030235001	(NOT the same as a FEMA Flood Zone) NON EVAC	(NOT the same as your evacuation zone) Compare Preliminary to Current FEMA Maps	H177

2018 Interim Value Information

Year	Just/Market Value	Assessed Value / Non-HX Cap	County Taxable Value	School Taxable Value	Municipal Taxable Value
2018	\$149,003	\$101,717	\$101,717	\$149,003	\$101,717

[\[click here to hide\]](#) Value History as Certified (yellow indicates correction on file)

Year	Homestead Exemption	Just/Market Value	Assessed Value	County Taxable Value	School Taxable Value	Municipal Taxable Value
2017	No	\$137,012	\$92,470	\$92,470	\$137,012	\$92,470
2016	No	\$117,106	\$84,064	\$84,064	\$117,106	\$84,064
2015	No	\$99,201	\$76,422	\$76,422	\$99,201	\$76,422
2014	No	\$77,159	\$69,475	\$69,475	\$77,159	\$69,475
2013	No	\$63,159	\$63,159	\$63,159	\$63,159	\$63,159
2012	No	\$57,627	\$57,627	\$57,627	\$57,627	\$57,627
2011	No	\$53,007	\$53,007	\$53,007	\$53,007	\$53,007
2010	No	\$73,218	\$73,218	\$73,218	\$73,218	\$73,218
2009	No	\$83,044	\$83,044	\$83,044	\$83,044	\$83,044
2008	No	\$140,700	\$140,700	\$140,700	\$140,700	\$140,700
2007	No	\$170,200	\$170,200	\$170,200	N/A	\$170,200
2006	No	\$162,000	\$162,000	\$162,000	N/A	\$162,000
2005	No	\$122,300	\$122,300	\$122,300	N/A	\$122,300
2004	No	\$94,400	\$94,400	\$94,400	N/A	\$94,400
2003	No	\$82,200	\$82,200	\$82,200	N/A	\$82,200
2002	No	\$60,300	\$60,300	\$60,300	N/A	\$60,300
2001	No	\$47,900	\$29,700	\$4,700	N/A	\$4,700
2000	Yes	\$46,100	\$28,900	\$3,900	N/A	\$3,900
1999	Yes	\$36,500	\$28,200	\$3,200	N/A	\$3,200
1998	Yes	\$36,500	\$27,800	\$2,800	N/A	\$2,800
1997	Yes	\$27,400	\$27,400	\$2,400	N/A	\$2,400
1996	No	\$24,300	\$24,300	\$24,300	N/A	\$24,300

2018 Tax Information

2018 Tax Bill	Tax District: SP
2018 Final Millage Rate	21.7154

Do not rely on current taxes as an estimate following a change in ownership. A significant change in taxable value may occur after a transfer due to a loss of exemptions, reset of the Save Our Homes or 10% Cap, and/or market conditions. Please use our new [Tax Estimator](#) to estimate taxes under new ownership.

Ranked Sales [\(what are Ranked Sales?\)](#) [See all transactions](#)

Sale Date	Book/Page	Price	Q/U	Y/I
18 Jun 2018	20099 / 0385	\$226,000	Q	1
04 May 2001	11352 / 0417	\$30,000	U	1
10 Sep 1990	07374 / 0606	\$38,000	U	1
20 Jul 1990	07333 / 1051	\$32,000	U	1
14 Jun 1989	07022 / 0215	\$27,000	Q	1

2018 Land Information

Land Use	Land Size	Unit Value	Units	Total Adjustments	Adjusted Value	Method
Multi-Fam <10 Units (08)	43x60	3650.00	43.3000	0.7100	\$112,212	FF

[\[click here to hide\]](#) 2019 Building 1 Structural Elements [Back to Top](#)

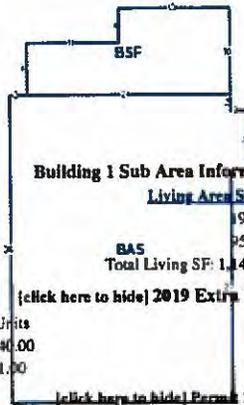
Site Address: 554 6TH AVE N

Building Type: Duplex - 4-Plex
 Quality: Average
 Foundation: Piers
 Floor System: Wood
 Exterior Wall: Frame Siding
 Roof Frame: Gable Or Hip
 Roof Cover: Shingle Composition
 Stories: 1
 Living units: 2

[Compact Property Record Card](#)



Floor Finish: Carpet/Hardtile/Hardwood
 Interior Finish: Drywall/Plaster
 Fixtures: 9
 Year Built: 1920
 Effective Age: 30
 Heating: Central Duct
 Cooling: Cooling (Central)



Building 1 Sub Area Information

Description	Living Area SF	Gross Area SF
Base Semi-finished	96	196
Base	950	950
	Total Living SF: 1,146	Total Gross SF: 1,146

(click here to hide) 2019 Extra Features

Description	Value/Unit	Units	Total Value as New	Depreciated Value	Year
PATIO/DECK	\$9.00	340.00	\$3,060.00	\$1,224.00	1950
FIREPLACE	\$3,500.00	1.00	\$3,500.00	\$1,400.00	1920

(click here to hide) Permit Data

Permit information is received from the County and Cities. This data may be incomplete and may exclude permits that do not result in field reviews (for example for water heater replacement permits). We are required to list all improvements, which may include unpermitted construction. Any questions regarding permits, or the status of non-permitted improvements, should be directed to the permitting jurisdiction in which the structure is located.

Permit Number	Description	Issue Date	Estimated Value
JB-12000517	CONC PAVE	10 Dec 2018	\$3,500
JB-11000789	PLUMBING	14 Nov 2018	\$1,819
JB-11000680	ROOF	13 Nov 2018	\$7,035
JB-30001154	RESIDENTIAL ADD	18 Oct 2018	\$15,000
JB-01000741	ROOF	16 Jan 2018	\$7,916
03-7001229	HEAT/AIR	18 Aug 2003	\$2,400



[Interactive Map of this parcel](#) [View Legend](#) [Select Query](#) [Back to Query Results](#) [New Search](#) [View Collector Home Page](#) [Contact Us](#)

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From: KRISTY ANDERSEN historicoptown@gmail.com
Subject: Fwd: Incoming Case No. 19-5400009 - Variance to Permeable Green Space - 554 6th Avenue North
Date: February 22, 2019 at 3:39 PM
To: robert coscia robertcoscia23@gmail.com



Begin forwarded message:

From: KRISTY ANDERSEN <historicoptown@gmail.com>
Subject: Incoming Case No. 19-5400009 - Variance to Permeable Green Space - 554 6th Avenue North
Date: February 22, 2019 at 3:31:30 PM EST
To: "Jennifer C. Bryla" <Jennifer.Bryla@stpete.org>, "Adriana P. Shaw" <Adriana.shaw@stpete.org>, "Iris L. Winn" <Iris.Winn@stpete.org>
Cc: Ryan Todd <ryandtodd1@gmail.com>

Dear Jennifer Bryla and Iris Winn:

As I mentioned, I brought this matter before our HUNA Board last night. Board Member Ryan Todd has provided our position that we are opposed to this applicants variance, per his email below.

The question of whether or not to grant the proposed variance from the Maximum Impervious Surface permitted in the NT-2 zoning district is essentially a question about whether or not compliance with the standing parking requirement is more important than preserving Historic Uptown's traditional development pattern. Because Historic Uptown is a pedestrian-scaled neighborhood with a traditional development pattern and standing zoning code requirements are incongruent with that pattern, I recommend denial of the proposed variance. Permitting the applicant to emplace a curb-cut and construct a driveway will create a safety hazard for pedestrians and cyclists, will increase the amount of storm water runoff in the neighborhood, and disrupt the historic block-design.

The Use Permissions and Parking Requirements Matrix and Zoning Matrix located in Section 16.10.020.1 of the city's municipal code applies the same parking requirement to single-family residential uses regardless of which zoning district tier the property is located in. A single-family home in a historic neighborhood or downtown triggers the same parking requirement as a single-family home in the city's suburban areas. Differences in street network, block size and pattern, access to transit and complete streets, proximity to trip generators, lot size, and availability of on-street parking were not taken into consideration.

Parking requirements within the NT zoning districts aren't the only example of incongruent zoning regulations. Section 16.20.010.4.2 Neighborhood Traditional Single-Family -2 (NT-2) states: "Driveways, garages, and utility uses are limited to the rear of the property". However, a single-lane width curb cut and driveway located to the side of the principal structure is allowed for interior lots without alley access. Permitting the applicant to construct a drive-way and on-site parking space conflicts with the stated composition of traditional neighborhoods in the city code. Section 16.20.010.1 of the zoning code says that "...[traditional] neighborhoods feature streets and buildings oriented to the needs of pedestrians rather than to the needs of cars...driveways and garages in front yards are not typical in most traditional neighborhoods." In the case of a variance, should the city prioritize incompatible zoning regulations or the stated composition and purpose and intent of the district?

Parking requirements are relatively dynamic and are often adjusted to reflect society's

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values and changing mode preferences. Development patterns and neighborhood character, on the other hand, are relatively static. That is especially true for historic neighborhoods like Historic Uptown. Choosing to grant a variance that would make a property "more compliant" with a parking requirement that is incongruent with the existing development pattern and neighborhood character and that would require a variance to the lot coverage ratio is short-sighted. Granting the requested variance seems especially short-sighted considering that the mayor and city staff, as well as residents, have made comments about amending elements of the NT zoning district standards that would make the code more reflective of neighborhood character.

Section 16.70.040.1.10 - Variance, Design Standards establishes the criteria by which a variance should be granted. It is incumbent upon the applicant to demonstrate "...that the existing conditions and circumstances are such that the strict application of the provisions of the land development regulations would deprive the applicant of reasonable use of said land, building, or structure, equivalent to the use made of lands, buildings, or structures in the same district and permitted under the terms of this provision." Failing to meet the on-site parking requirement This proposal fails to demonstrate that strict adherence to the code prohibits the applicant from using the property. In fact, small non-conforming lots that do not have the necessary space available to provide on-site parking are the norm in our neighborhood - not the exception.

Staff has commented that granting the variance will help to relieve the perceived parking challenges in the neighborhood. Because of the subjective nature of the issue, this argument should not be used in the evaluation of the proposed variance. If we were to agree that the neighborhood has parking challenges the proposed variance would exacerbate the problem. If granted, the proposed variance will result in the loss of one on-street parking space in exchange for one off-street space. The variance results in a net gain of 0 parking spaces and a loss of 1 public parking space.

Because the proposed variance would detract from the established character of our traditional neighborhood, create a safety hazard for pedestrians and cyclists, will result in the loss of one on-street parking space, and doesn't meet the standard established for variances by the code, we ask you to deny the proposed variance.

Please let me know if you need further correspondence from either myself or Mr. Todd.

Best regards,
Kristy

Have you paid your dues yet? Go to www.historicuptown.com and click the PayPal link. It's that easy.

Kristy Andersen, President HUNA
826 Dartmoor Street N.
St. Petersburg FL 33701
historicuptown@gmail.com
813/390-3582

(11)



U7849451 554 6TH AVE N, ST PETERSBURG, FL 33701



1 / 17

County: Pinellas
Subdiv: SAFFORDS ADD REV
Beds: 2
Baths: 3/0
Pool: None
Property Style: Single Family Residence
Lot Features: Historic District, In City Limits, Near Public Transit, Sidewalks, Street Brick
Total Acres: Up to 10,889 Sq. Ft.
Minimum Lease Period: No Minimum
Garage: No Atch: Spcs:
Garage/Parking Features: None, On Street Parking
New Construction: No
Property Condition:
Builder Name:
Builder License #:
Builder Model:
LP/SqFt: \$205.06
Sold Date: 06/18/2018
Sold Price: \$226,000
SP/SqFt: \$197.21

Status: Sold
Backups Requested: Yes
List Price: \$235,000
Year Built: 1920
Special Sale: None
ADOM: 55
CDOM: 55

Pets: Yes
Max Times per Yr:
Carport: No Spcs:
Proj Comp Date:
Permit Number:

SqFt Heated: 1,146
SqFt Total: 1,146

*APPLICANT
 BOUGHT WITH
 NO ON SITE
 PARKING
 EXPECTATIONS.
 JUST PATIO
 EXPECTATIONS.*

Charming, historic bungalow in the heart of Historic Uptown. Flexible floor plan with 2 bedrooms and another possible 2 bedrooms or 2 offices. Amazing character with coffered ceilings, original doors, knobs, original hardwood flooring, hexagon pavers and more. Indoor laundry room and a massive attic space for tons of storage. Low maintenance yard with a fabulous side yard just off the living room make for a perfect entertainment space. 6 short blocks from downtown St. Pete and 3 blocks to Starbucks, tons of restaurants, and shopping! Enjoy all the festivals of St. Pete in Straub Park which is a 10 minute stroll. Being sold as-is. Amazing value and an amazing location!

Land, Site, and Tax Information

Legal Desc: SAFFORD'S ADD REVISED BLK 14, W 43.33 FT OF E 86.66 FT OF LOT 12
SE/TP/RG: 18-31-17
Subdivision #:
Tax ID: 18-31-17-72814-014-0122
Taxes: \$2,277
Auction Type:
Auction Firm/Website:
Homestead: No
Alt Key/Folio #:
Add Parcel: No
CDD: No
of Add Parcels:

Zoning:
Future Land Use:
Zoning Comp:
Tax Year: 2017
Property Access:
Annual CDD Fee:
Additional Tax IDs:

Block/Parcel: 14
Front Exposure: North
Lot #: 12
Buyers Premium:
Other Exemptions: No
Mill Rate:

Complex/Comm Name:
SW Subd Name:
Flood Zone Date: 09/03/2003
Floor #:
Total # of Floors:
Census Block:
MH Model:
Total Units:

Flood Zone Panel: 12103C0219G
Census Tract: 235.00
MH Width:

Lot Size Acres: 0.06
Monthly Rental Amount:
Month To Month Or Weekly Y/N:

Lot Size SqFt: 2,580
End Date of Lease:

Waterfront Ft: 0
Water Name:
Water Extras: No

Interior Information

A/C: Central Air
Heat/Fuel: Central
SqFt Heated Source: Public Records
Laundry Features: Inside
Fireplace: Yes-Living Room, Wood Burning
Accessibility Features:
Utilities: Public, Street Lights
Water: Public
Additional Rooms: Attic, Den/Library/Office, Inside Utility
Interior Feat: Attic, Built In Features, Coffered Ceiling(s), Living Room/Dining Room Combo, Walk-In Closet(s)
Appliances Incl: Range, Refrigerator

Flooring Covering: Ceramic Tile, Wood
Security Feat:
SqFt Total Source: Public Records
Window Features:
Furnishings: Unfurnished

Sewer: Public Sewer

Room Type	Level	Dimen	Flooring	Features
Bedroom 2	First	13x13	Wood	
Kitchen	First	10x15	Ceramic Tile	Breakfast Bar
Living Room	First	13x15	Wood	
Master Bathroom				Tub With Shower
Master Bedroom	First	15x13	Wood	

Exterior Information

Ext Construction: Siding, Wood Frame
Roof: Shingle
Property Description:
Architectural Style: Bungalow
Ext Features: Fenced, French Doors
Other Structures: Shed(s)
Patio And Porch Features: Deck, Patio, Porch
Pool: None
Pool Features:
Vegetation:
View:

Foundation: CrawlSpace
Property Attached Y/N:
Garage Dim:

Pool Dimensions:
Spa Features:
Spa Y/N:

Green Features

Green Certifications:
Disaster Mitigation:

12

This Traffic Crash Report can be purchased online at: www.buycrash.com

FLORIDA TRAFFIC CRASH REPORT

LONG FORM SHORT FORM UPDATE
(Shaded Areas)

MAIL TO: DEPARTMENT OF HIGHWAY SAFETY & MOTOR VEHICLES
TRAFFIC CRASH RECORDS, NEIL KIRKMAN BUILDING
TALLAHASSEE, FL 32399-0537

WAS DOT PROPERTY INVOLVED IN THIS CRASH?

TOTAL # OF VEHICLE SECTION(S) 2
TOTAL # OF PERSON SECTION(S) 1
TOTAL # OF NARRATIVE SECTION(S) 1

CRASH DATE 11/08/2017	TIME OF CRASH 1:01 PM	DATE OF REPORT 11/19/2017	REPORTING AGENCY CASE NUMBER 2017-053182	HSMV CRASH REPORT NUMBER 87419690
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COUNTY CODE 04		CITY CODE 64	COUNTY OF CRASH PINELLAS	PLACE OR CITY OF CRASH ST. PETERSBURG	CHECK IF WITHIN CITY LIMITS <input checked="" type="checkbox"/>	TIME REPORTED 1:33 PM	TIME DISPATCHED 1:34 PM
TIME ON SCENE 1:40 PM	TIME CLEARED SCENE 3:00 PM	CHECK IF COMPLETED <input checked="" type="checkbox"/>	REASON (If Investigation NOT Complete)			Notified By: 1 Motorist <u>2</u> 2 Law Enforcement	

ROADWAY INFORMATION (CHOOSE ONLY 1 OF 4 OPTIONS)		CRASH OCCURRED ON STREET, ROAD, HIGHWAY 6TH AVE N		AT STREET ADDRESS # 1	AT LATITUDE 27.778652	AND LONGITUDE -82.640822
AT FEET 110	MILES	N <input type="checkbox"/> S <input type="checkbox"/> E <input type="checkbox"/> W <input checked="" type="checkbox"/>	AT/FROM INTERSECTION WITH STREET, ROAD, HIGHWAY 8TH ST N		OR FROM MILEPOST # 4	
Road System Identifier 5 Interstate 2 U.S. 3 State		7 Forest Road 8 Private Roadway 9 Parking Lot 77 Other, Explain in Narrative		Type of Shoulder 3 Paved 2 Unpaved 3 Curb	Type of Intersection 1 Not an Intersection 2 Four-Way Intersection 3 T-Intersection 4 Y-Intersection	5 Traffic Circle 6 Roundabout 7 Five-Point, or More 77 Other, Explain in Narrative

Light Condition 1 Daylight 2 Dusk 3 Dawn 4 Dark-Lighted 5 Dark-Not Lighted 6 Dark-Unknown Lighting 77 Other, Explain in Narrative 88 Unknown	Weather Condition 1 Clear 2 Cloudy 3 Rain 4 Fog, Smog, Smokes 5 Sleet/Hail/ Freezing Rain 6 Blowing Sand, Silt Dirt 7 Severe Crosswinds 77 Other, Explain in Narrative	Roadway Surface Condition 1 Dry 2 Wet 4 Ice/Frost 5 Oil 6 Mud, Dirt, Gravel 7 Sand 8 Water (standing/moving) 77 Other, Explain in Narrative 88 Unknown	School Bus Related 1 No 2 Yes, School Bus Directly Involved 3 Yes, School Bus Indirectly Involved	Manner of Collision/Impact 1 Front to Rear 2 Front to Front 3 Angle 4 Sideswipe, same direction 5 Sideswipe, Opposite Direction 6 Rear to Side 7 Rear to Rear 77 Other, Explain in Narrative 88 Unknown
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First Harmful Event 15	Non-Collision 1 Overturn/Rollover 2 Fire/Explosion 3 Immersion 4 Jackknife 5 Cargo/Equipment Loss or Shift 6 Fell/Jumped From Motor Vehicle 7 Thrown or Falling Object 8 Ran into Water/Canal 9 Other Collision	Collision Non-Fixed Object 10 Pedestrian 11 Pedalcycle 12 Railway vehicle (train, engine) 13 Animal 14 Motor Vehicle in Transport 15 Parked Motor Vehicle 16 Work Zone/Maintenance Equipment 17 Struck By Falling, Shifting Cargo 18 Other Non-Fixed Object	Collision with Fixed Object 19 Impact Attenuator/Crash Cushion 20 Bridge Overhead Structure 21 Bridge Pier or Support 22 Bridge Rail 23 Culvert 24 Curb 25 Ditch 26 Embankment 27 Guardrail Face 28 Guardrail End 29 Cable Barrier 30 Concrete 31 Other Traffic Barrier 32 Tree (standing) 33 Utility Pole/Light Support 34 Traffic Sign Support 35 Traffic Signal Support 36 Other Post, Pole or Support 37 Fence 38 Mailbox 39 Other Fixed Object (wall, building, tunnel, etc.)	First Harmful Event Location 1 On Roadway 2 Off Roadway 3 Shoulder 4 Median 5 Gore 6 In Parking Lane or Zone 9 Outside Right-of-way 10 Roadside 88 Unknown
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First Harmful Event Relation to 4 1 Non-Junction 2 Intersection 3 Intersection-Related 4 Driveway/Alley Access Related 5 Junction 5 Railway Grade Crossing 14 Entrance/Exit Ramp 15 Crossover - Related 16 Shared-Use of Path or Trail 17 Acceleration/Deceleration Lane 18 Through Roadway 77 Other, Explain in Narrative 88 Unknown	Contributing Circumstances: Road 1 None 4 Work Zone (construction/maintenance/utility) 6 Shoulders (none, low, soft, high) 7 Rut, Holes, Bumps 9 Worn, Travel-Polished Surface 10 Road Surface Condition (wet, icy, snow, slush, etc.) 11 Obstruction in Roadway 12 Debris 13 Traffic Control Device Inoperative, Missing or Obscured 14 Non-Highway Work 77 Other, Explain in Narrative 88 Unknown	Contributing Circumstances: Environment 1 None 2 Weather Conditions 3 Physical Obstruction(s) 4 Glass 5 Animal(s) in Roadway 77 Other, Explain in Narrative 88 Unknown
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Work Zone Related 1 No 2 Yes 88 Unknown	Crash in Work Zone Before the First Work Zone 1 Before the First Work Zone Warning Sign 2 Advance Warning Area 3 Transition Area 4 Activity Area 5 Termination Area	Type of Work Zone 1 Lane Closure 2 Lane Shift/Crossover 3 Work on Shoulder or Median 4 Intermittent or Moving Work 77 Other, Explain in Narrative	Workers in Work Zone 1 No 2 Yes 88 Unknown	Law Enforcement in Work Zone 1 No 2 Officer Present 3 Law Enforcement Vehicle Only Present
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NAME	ADDRESS	CITY & STATE	ZIP CODE
NAME	ADDRESS	CITY & STATE	ZIP CODE
NAME	ADDRESS	CITY & STATE	ZIP CODE

VEH. #	PER #	PROPERTY DAMAGE - OTHER THAN VEH.	EST. AMT.	OWNER'S NAME	(CHECK IF BUSINESS)	ADDRESS	CITY & STATE	ZIP CODE
VEH. #	PER #	PROPERTY DAMAGE - OTHER THAN VEH.	EST. AMT.	OWNER'S NAME	(CHECK IF BUSINESS)	ADDRESS	CITY & STATE	ZIP CODE

HSMV 90010 B

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VEHICLE # 1		Check if Commercial <input type="checkbox"/>		Reporting Agency Case Number 2017-063182		HSMV Crash Report Number 87419690	
1 Vehicle in Transport 2 Parked Motor Vehicle 3 Working Vehicle		VEHICLE LICENSE NUMBER EDIN64		STATE FL		REGISTRATION EXPIRES 05/12/2018	
Check if Permanent Registration <input type="checkbox"/>		VIN 1FMNU43S1YEB66541		Check if Permanent Registration <input type="checkbox"/>		VIN	
HJ and Run 1 No 2 Yes 88 Unknown		YEAR 2000		MAKE FORD		MODEL E	
STYLE UTILITY		COLOR BLUE - BLU		DAMAGE: 1 Disabling 2 Functional 3 None		4 Minor 88 Unknown	
EST. AMOUNT \$100.00		INSURANCE COMPANY (DRIVER) GEICO GENERAL INSURANCE		INSURANCE POLICY NUMBER 4316678418		Towed due to Damage: 1 No 2 Yes	
VEHICLE REMOVED BY PARKED AT SCENE		1. Rotation 2. Owner Request 3. Driver 4. Other, Explain in Narrative		3			
NAME OF VEHICLE OWNER (CHECK IF BUSINESS) <input type="checkbox"/>		CURRENT ADDRESS VASSILIKI VASSO TZOUROUTIS 601 8TH AVE N		CITY & STATE ST PETERSBURG FL		ZIP 33701	
Trailer One		Trailer Two		Trailer Three		Trailer Four	
VEHICLE TRAVELING		ON STREET, ROAD, HIGHWAY 501 8TH AVE N		AT EST. SPEED 5		POSTED SPEED 1	
HAZ. MAT RELEASED		HAZ. MAT. PLACARD		NUMBER		CLASS	
MOTOR CARRIER NAME		US DOT NUMBER		Area of Initial Impact		Most Damaged Area	
MOTOR CARRIER ADDRESS		CITY		STATE		ZIP CODE	
PHONE NUMBER							
Vehicle Body Type 16		Trafficway 1		Commercial Motor Vehicle Configuration		Cargo Body Types	
Comm/Non-Commercial		TRAILER 1		TRAILER 2		1 No Cargo 2 Bus	
Most Harmful Event 15		Collision with Non-Fixed Object		Collision Fixed Object		Emergency Vehicle Use 1	
Sequence of Events 1st 2nd 3rd 4th		Vehicle Maneuver Action 4		Traffic Control Device For This Vehicle 1		Vehicle Defects 1	
Roadway Grade 1		Roadway Alignment 1		Special Function of Motor Vehicle 1		VIOLATIONS	
PERSON #		NAME OF VIOLATOR		FL STATUTE NUMBER		CHARGE	
PERSON #		NAME OF VIOLATOR		FL STATUTE NUMBER		CHARGE	
PERSON #		NAME OF VIOLATOR		FL STATUTE NUMBER		CHARGE	

HSMV 80010 S

Page 2 of 6

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PERSON # 1

Reporting Agency Case Number 2017-063182

HSMV Crash Report Number 87418890

1 Driver 2 Non-Motorist 3 Passenger	VEHICLE # 1	NAME JOHN	TZOUROUTS	PHONE NUMBER	Check if Recommended Driver Re-exam <input type="checkbox"/>
CURRENT ADDRESS (Number and Street) 501 8TH AVENUE NORTH			CITY & STATE ST PETERSBURG FL	ZIP CODE 33701	
DATE OF BIRTH 1/23/1941	SEX: 1 Male 2 Female 88 Unknown	DRIVERS LICENSE NUMBER T-263-460-41-023-8	STATE FL	EXPIRES 1/23/2019	INJURY SEVERITY (INJ) 1 None 2 Possible 3 Non-Incapacitating 4 Incapacitating 5 Fatal (within 30 days) 6 Non-Traffic Fatality

DL Type 1 A 2 B 3 C 4 D/Chauffeur 5 E/Operator 6 E/Oper-Rest 7 None	Required Endorsements 1 Yes 2 No 3 No Req. Endorsement	1st 4	DRIVER Drivers Actions at Time of Crash 1 No Contribution Action 2 Operated MV in Careless or Negligent Manner 3 Failed to Yield Right-of-Way 4 Improper Backing 5 Improper Turn 6 Followed too Closely 7 Ran Red Light 8 Drove too Fast for Conditions 9 Ran Stop Sign 10 Improper Passing 11 Exceeded Posted Speed 12 Wrong Side of Wrong Way 13 Failed to Keep in Proper Lane 14 Drivers Actions at Time of Crash 15 Ran off Roadway 16 Disregarded other Traffic Sign 17 Disregarded Other Road Markings 18 Over-Correcting/Over Steering 19 Swerved or Avoided Due to Wind, Slippery Surface, MV, Object, Non-Motorist in Roadway, etc. 20 Operated MV in Erratic, Reckless or Aggressive Manner 21 Other Contributing Action	3rd 1	Condition At Time of 1 Apparently Normal 2 Asleep or Fatigued 3 Sick (sick) or Fainted 4 Seizure, Epilepsy, Blackout 5 Physically Impaired 6 Emotional (depression, angry, disturbed, etc.) 7 Under the Influence of Medications/Drugs/Alcohol 8 Other, Explain in Narrative 9 Unknown
Driver Distracted By 1 Not Distracted 2 Electronic Communication Devices (cell phone, etc.) 3 Other Electronic Device (navigation device, DVD player)	4 Other Inside the Vehicle (explain in narrative) 5 External Distraction (outside the vehicle, explain in narrative) 6 Texting 7 Inattentive 88 Unknown	2nd 1	10 Followed too Closely 11 Ran Red Light 12 Drove too Fast for Conditions 13 Ran Stop Sign 14 Improper Passing 15 Exceeded Posted Speed 16 Wrong Side of Wrong Way 17 Failed to Keep in Proper Lane	4th 1	

DRIVER VISION OBSTRUCTIONS 1 Vision Not Observed 2 Inclement Weather 3 Parked/Stopped Vehicle 4 Trees/Crops/Brushes	5 Load on Vehicle 6 Building/Fixed Object 7 Signs/Billboards 8 Fog	9 Smoke 10 Glass 11 Other, Explain in Narrative	DRIVER OR PASSENGER Motor Vehicle Seating Position: Seat Row Other 1 Left 1 Front 1 Not Applicable 2 Middle 2 Second 2 Sleeper Section of Truck Cab 3 Right 3 Third 3 Other Enclosed Cargo Area 77 Other (explain in narrative) 4 Fourth 4 Unenclosed Cargo Area 88 Unknown 77 Other Row 5 Trailing Unit 6 Riding on Motor Vehicle Exterior (non-trailing unit)	Helmet Use (HU) 1 DOT-Compliant Motorcycle Helmet 2 Other Helmet 3 No Helmet	Eye Protection (EP) 1 Yes 2 No 3 Not Applicable	Restraint Systems (RS) 1 Not Applicable (non-motorist) 2 None Used - Motor Vehicle Occupant 3 Shoulder and Lap Belt Used 4 Shoulder Belt Only Used 5 Lap Belt Only Used 6 Restraint Used - Type Unknown 7 Child Restraint System - Forward Facing 8 Child Restraint System - Rear Facing 9 Booster Seat 10 Child Restraint Type Unknown 77 Other, Explain in Narrative	
Non-Motorist Description 1 Pedestrian 2 Other Pedestrian (wheelchair, person in a building, skater, pedestrian conveyance, etc.) 3 Bicyclist 4 Other Cyclist 5 Occupant of Motor Vehicle Not in Transport (parked, etc.) 6 Occupant of a Non-Motor Vehicle Transportation Device 7 Unknown Type of Non-Motorist			Non-Motorist Location At Time of Crash 1 Intersection - Marked Crosswalk 2 Intersection - Unmarked Crosswalk 3 Intersection - Other Moblock - Marked Crosswalk 4 Midblock - Marked Crosswalk 5 Travel Lane - Other Location 6 Bicycle Lane 7 Shoulder/Roadside	8 Sidewalk 9 Median/Crossing Island 10 Driveway Access 11 Shared-Use Path or Trail 12 Non-Trafficway Area 77 Other, Explain in Narrative 88 Unknown	Action Prior to Crash 1 Crossing Roadway 2 Waiting to Cross Roadway 3 Walking/Cycling Along Roadway with Traffic (in or adjacent to travel lane) 4 Walking/Cycling Along Roadway Against Traffic (in or adjacent to travel lane) 5 Walking/Cycling on Sidewalk 6 in Roadway - Other (working, playing, etc.) 7 Adjacent to Roadway (e.g., shoulder, median) 8 Going to or from School (K-12) 9 Working in Trafficway (incident response) 10 None 77 Other, Explain in Narrative 88 Unknown		

1 None 2 Helmet 3 Protective Pads Used (elbows, knees, shins, etc.) 4 Reflective Clothing (jacket, backpack, etc.)	Safety Equipment 5 Lighting 6 Not Applicable 77 Other, Explain in Narrative 88 Unknown	1st 2nd	Non-Motorist Actions/Contributions 1 No Improper Action 2 Dirt/Dash 3 Failure to Yield Right-of-Way 4 Failure to Obey Traffic Signs, Signals, or Officer 5 in Roadway Improperly (standing, lying, working, playing) 6 Disabled Vehicle Related (working on, pushing, leaving/approaching)	7 Entering/Exiting Parked/Standing Vehicle 8 Inattentive (talking, eating, etc.) 9 Not Visible (dark clothing, no lighting, etc.)	10 Improper Turn/Merge 11 Improper Passing 12 Wrong-Way Riding or Walking 77 Other, Explain in Narrative 88 Unknown
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SUSPECTED ALCOHOL USE: 1 No 2 Yes 88 Unknown	ALCOHOL TESTED: 1 Test Not Given 2 Test Refused 3 Test Given 88 Unknown, if Tested	ALCOHOL TEST TYPE: 1 Blood 2 Breath 3 Urine 77 Other, Explain in Narrative	ALCOHOL TEST RESULT: 1 PENDING 2 COMPLETED 88 UNKNOWN	BAC 1 No 2 Yes 88 Unknown	SUSPECTED DRUG USE: 1 No 2 Yes 88 Unknown	DRUG TESTED: 1 Test Not Given 2 Test Refused 3 Test Given 88 Unknown, if Tested	DRUG TEST TYPE: 1 Blood 3 Urine 77 Other, Explain in Narrative	DRUG TEST RESULT: 1 Positive 2 Negative 3 Pending 88 Unknown
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SOURCE OF TRANSPORT TO MEDICAL FACILITY 1 Not Transported 2 EMS 3 Law Enforcement 77 Other, Explain in Narrative 88 Unknown	EMS AGENCY NAME OR ID	EMS RUN NUMBER	MEDICAL FACILITY TRANSPORTED TO
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PERSON #	VEHICLE #	NAME	DATE OF BIRTH	INJ	SEX	LOC: S	R	O	EJECT	HU	EP	ABD	RS
CURRENT ADDRESS (Number and Street)			CITY	STATE		ZIP CODE							

SOURCE OF TRANSPORT TO MEDICAL FACILITY 1 Not Transported 2 EMS 3 Law Enforcement 77 Other, Explain in Narrative 88 Unknown	EMS AGENCY NAME OR ID	EMS RUN NUMBER	MEDICAL FACILITY TRANSPORTED TO
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PERSON #	VEHICLE #	NAME	DATE OF BIRTH	INJ	SEX	LOC: S	R	O	EJECT	HU	EP	ABD	RS
CURRENT ADDRESS (Number and Street)			CITY	STATE		ZIP CODE							

SOURCE OF TRANSPORT TO MEDICAL FACILITY 1 Not Transported 2 EMS 3 Law Enforcement 77 Other, Explain in Narrative 88 Unknown	EMS AGENCY NAME OR ID	EMS RUN NUMBER	MEDICAL FACILITY TRANSPORTED TO
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HSMV 90010 5

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NARRATIVE

Reporting Agency Case Number
2017-063182

HSR/V Crash Report Number
87419890

v2 was parked along the south curb line of 6th ave n, facing east. v1 was parked in their driveway, 501 6th ave n. Veh1 proceeded to back out of the driveway and struck the driver's side of v2.

ADDITIONAL PASSENGERS														
PERSON #	VEHICLE #	NAME	DATE OF BIRTH	INJ	SEX	LOC	S	R	O	EJECT	HU	EP	ABD	RS
CURRENT ADDRESS (Number and Street)			CITY			STATE			ZIP CODE					
SOURCE OF TRANSPORT TO MEDICAL FACILITY <small>1 Not Transported 2 EMS 3 Law Enforcement 77 Other, Specify in Narrative 88 Unknown</small>			EMS AGENCY NAME OR ID			EMS RUN NUMBER			MEDICAL FACILITY TRANSPORTED TO					
PERSON #	VEHICLE #	NAME	DATE OF BIRTH	INJ	SEX	LOC	S	R	O	EJECT	HU	EP	ABD	RS
CURRENT ADDRESS (Number and Street)			CITY			STATE			ZIP CODE					
SOURCE OF TRANSPORT TO MEDICAL FACILITY <small>1 Not Transported 2 EMS 3 Law Enforcement 77 Other, Specify in Narrative 88 Unknown</small>			EMS AGENCY NAME OR ID			EMS RUN NUMBER			MEDICAL FACILITY TRANSPORTED TO					

ADDITIONAL VIOLATIONS

PERSON #	NAME OF VIOLATOR	FL STATUTE NUMBER	CHARGE	CITATION NUMBER

REPORTING OFFICER

BADGE #	RANK	OFFICER NAME	DEPARTMENT	TYPE OF DEPT
32424	OFC	J. PAULINA	ST. PETERSBURG POLICE DEPAR	POLICE DEPARTMENT

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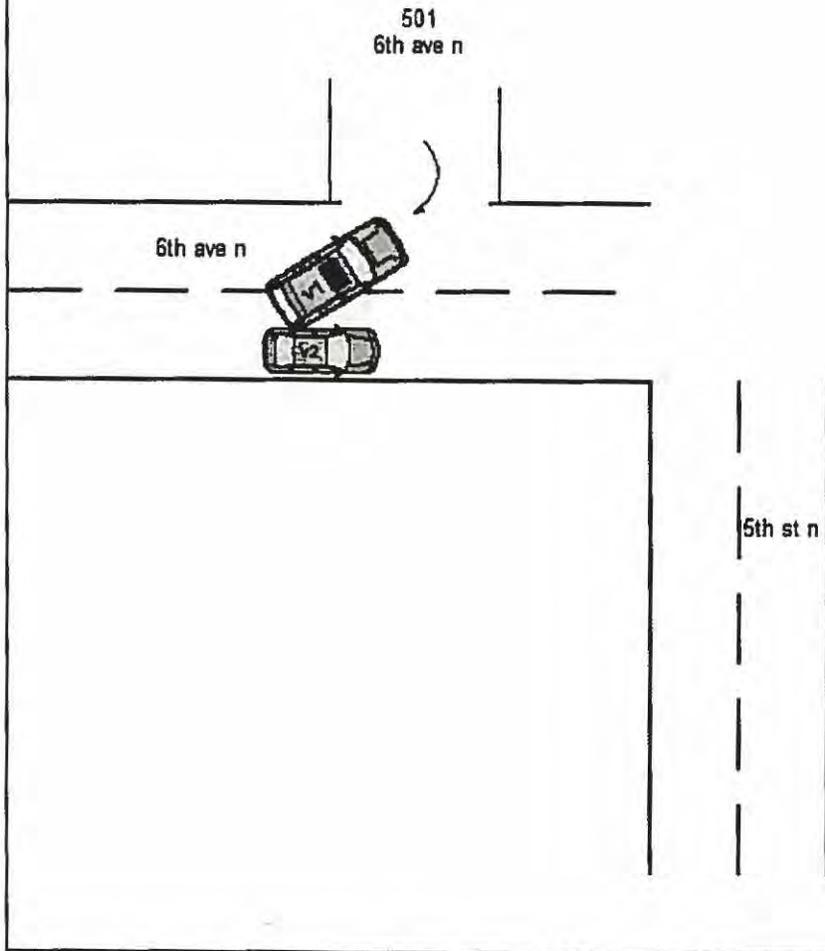
DIAGRAM

REPORTING AGENCY CASE NUMBER
2017-053182

HSMV CRASH REPORT NUMBER
87419690



Not To Scale



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VEHICLE # 2		Check if Commercial <input type="checkbox"/>		Reporting Agency Case Number 2017-063182		HSMV Crash Report Number 87419880	
1 Vehicle in Transport 2 Parked Motor Vehicle 3 Working Vehicle		VEHICLE LICENSE NUMBER Y73ZGA		STATE FL		REGISTRATION EXPIRES 08/28/2019	
Check if Permanent Registration <input type="checkbox"/>		VEHICLE MAKE AUDI		VEHICLE MODEL AUDI		VEHICLE STYLE STATION WAGON	
VEHICLE COLOR BLUE - BLU		VEHICLE DAMAGE: 1 Dents/Scratches 2 Functional 3 None		4 Minor 88 Unknown		EST. AMOUNT \$500.00	
INSURANCE COMPANY (DRIVER) GIECO GENERAL INSURANCE		INSURANCE POLICY NUMBER 418281101		Towed due to Damage: 1 No 2 Yes		VEHICLE REMOVED BY PARKED AT SCENE	
NAME OF VEHICLE OWNER (CHECK IF BUSINESS) BETH E ESCHENFELDER		CURRENT ADDRESS 832 6TH AVE N		CITY & STATE SANT PETERSBURG FL		ZIP 33701	
Trailer One		Trailer Two		Trailer Three		Trailer Four	
VEHICLE TRAVELING		ON STREET, ROAD, HIGHWAY		AT EST. SPEED		POSTED SPEED	
HAZ. MAT. RELEASED		HAZ. MAT. PLACARD		NUMBER		CLASS	
MOTOR CARRIER NAME		US DOT NUMBER		Area of Initial Impact		Most Damaged Area	
MOTOR CARRIER ADDRESS		CITY		STATE		ZIP CODE	
MOTOR CARRIER PHONE NUMBER		MOTOR CARRIER FAX NUMBER		MOTOR CARRIER E-MAIL ADDRESS		MOTOR CARRIER WEBSITE	
Vehicle Body Type		Trafficway		Commercial Motor Vehicle Configuration		Trailer Type	
Comm/Non-Commercial		Trailer 1		Trailer 2		Cargo Body Type	
Most Harmful Event		Comm GVWR/GCWR		Collision with Non-Fixed Object		Collision Fixed Object	
Sequence of Events		Vehicle Maneuver Action		Traffic Control Device For This Vehicle		Vehicle Defects	
Roadway Grade		Roadway Alignment		Special Function of Motor Vehicle		VIOLATIONS	
PERSON #		NAME OF VIOLATOR		FL STATUTE NUMBER		CHARGE	
PERSON #		NAME OF VIOLATOR		FL STATUTE NUMBER		CHARGE	
PERSON #		NAME OF VIOLATOR		FL STATUTE NUMBER		CHARGE	

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Beth Eschenfelder, Ph.D.
Department of Communication
The University of Tampa
727-412-3957
betheschenfelder@gmail.com

----- Forwarded message -----

From: **Stacha Madsen** <stachamadsen@gmail.com>
Date: Mon, Feb 4, 2019 at 5:25 PM
Subject: Update
To: Beth Eschenfelder <betheschenfelder@gmail.com>

Hey Beth,

I chatted briefly with Rob today and he suggested I reach out to you. I wanted to update you about that tree, I will be having it removed with in the next week or so and also repairing the cracked sidewalk on the side over there. I'm also putting in a driveway which will help with the street parking. I'm having to fill out a variance because I'm so close to my front property line and she suggested to get a few neighbors signatures on it. Would you mind signing it? I'm meeting with mostly everyone else later tonight. If so, what time can I stop by?

My son just moved here, he's 19 I'm sure you'll see him around.

Your house is coming along nicely I really like what you did with the eaves.

Talk soon,
Stacha

→ IN ACCURATE INFO.

21

Iris L. Winn

From: KRISTY ANDERSEN <historicoptown@gmail.com>
Sent: Friday, February 22, 2019 3:32 PM
To: Jennifer C. Bryla; Adriana P. Shaw; Iris L. Winn
Cc: Ryan Todd
Subject: Incoming Case No. 19-54000009 - Variance to Permeable Green Space - 554 6th Avenue North

Dear Jennifer Bryla and Iris Winn:

As I mentioned, I brought this matter before our HUNA Board last night. Board Member Ryan Todd has provided our position that we are opposed to this applicants variance, per his email below.

The question of whether or not to grant the proposed variance from the Maximum Impervious Surface permitted in the NT-2 zoning district is essentially a question about whether or not compliance with the standing parking requirement is more important than preserving Historic Uptown's traditional development pattern. Because Historic Uptown is a pedestrian-scaled neighborhood with a traditional development pattern and standing zoning code requirements are incongruent with that pattern, I recommend denial of the proposed variance. Permitting the applicant to emplace a curb-cut and construct a driveway will create a safety hazard for pedestrians and cyclists, will increase the amount of storm water runoff in the neighborhood, and disrupt the historic block-design.

The Use Permissions and Parking Requirements Matrix and Zoning Matrix located in Section 16.10.020.1 of the city's municipal code applies the same parking requirement to single-family residential uses regardless of which zoning district tier the property is located in. A single-family home in a historic neighborhood or downtown triggers the same parking requirement as a single-family home in the city's suburban areas. Differences in street network, block size and pattern, access to transit and complete streets, proximity to trip generators, lot size, and availability of on-street parking were not taken into consideration.

Parking requirements within the NT zoning districts aren't the only example of incongruent zoning regulations. Section 16.20.010.4.2 Neighborhood Traditional Single-Family -2 (NT-2) states: "Driveways, garages, and utility uses are limited to the rear of the property". However, a single-lane width curb cut and driveway located to the side of the principal structure is allowed for interior lots without alley access. Permitting the applicant to construct a drive-way and on-site parking space conflicts with the stated composition of traditional neighborhoods in the city code. Section 16.20.010.1 of the zoning code says that "...[traditional] neighborhoods feature streets and buildings oriented to the needs of pedestrians rather than to the needs of cars...driveways and garages in front yards are not typical in most traditional neighborhoods." In the case of a variance, should the city prioritize incompatible zoning regulations or the stated composition and purpose and intent of the district?

Parking requirements are relatively dynamic and are often adjusted to reflect society's values and changing mode preferences. Development patterns and neighborhood character, on the other hand, are relatively static. That is especially true for historic neighborhoods like Historic Uptown. Choosing to grant a variance that would make a property "more compliant" with a parking requirement that is incongruent with the existing development pattern and neighborhood character and that would require a variance to the lot coverage ratio is short-sighted. Granting the requested variance seems especially short-sighted considering that the mayor and city staff, as well as residents, have made comments about amending elements of the NT zoning district standards that would make the code more reflective of neighborhood character.

Section 16.70.040.1.10 - Variance, Design Standards establishes the criteria by which a variance should be granted. It is incumbent upon the applicant to demonstrate "...that the existing conditions and circumstances are such that the strict application of the provisions of the land development regulations would deprive the

applicant of reasonable use of said land, building, or structure, equivalent to the use made of lands, buildings, or structures in the same district and permitted under the terms of this provision.” Failing to meet the on-site parking requirement This proposal fails to demonstrate that strict adherence to the code prohibits the applicant from using the property. In fact, small non-conforming lots that do not have the necessary space available to provide on-site parking are the norm in our neighborhood - not the exception.

Staff has commented that granting the variance will help to relieve the perceived parking challenges in the neighborhood. Because of the subjective nature of the issue, this argument should not be used in the evaluation of the proposed variance. If we were to agree that the neighborhood has parking challenges the proposed variance would exacerbate the problem. If granted, the proposed variance will result in the loss of one on-street parking space in exchange for one off-street space. The variance results in a net gain of 0 parking spaces and a loss of 1 public parking space.

Because the proposed variance would detract from the established character of our traditional neighborhood, create a safety hazard for pedestrians and cyclists, will result in the loss of one on-street parking space, and doesn't meet the standard established for variances by the code, we ask you to deny the proposed variance.

Please let me know if you need further correspondence from either myself or Mr. Todd.

Best regards,
Kristy

Have you paid your dues yet? Go to www.historicuptown.com and click the PayPal link. It's that easy.

*Kristy Andersen, President HUNA
826 Dartmoor Street N.
St. Petersburg FL 33701
historicuptown@gmail.com
813/390-3582*

Iris L. Winn

From: Robert Coscia <robertcoscia23@gmail.com>
Sent: Saturday, February 23, 2019 11:42 PM
To: Jennifer C. Bryla; Adriana P. Shaw; Iris L. Winn
Cc: ryandtodd1@gmail.com; Beth Eschenfelder PRA Realty; robertcoscia23@gmail.com; KRISTY ANDERSEN
Subject: Incoming Case No 19-5400009 Variance to Permeable Green Space - 554 6th Ave North
Attachments: 2019_02_23_23_31_30.pdf

Dear Jennifer Bryla and Iris Winn,

We are direct next door neighbors to the above named property.

Please open the attachment below to see why we oppose the applicants variance request.

Please call if you have any questions.

Thank you,

Dr Beth Eschenfelder & Robert Coscia

239.770.2683

2/23/2019

Dear Jennifer Bryla and Iris Winn,

We are Beth Eschenfelder and Robert Coscia, the owners of 532 6th Ave N. St Petersburg, FL 33701.

We are the direct next door neighbors to the East of the applicant, Stacha Madsen 554 6th Ave N.

We are in opposition to the potential granting of Variance No # 19-54000009.

The application that was submitted to the City is inaccurate and deceiving and will be explained in detail below.

There are also other factors that granting such a Variance would have, such as safety, esthetic and other negative effects on the Historic Uptown community.

Page 1 (my numbering system)

1.a (We would be in favor of the City Staff to visit the subject property before making a final determination on the Variance as outlined in your application. We would also encourage staff to come by the site at night, as unlit street security issues were a concern of applicant. The number of street lights/lighting situation will follow.)

1.b (The applicant has not been forthcoming with accurate information on the Variance application, inaccurate in her true impervious calculations, and untrue in her written statements concerning conversations she had with neighbors, which will be shown shortly.)

2.a Detailed Description of Project & Request: applicant response "allow driveway"

It appears the Variance, by the City notes, is for the front yard area.

There is a permeable / impermeable issue as well as an issue for proper drainage.

2.b What is unique about the size, shape, topography, or location of the subject property? How do these unique characteristics justify the requested variance?

Applicant response "My property is set close to the property line." (this makes no sense, your property goes from property line to property line. Your property is too small as many others in the neighborhood, to properly accommodate a driveway would be a much more accurate description of the situation)

Applicant Response “I would like to improve the neighborhood street parking by adding a driveway and increase onsite parking.” (Adding a driveway will take a parking spot from the public street parking. If you chose not to use the on site parking, then TWO on street parking spots will be lost. You have two large vehicles, so possibly THREE street parking spots would be lost, 2 from the vehicles and the driveway area.)

Applicant Response “ I do not have access to an alley.” (Our property at 532 6th Ave N. has access to an alley and we can not park on our property because our property is TOO SMALL as well to accommodate parking) (We would need to climb out the windows to exit the vehicle as our width is 8’ and the vehicle width is almost 7’)

Applicant Response “Some nights it is difficult to find parking on my street and need to park on other streets. It seems unsafe for me with my 6 year old when we have to walk a block when dark out.”

(So you knowingly and willingly BOUGHT a property in what you consider an unsafe area knowing well before hand you had NO onsite parking, see MLS sheet) (There are MANY street lights, alley lights, city park lights, homeowners front lights, Mercury vapor light on a tall pole, near your property, etc.)

2.c Are there other properties in the immediate neighborhood that have already been developed or utilized in a similar way?

Applicant Response “The following addresses are neighbors on same street that have driveways.”

(Our determination)

501 6th Ave N. (This is the person who sold the property to applicant. This person has a driveway 24’ wide with a two car garage, and a double carport on his property, yet: he often chooses to park his vehicles on the street and we all fit. He has also T boned another vehicle BACKING out across the sidewalk, into two way traffic on a narrow two way street only 14’ wide with cars parked along the opposite curb. Most SUV/truck vehicles are aprox 7’ wide 17’ long. That fact now makes one to do a K turn to exit a 24’ driveway to exit. This would be even worse with a 14’ driveway as applicant proposes. (See attached police report)

548 6th Ave N. This driveway is 23’ wide, lots of property/area for impermeable, so this is not utilized in the same way as you are proposing using your limited space.

620 6th Ave N. This property has a 8’ wide driveway and also much more front yard and rear yard area for permeable and vegetation to not look like paving over paradise. Again, not a suitable example to compare of what you are proposing to do.

630 6th Ave N. This property has an 8' wide driveway as well, large permeable property, not a suitable example for what you are proposing to do.

633 6th Ave N. This is a 14' wide driveway with no cars and unobstructed view when exiting. Again, not a comparable driveway set up to subject property.

636 6th Ave N. This is an 18' driveway, large property, not a comparable.

644 6th Ave N. This is a 14' driveway with plenty of front permeable land. Corner multi family home. Not a good comparable either.

ALLEY ACCESS:

525 6th Ave N. Property has a 14' wide driveway on the alley side. Front permeable, Not a Comparable.

532 6th ave N. No room for parking with 8' wide space and not a comparable.

535 6th Ave N. This has a 18' wide double car garage with plenty of property and permeable areas. Not a comparable.

(None of the above properties she noted IMO have been utilized in a **similar way** as she proposes to do to her property.)

2.d. How is the requested Variance not the result of the actions of the applicant?

Applicant Response Property is set close to the property line. (This answer makes no sense, the property is too small and that was known before applicant purchased it)

Page 3, please see application:

3.a (The "current" cement slab was removed without a permit.)

(The City granite curb was removed without a permit.)

(The property can and has been reasonably used "as is" for almost 100 years. Applicant purchased property "AS IS" knowing street parking was the norm.)

(This property for the last 20 years that we have lived next door has been a rental property with tenants having 2 cars and using street parking without a problem.)

3.b (This Variance will not create more street parking and will actually create an unsafe environment for the children who walk past this property multiple times a day to get to the school bus stop 400 ft away on 7th St North)

(This is a pedestrian friendly neighborhood and to back up across the sidewalk into a narrow 14' two way street doing a K turn to get a 17' vehicle out does not make sense. We have over 6 children who "walk ahead" of their parents and pass this area frequently would be at risk for being hit by a vehicle going in reverse. There are also wheelchairs, other handicap people, children, people and dog walkers going to the parks, East (Millennium) and West (Round Lake) of this property who would also be in danger.)

3.c (Creating another concrete driveway apron will only take away from the greenery of the neighborhood, cause more rain water problems and create the City to deal with more storm water issues due to removing a large permeable area.)

(Applicant has also not performed a traffic survey, as this two way street is heavily used and backing into it daily with potentially two vehicles could cause problems.)

Neighborhood Worksheet: The undersigned adjacent property owners understand the nature of the applicants request and do not object.

(We were approached by the applicant and told us she did not need anyone's signature but the City would like to have them. That seemed odd. She then wrote us to please sign "**because she is so close to her front property line**". This is mis information to us and to other neighbors most likely did not realize what they were signing by her vague and innacurate e mail description (attached).

4.a Only one of the two owners signed

4.b Only one of two owners signed

4.c Only one of two owners signed

4.d Not an Adjacent neighbor, Only one owner signed

4.e Not an adjacent neighbor

4.f No owner signature

4.g Not an adjacent owner

4.h No owner signature

Application Report:

5.a (All neighbors were not emailed nor were met with.)

5.b. (Not Correct, we never met with her and we are directly next door.)

5.c N/A

5.d (There are concerns and problems. Neighbors nor the Neighborhood association is not happy with her proposed Variance.)

5.e (Not approved by the Neighborhood Association, see attachment)

Boundary Survey:

6. (The Total impervious area has to be corrected to add at minimum an additional 100 sq ft. The area applicant has highlighted as "green" drainage is actually concrete under the gravel rocks. The rocks were placed to "get above" the flood waters that come off of her roof into that area and have no where to go. That area is aprox 50' long by 2' wide.)

(We were also told of a 10' X 12' rear deck which also adds 120 sq ft. to the impermeable area of the property and additional water run off issues.)

7. Needs to be Re calculated adding impervious areas from #6 above.

Attachments:

Pages. 8 & 9. Shows applicant is not homesteading property in 2019 or 2020

Pages. 10 & 11. HUNA Board letter of denying the proposed Variance

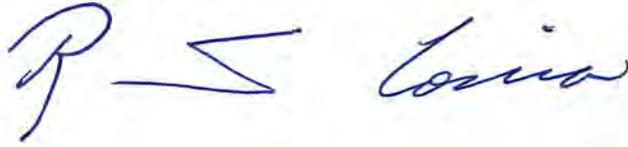
Page. 12 Multiple Listing Service Data Sheet applicant bought from.

Pages. 13 to 18. Police Report of one of numerous crashes backing out of driveway onto 6th Ave North

Page. 19. One of many neighbors with children having another driveway with vehicles backing out across the sidewalk

Page 20. Applicant already using the driveway illegally that she created without permits or approval.

Page 21. Mis information email we received from applicant.

A handwritten signature in blue ink, consisting of a stylized 'P', a horizontal line, and the name 'Loria'.



RECEIVED
 FEB 05 2019
 DEVELOPMENT REVIEW
 SERVICES

VARIANCE

Application No. 19-54000009

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Development Review Services Division, located on the 1st floor of the Municipal Services Building, One Fourth Street North.

GENERAL INFORMATION	
NAME of APPLICANT (Property Owner): <u>Stacha Madsen</u>	
Street Address: <u>534 6th AVE N.</u>	
City, State, Zip: <u>ST PETERSBURG FL 33701</u>	
Telephone No: <u>253.350.3401</u>	Email Address: <u>Stachamadsen@gmail.com</u>
NAME of AGENT or REPRESENTATIVE: <u>SAME - Homeowner</u>	
Street Address:	
City, State, Zip:	
Telephone No:	Email Address:
PROPERTY INFORMATION:	
Street Address or General Location: <u>534 6th AVE N. ST PETERSBURG FL 33701</u>	
Parcel ID#(s):	
DESCRIPTION OF REQUEST: <u>DRIVEWAY / FRONT YARD I.S.R. / POSTAL I.S.R.</u>	
PRE-APPLICATION DATE:	PLANNER:

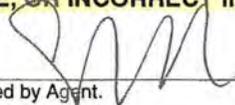
FEE SCHEDULE			
1 & 2 Unit, Residential – 1 st Variance	\$300.00	Each Additional Variance	\$100.00
3 or more Units & Non-Residential -- 1 st Variance	\$300.00	After-the-Fact	\$500.00
		Docks	\$400.00
		Flood Elevation	\$300.00
Cash, credit, checks made payable to "City of St. Petersburg"			

AUTHORIZATION

a. City Staff and the designated Commission may visit the subject property during review of the requested variance. Any Code violations on the property that are noted during the inspections will be referred to the City's Codes Compliance Assistance Department.

The applicant, by filing this application, agrees he or she will comply with the decision(s) regarding this application and conform to all conditions of approval. The applicant's signature affirms that all information contained within this application has been completed, and that the applicant understands that processing this application may involve substantial time and expense. Filing an application does not guarantee approval, and denial or withdrawal of an application does not result in remittance of the application fee.

b. **NOTE: IT IS INCUMBENT UPON THE APPLICANT TO SUBMIT CORRECT INFORMATION. ANY MISLEADING, DECEPTIVE, INCOMPLETE, OR INCORRECT INFORMATION MAY INVALIDATE YOUR APPROVAL.**

Signature of Owner / Agent*:  Date: 2-4-19
 *Affidavit to Authorize Agent required, if signed by Agent.
 Typed Name of Signatory: _____

UPDATED 09-30-16

1

VARIANCE

NARRATIVE (PAGE 1)

All applications for a variance must provide justification for the requested variance(s) based on the criteria set forth by the City Code. It is recommended that the following responses be typed. Illegible handwritten responses will not be accepted. Responses may be provided as a separate letter, addressing each of the six criteria.

ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE	
Street Address: <u>554 6th AVEN.</u>	Case No.:
Detailed Description of Project and Request:	
<u>allow driveway. Need variance to front yard I.S.R.</u>	
1. What is unique about the size, shape, topography, or location of the subject property? How do these unique characteristics justify the requested variance?	
<u>a. My property is set close to the property line. I would like to improve the neighborhood street parking by adding a driveway and increasing onsite parking. I do not have access to an alley. Some nights it is difficult to find parking on my street and need to park on other streets. It seems unsafe for me with my 6 year old when we have to walk a block when</u>	
2. Are there other properties in the immediate neighborhood that have already been developed or utilized in a similar way? If so, please provide addresses and a description of the specific signs or structures being referenced. dark out	
<u>c. The following addresses are neighbors on same street that have driveways:</u>	
<u>501 6th AVEN</u>	<u>alley access:</u>
<u>548 6th AVEN</u>	<u>525 6th AVEN</u>
<u>620 6th AVEN</u>	<u>532 6th AVEN</u>
<u>630 6th AVEN</u>	<u>535 6th AVEN</u>
<u>633 6th AVEN</u>	
<u>636 6th AVEN</u>	
<u>644 6th AVEN</u>	
3. How is the requested variance not the result of actions of the applicant?	
<u>Property is set close to the property line</u>	

2



VARIANCE

NARRATIVE (PAGE 2)

All applications for a variance must provide justification for the requested variance(s) based on the criteria set forth by the City Code. It is recommended that the following responses be typed. Illegible handwritten responses will not be accepted. Responses may be provided as a separate letter, addressing each of the six criteria.

ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE	
3 a.	<p>4. How is the requested variance the minimum necessary to make reasonable use of the property? In what ways will granting the requested variance enhance the character of the neighborhood?</p> <p>There is currently a cement slab on the side of the house, I would like to use that area to provide a driveway. By adding a driveway I will be improving & increasing on-site parking. It will provide more street parking & will be set behind my front facade.</p>
b.	<p>5. What other alternatives have been considered that do not require a variance? Why are these alternatives unacceptable?</p> <p>There really is no other alternative to alleviate more street parking.</p>
c.	<p>6. In what ways will granting the requested variance enhance the character of the neighborhood?</p> <p>granting me a driveway will improve neighborhood by helping to alleviate street parking issues, increasing more street parking</p>



VARIANCE

NEIGHBORHOOD WORKSHEET

Applicants are strongly encouraged to obtain signatures in support of the proposal(s) from owners of property adjacent to or otherwise affected by a particular request.

NEIGHBORHOOD WORKSHEET	
Street Address: 531 6th Ave N-	Case No.:
Description of Request: DRIVEWAY / FRONT YARD I.S.R.	
The undersigned adjacent property owners understand the nature of the applicant's request and do not object (attach additional sheets if necessary):	
4 a. A-1	1. Affected Property Address: 553 6th Ave N, St. Petersburg, FL 33701 Owner Name (print): Rachel Zafar Owner Signature:
b.	2. Affected Property Address: 525 6th Avenue N Owner Name (print): Greg Ellis Owner Signature:
c.	3. Affected Property Address: 535 6th Avenue N. Owner Name (print): Anna Glenn Owner Signature:
d.	4. Affected Property Address: 541 6th Ave N. Owner Name (print): TOU ROU TIS Owner Signature:
e.	5. Affected Property Address: 548 6th St. N Owner Name (print): Lisa Sartori Owner Signature:
f. N/A	6. Affected Property Address: 556 6th AVE N. - Rental / owners out of town Owner Name (print): Linda / ROSI Bungali Owner Signature:
g.	7. Affected Property Address: 528 6th Street N Owner Name (print): Andree Warch Owner Signature:
h.	8. Affected Property Address: 557 6th AVE N. - Rental - Owner Name (print): Owner Signature:



PUBLIC PARTICIPATION REPORT

Application No. _____

In accordance with LDR Section 16.70.040.1.F.2. "It is the policy of the City to encourage applicants to meet with residents of the surrounding neighborhoods prior to filing an application for a permit requiring review and public hearing. The applicant, at his option, may elect to include neighborhood mediation as a preparatory step in the development process. Participation in the public participation process prior to required public hearings will be considered by the decision-making official when considering the need, or request, for a continuance of an application. It is not the intent of this section to require neighborhood meetings, but to encourage meetings prior to the submission of applications for approval and documentation of efforts which have been made to address any potential concerns prior to the formal application process."

APPLICANT REPORT	
Street Address:	
5 a.	1. Details of techniques the applicant used to involve the public
	(a) Dates and locations of all meetings where citizens were invited to discuss the applicant's proposal
	2-4 emailed, and met neighbors at their homes to discuss driveway being added to my property
	(b) Content, dates mailed, and number of mailings, including letters, meeting notices, newsletters, and other publications
b.	2-4 met with neighbors at their homes
c.	(c) Where residents, property owners, and interested parties receiving notices, newsletters, or other written materials are located
d.	2. Summary of concerns, issues, and problems expressed during the process
	no concerns or problems arise. Neighbors were happy to have more street parking
e.	3. Signature or affidavit of compliance - President or vice-president of any neighborhood associations
	Check one: <input type="checkbox"/> Proposal supported
	<input type="checkbox"/> Do not support the Proposal
	<input checked="" type="checkbox"/> Unable to comment on the Proposal at this time
	Other comment(s): Will email.
Association Name: _____ President or Vice-President Signature: _____	
If the president or vice-president of the neighborhood association are unavailable or refuse to sign such certification, a statement as to the efforts to contact them and (in the event of unavailability or unwillingness to sign) why they were unable or unwilling to sign the certification.	

5

BOUNDARY SURVEY

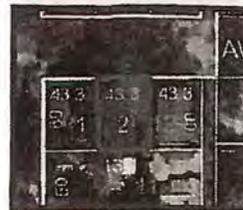
Date Of Field Work - 05/18/2018 Drawn By - O.G. Order #: 1000027783

554 6th AVENUE N, ST. PETERSBURG, FL 33701



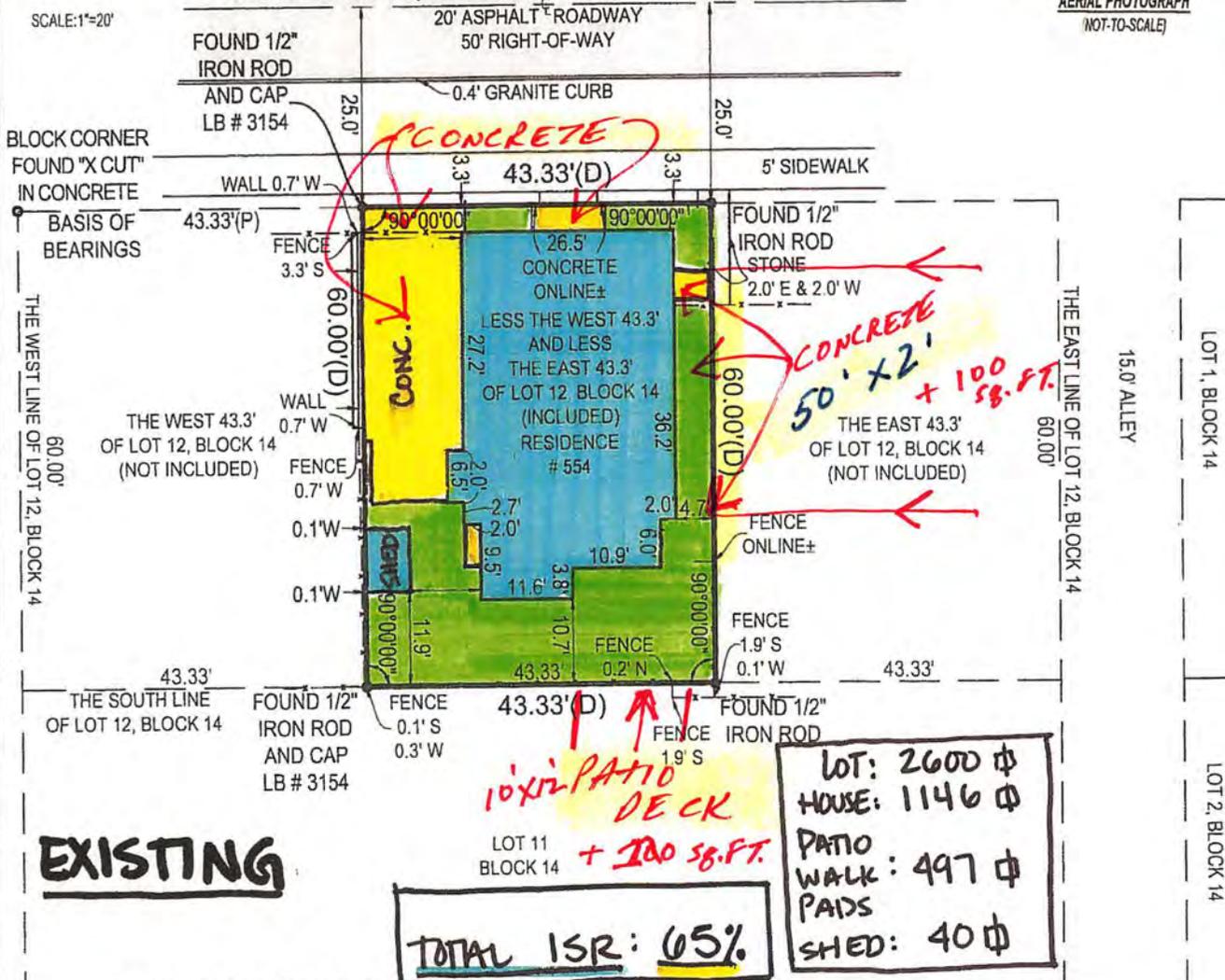
SCALE: 1"=20'

- NEW IMPERMEABLE AREAS -



AERIAL PHOTOGRAPH
(NOT-TO-SCALE)

6th AVENUE N(FIELD) / MICHIGAN AVENUE (PLAT)



- ALL ANGLES AND DISTANCES SHOWN HEREON ARE BOTH RECORD AND MEASURED UNLESS OTHERWISE NOTED

SHEET 1 OF 2 (SKETCH OF SURVEY) - SEE SHEET 2 OF 2 FOR LEGAL DESCRIPTION, AND OTHER SURVEY RELATED DATA. SURVEY IS NOT COMPLETE WITHOUT ALL SHEETS

NEXGEN

SURVEYING, LLC.

5601 CORPORATE WAY, SUITE 103
WEST PALM BEACH, FL 33407

561.508.6272
FAX: 561.508.6309
LB 8111

NexgenSurveying.com

Clyde McNeal PSM 2883

THIS SURVEY IS NOT VALID WITHOUT
THE SIGNATURE AND THE ORIGINAL RAISED SEAL
OF A FLORIDA LICENSED SURVEYOR AND MAPPER

6

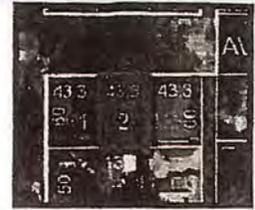
BOUNDARY SURVEY

Date Of Field Work - 05/18/2018 Drawn By - O.G. Order #: 1000027753

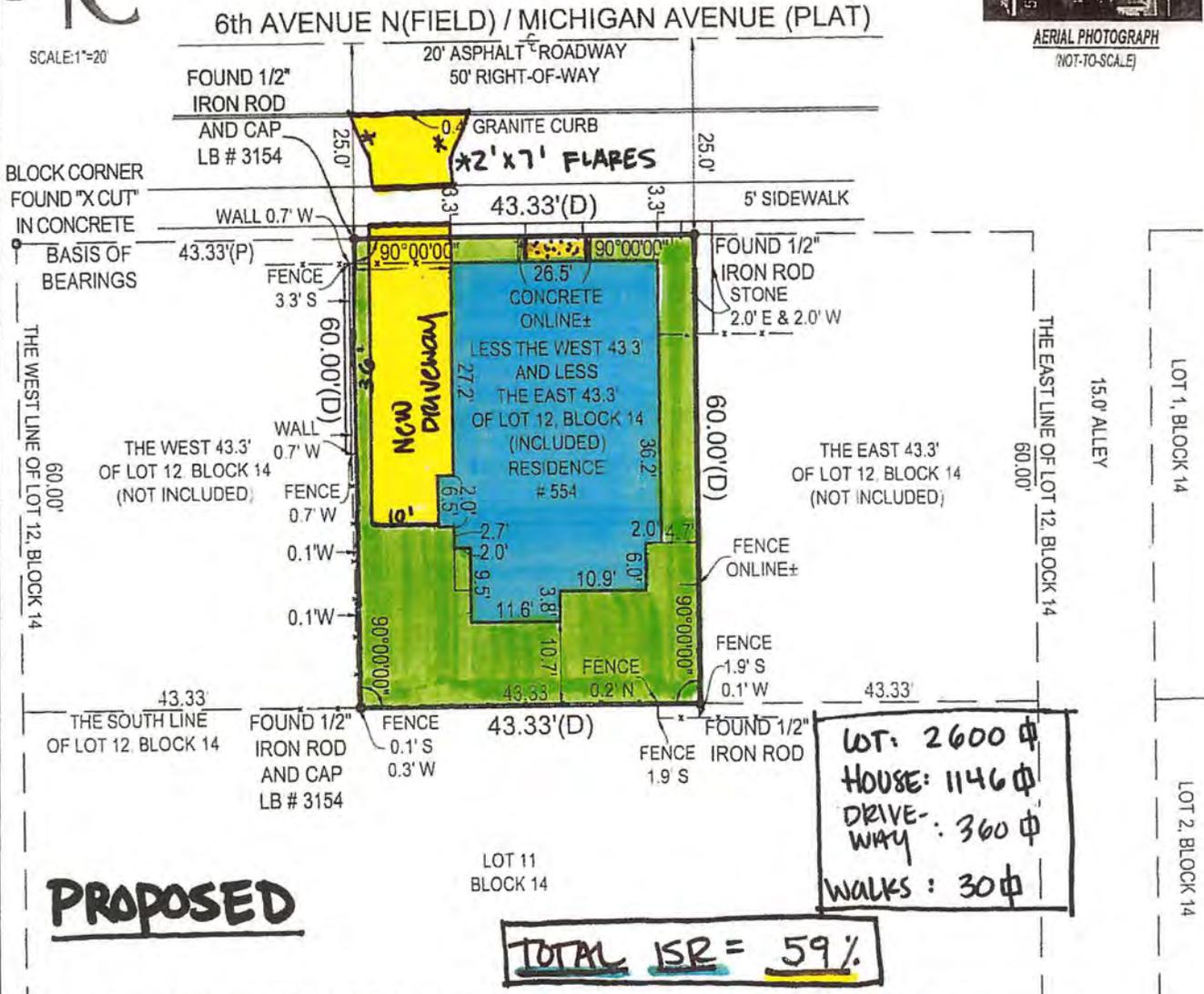
554 6th AVENUE N, ST. PETERSBURG, FL 33701



SCALE: 1"=20'



AERIAL PHOTOGRAPH
(NOT-TO-SCALE)



PROPOSED

LOT: 2600 \$
 HOUSE: 1146 \$
 DRIVEWAY: 360 \$
 WALKS: 30 \$

TOTAL ISR = 59%

- ALL ANGLES AND DISTANCES SHOWN HEREON ARE BOTH RECORD AND MEASURED UNLESS OTHERWISE NOTED

SHEET 1 OF 2 (SKETCH OF SURVEY) - SEE SHEET 2 OF 2 FOR LEGAL DESCRIPTION, AND OTHER SURVEY RELATED DATA. SURVEY IS NOT COMPLETE WITHOUT ALL SHEETS

NEXGEN

SURVEYING, LLC.

5601 CORPORATE WAY, SUITE 103
 WEST PALM BEACH, FL 33407

561.508.6272
 FAX: 561.508.6309
 LB 8111

NexgenSurveying.com

Clyde McNeal PSM 2883
 THIS SURVEY IS NOT VALID WITHOUT
 THE SIGNATURE AND THE ORIGINAL RAISED SEAL
 OF A FLORIDA LICENSED SURVEYOR AND MAPPER

7

18-31-17-77814-014-0122

Compact Property Record Card

[Tax Estimator](#)

Updated February 22, 2019

[Email Print](#)

[Radius Search](#)

[FEMA/WLM](#)

Ownership/Mailing Address Change Mailing Address	Site Address
MADSEN, STACHA 554 6TH AVE N ST PETERSBURG FL 33701	554 6TH AVE N ST PETERSBURG



Property Use: 0820 (Duplex-Triplex-Fourplex)

Total Living: SF: 1,146

Total Gross SF: 1,146

Total Living Units: 2

[\[click here to hide\] Legal Description](#)

SAFFORD'S ADD REVISED BLK 14, W 43.33 FT OF E 86.66 FT OF LOT 12

Tax Estimator	<input checked="" type="checkbox"/> File for Homestead Exemption	2019 Parcel Use	
Exemption	2019	2020	
Homestead:	No	No	
Government:	No	No	Homestead Use Percentage: 0.00%
Institutional:	No	No	Non-Homestead Use Percentage: 100.00%
Historic:	No	No	Classified Agricultural: No

Parcel Information Latest Notice of Proposed Property Taxes (TRIM Notice)

Most Recent Recording	Sales Comparison	Census Tract	Evacuation Zone <small>(NOT the same as a FEMA Flood Zone)</small>	Flood Zone <small>(NOT the same as your evacuation zone)</small>	Plat Book/Page
20099/0385	\$178,600 Sales Query	121030235001	NON EVAC	Compare Preliminary to Current FEMA Maps	H1/77

2018 Interim Value Information

Year	Just/Market Value	Assessed Value / Non-HX Cap	County Taxable Value	School Taxable Value	Municipal Taxable Value
2018	\$149,003	\$101,717	\$101,717	\$149,003	\$101,717

[\[click here to hide\] Value History as Certified \(yellow indicates correction on file\)](#)

Year	Homestead Exemption	Just/Market Value	Assessed Value	County Taxable Value	School Taxable Value	Municipal Taxable Value
2017	No	\$137,012	\$92,470	\$92,470	\$137,012	\$92,470
2016	No	\$117,106	\$84,064	\$84,064	\$117,106	\$84,064
2015	No	\$99,201	\$76,422	\$76,422	\$99,201	\$76,422
2014	No	\$77,159	\$69,475	\$69,475	\$77,159	\$69,475
2013	No	\$63,159	\$63,159	\$63,159	\$63,159	\$63,159
2012	No	\$57,627	\$57,627	\$57,627	\$57,627	\$57,627
2011	No	\$53,007	\$53,007	\$53,007	\$53,007	\$53,007
2010	No	\$73,218	\$73,218	\$73,218	\$73,218	\$73,218
2009	No	\$83,044	\$83,044	\$83,044	\$83,044	\$83,044
2008	No	\$140,700	\$140,700	\$140,700	\$140,700	\$140,700
2007	No	\$170,200	\$170,200	\$170,200	N/A	\$170,200
2006	No	\$162,000	\$162,000	\$162,000	N/A	\$162,000
2005	No	\$122,300	\$122,300	\$122,300	N/A	\$122,300
2004	No	\$94,400	\$94,400	\$94,400	N/A	\$94,400
2003	No	\$82,200	\$82,200	\$82,200	N/A	\$82,200
2002	No	\$60,300	\$60,300	\$60,300	N/A	\$60,300
2001	No	\$47,900	\$29,700	\$4,700	N/A	\$4,700
2000	Yes	\$46,100	\$28,900	\$3,900	N/A	\$3,900
1999	Yes	\$36,500	\$28,200	\$3,200	N/A	\$3,200
1998	Yes	\$36,500	\$27,800	\$2,800	N/A	\$2,800
1997	Yes	\$27,400	\$27,400	\$2,400	N/A	\$2,400
1996	No	\$24,300	\$24,300	\$24,300	N/A	\$24,300

2018 Tax Information

2018 Tax Bill	Tax District: SP
2018 Final Millage Rate	21.7154
Do not rely on current taxes as an estimate following a change in ownership. A significant change in taxable value may occur after a transfer due to a loss of exemptions, reset of the Save Our Homes or 10% Cap, and/or market conditions. Please use our new Tax Estimator to estimate taxes under new ownership.	

Ranked Sales (What are Ranked Sales?) [See all transactions](#)

Sale Date	Book/Page	Price	Q/U	V/I
18 Jun 2018	20099 / 0385	\$226,000	Q	I
04 May 2001	11352 / 0417	\$30,000	U	I
10 Sep 1990	07374 / 0606	\$38,000	U	I
20 Jul 1990	07333 / 1051	\$32,000	U	I
14 Jun 1989	07022 / 0215	\$27,000	Q	I

2018 Land Information

Seawall: No	Frontage: None	View: Park/Cons/Pres				
Land Use	Land Size	Unit Value	Units	Total Adjustments	Adjusted Value	Method
Multi-Fam <10 Units (08)	43x60	3650.00	43.3000	0.7100	\$112,212	FF

[\[click here to hide\] 2019 Building 1 Structural Elements](#) [Back to Top](#)

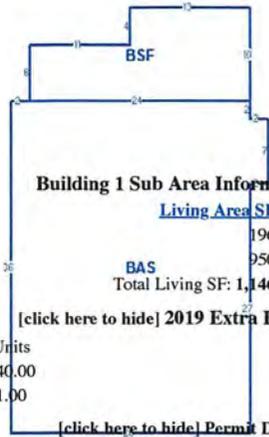
Site Address: 554 6TH AVE N

Building Type: Duplex - 4-Plex
 Quality: Average
 Foundation: Piers
 Floor System: Wood
 Exterior Wall: Frame Siding
 Roof Frame: Gable Or Hip
 Roof Cover: Shingle Composition
 Stories: 1
 Living units: 2

[Compact Property Record Card](#)



Floor Finish: Carpet/Hardtile/Hardwood
 Interior Finish: Drywall/Plaster
 Fixtures: 9
 Year Built: 1920
 Effective Age: 30
 Heating: Central Duct
 Cooling: Cooling (Central)



Description	Living Area SF	Gross Area SF
Base Semi-finished	196	196
Base	950	950
	Total Living SF: 1,146	Total Gross SF: 1,146

Description	Value/Unit	Units	Total Value as New	Depreciated Value	Year
PATIO/DECK	\$9.00	340.00	\$3,060.00	\$1,224.00	1950
FIREPLACE	\$3,500.00	1.00	\$3,500.00	\$1,400.00	1920

Permit information is received from the County and Cities. This data may be incomplete and may exclude permits that do not result in field reviews (for example for water heater replacement permits). We are required to list all improvements, which may include unpermitted construction. Any questions regarding permits, or the status of non-permitted improvements, should be directed to the permitting jurisdiction in which the structure is located.

Permit Number	Description	Issue Date	Estimated Value
18-12000517	CONC PAVE	10 Dec 2018	\$3,500
18-11000789	PLUMBING	14 Nov 2018	\$1,819
18-11000680	ROOF	13 Nov 2018	\$7,035
18-10001154	RESIDENTIAL ADD	18 Oct 2018	\$15,000
18-01000741	ROOF	16 Jan 2018	\$7,916
03-7001279	HEAT/AIR	18 Aug 2003	\$2,400



9

From: KRISTY ANDERSEN historicoptown@gmail.com
Subject: Fwd: Incoming Case No. 19-54000009 - Variance to Permeable Green Space - 554 6th Avenue North
Date: February 22, 2019 at 3:39 PM
To: robert coscia robertcoscia23@gmail.com



Begin forwarded message:

From: KRISTY ANDERSEN <historicoptown@gmail.com>
Subject: Incoming Case No. 19-54000009 - Variance to Permeable Green Space - 554 6th Avenue North
Date: February 22, 2019 at 3:31:30 PM EST
To: "Jennifer C. Bryla" <Jennifer.Bryla@stpete.org>, "Adriana P. Shaw" <Adriana.shaw@stpete.org>, "Iris L. Winn" <Iris.Winn@stpete.org>
Cc: Ryan Todd <ryandtodd1@gmail.com>

Dear Jennifer Bryla and Iris Winn:

As I mentioned, I brought this matter before our HUNA Board last night. Board Member Ryan Todd has provided our position that we are opposed to this applicants variance, per his email below.

The question of whether or not to grant the proposed variance from the Maximum Impervious Surface permitted in the NT-2 zoning district is essentially a question about whether or not compliance with the standing parking requirement is more important than preserving Historic Uptown's traditional development pattern. Because Historic Uptown is a pedestrian-scaled neighborhood with a traditional development pattern and standing zoning code requirements are incongruent with that pattern, I recommend denial of the proposed variance. Permitting the applicant to emplace a curb-cut and construct a driveway will create a safety hazard for pedestrians and cyclists, will increase the amount of storm water runoff in the neighborhood, and disrupt the historic block-design.

The Use Permissions and Parking Requirements Matrix and Zoning Matrix located in Section 16.10.020.1 of the city's municipal code applies the same parking requirement to single-family residential uses regardless of which zoning district tier the property is located in. A single-family home in a historic neighborhood or downtown triggers the same parking requirement as a single-family home in the city's suburban areas. Differences in street network, block size and pattern, access to transit and complete streets, proximity to trip generators, lot size, and availability of on-street parking were not taken into consideration.

Parking requirements within the NT zoning districts aren't the only example of incongruent zoning regulations. Section 16.20.010.4.2 Neighborhood Traditional Single-Family -2 (NT-2) states: "Driveways, garages, and utility uses are limited to the rear of the property". However, a single-lane width curb cut and driveway located to the side of the principal structure is allowed for interior lots without alley access. Permitting the applicant to construct a drive-way and on-site parking space conflicts with the stated composition of traditional neighborhoods in the city code. Section 16.20.010.1 of the zoning code says that "...[traditional] neighborhoods feature streets and buildings oriented to the needs of pedestrians rather than to the needs of cars...driveways and garages in front yards are not typical in most traditional neighborhoods." In the case of a variance, should the city prioritize incompatible zoning regulations or the stated composition and purpose and intent of the district?

Parking requirements are relatively dynamic and are often adjusted to reflect society's

10

values and changing mode preferences. Development patterns and neighborhood character, on the other hand, are relatively static. That is especially true for historic neighborhoods like Historic Uptown. Choosing to grant a variance that would make a property "more compliant" with a parking requirement that is incongruent with the existing development pattern and neighborhood character and that would require a variance to the lot coverage ratio is short-sighted. Granting the requested variance seems especially short-sighted considering that the mayor and city staff, as well as residents, have made comments about amending elements of the NT zoning district standards that would make the code more reflective of neighborhood character.

Section 16.70.040.1.10 - Variance, Design Standards establishes the criteria by which a variance should be granted. It is incumbent upon the applicant to demonstrate "...that the existing conditions and circumstances are such that the strict application of the provisions of the land development regulations would deprive the applicant of reasonable use of said land, building, or structure, equivalent to the use made of lands, buildings, or structures in the same district and permitted under the terms of this provision." Failing to meet the on-site parking requirement This proposal fails to demonstrate that strict adherence to the code prohibits the applicant from using the property. In fact, small non-conforming lots that do not have the necessary space available to provide on-site parking are the norm in our neighborhood - not the exception.

Staff has commented that granting the variance will help to relieve the perceived parking challenges in the neighborhood. Because of the subjective nature of the issue, this argument should not be used in the evaluation of the proposed variance. If we were to agree that the neighborhood has parking challenges the proposed variance would exacerbate the problem. If granted, the proposed variance will result in the loss of one on-street parking space in exchange for one off-street space. The variance results in a net gain of 0 parking spaces and a loss of 1 public parking space.

Because the proposed variance would detract from the established character of our traditional neighborhood, create a safety hazard for pedestrians and cyclists, will result in the loss of one on-street parking space, and doesn't meet the standard established for variances by the code, we ask you to deny the proposed variance.

Please let me know if you need further correspondence from either myself or Mr. Todd.

Best regards,
Kristy

Have you paid your dues yet? Go to www.historicuptown.com and click the PayPal link. It's that easy.

Kristy Andersen, President HUNA
826 Dartmoor Street N.
St. Petersburg FL 33701
historicuptown@gmail.com
813/390-3582

(11)



U7849451 554 6TH AVE N, ST PETERSBURG, FL 33701



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County: Pinellas
Status: Sold
Subdiv: SAFFORDS ADD REV
Backups Requested: Yes
Beds: 2
List Price: \$235,000
Baths: 3/0
Year Built: 1920
Pool: None
Special Sale: None
Property Style: Single Family Residence
ADOM: 55
CDOM: 55
Lot Features: Historic District, In City Limits, Near Public Transit, Sidewalks, Street Brick
Total Acreage: Up to 10,889 Sq. Ft.
Minimum Lease Period: No Minimum
Garage: No **Attach:** Spcs
Garage/Parking Features: None, On Street Parking
New Construction: No
Property Condition:
Builder Name:
Builder License #:
Builder Model:
LP/SqFt: \$205.06
Sold Date: 06/18/2018
Sold Price: \$226,000
SP/SqFt: \$197.21

Pets: Yes
Max Times per Yr:
Carport: No Spcs
Proj Comp Date:
Permit Number:

SqFt Heated: 1,146
SqFt Total: 1,146

APPLICANT BOUGHT WITH NO ON SITE PARKING EXPECTATIONS. JUST PATIO EXPECTATIONS.

Charming, historic bungalow in the heart of Historic Uptown. Flexible floor plan with 2 bedrooms and another possible 2 bedrooms or 2 offices. Amazing character with coffered ceilings, original doors, knobs, original hardwood flooring, hexagon pavers and more. Indoor laundry room and a massive attic space for tons of storage. Low maintenance yard with a fabulous side yard just off the living room make for a perfect entertainment space. 6 short blocks from downtown St. Pete and 3 blocks to Starbucks, tons of restaurants, and shopping! Enjoy all the festivals of St. Pete in Straub Park which is a 10 minute stroll. Being sold as-is. Amazing value and an amazing location!

Land, Site, and Tax Information

Legal Desc: SAFFORD'S ADD REVISED BLK 14, W 43.33 FT OF E 86.66 FT OF LOT 12
SE/TP/RG: 18-31-17
Subdivision #:
Tax ID: 18-31-17-77814-014-0122
Taxes: \$2,277
Auction Type:
Auction Firm/Website:
Homestead: No
Alt Key/Folio #:
Add Parcel: No
CDD: No
of Add Parcels:
Ownership: Fee Simple
JW Subd Condo#:
Flood Zone: X
Floors in Unit/Home: One
Bldg Name/#:
Book/Page: H1-77
MH Make:
Land Lease Fee:
Planned Unit Dev:
Lot Dimensions: 43x60
Existing Lease/Tenant: No
Days Notice To Tenant If Not Renewing:
Water Frontage:No
Water Access: No
Water View: No
Addl Water Info:

Zoning:
Future Land Use:
Zoning Comp:
Tax Year: 2017
Property Access:

Block/Parcel: 14
Front Exposure: North
Lot #: 12

Buyers Premium:
Other Exemptions: No

Annual CDD Fee:

Additional Tax IDs:

Mill Rate:

Complex/Comm Name:

SW Subd Name:

Flood Zone Date: 09/03/2003

Floor #:

Total # of Floors:

MH Model:

Total Units:

Flood Zone Panel: 12103C0219G

Census Tract: 235.00

MH Width:

Lot Size Acres: 0.06

Monthly Rental Amount:

Month To Month Or Weekly Y/N:

Lot Size SqFt: 2,580

End Date of Lease:

Waterfront Ft: 0

Water Name:

Water Extras: No

Interior Information

A/C: Central Air
Heat/Fuel: Central
SqFt Heated Source: Public Records
Laundry Features: Inside
Fireplace: Yes-Living Room, Wood Burning
Accessibility Features:
Utilities: Public, Street Lights
Water: Public
Additional Rooms: Attic, Den/Library/Office, Inside Utility
Interior Feat: Attic, Built in Features, Coffered Ceiling(s), Living Room/Dining Room Combo, Walk-In Closet(s)
Appliances Incl: Range, Refrigerator

Flooring Covering: Ceramic Tile, Wood

Security Feat:

SqFt Total Source: Public Records

Window Features:

Furnishings:Unfurnished

Sewer: Public Sewer

Room Type	Level	Dimen	Flooring	Features
Bedroom 2	First	13x13	Wood	
Kitchen	First	10x15	Ceramic Tile	Breakfast Bar
Living Room	First	13x15	Wood	
Master Bathroom				Tub With Shower
Master Bedroom	First	15x13	Wood	

Exterior Information

Ext Construction: Siding, Wood Frame
Roof: Shingle
Property Description:
Architectural Style:Bungalow
Ext Features: Fenced, French Doors
Other Structures: Shed(s)
Patio And Porch Features: Deck, Patio, Porch
Pool: None
Pool Features:
Vegetation:
View:

Foundation: Crawlspce

Property Attached Y/N:

Garage Dim:

Pool Dimensions:

Spa Features:

Spa Y/N:

Green Features

Green Certifications:
Disaster Mitigation:

12

FLORIDA TRAFFIC CRASH REPORT

LONG FORM SHORT FORM UPDATE
(Shaded Areas)

MAIL TO: DEPARTMENT OF HIGHWAY SAFETY & MOTOR VEHICLES
 TRAFFIC CRASH RECORDS, NEIL KIRKMAN BUILDING
 TALLAHASSEE, FL 32399-0537

WAS DOT PROPERTY INVOLVED IN THIS CRASH?

TOTAL # OF VEHICLE SECTION(S) 2
 TOTAL # OF PERSON SECTION(S) 1
 TOTAL # OF NARRATIVE SECTION(S) 1

CRASH DATE	TIME OF CRASH	DATE OF REPORT	REPORTING AGENCY CASE NUMBER	HSMV CRASH REPORT NUMBER
11/06/2017	1:01 PM	11/19/2017	2017-053182	87419690

COUNTY CODE	CITY CODE	COUNTY OF CRASH	PLACE OR CITY OF CRASH	CHECK IF WITHIN CITY LIMITS	TIME REPORTED	TIME DISPATCHED
04	64	PINELLAS	ST. PETERSBURG	<input checked="" type="checkbox"/>	1:33 PM	1:34 PM
TIME ON SCENE	TIME CLEARED SCENE	CHECK IF COMPLETED	REASON (If Investigation NOT Complete)	Notified By: 1 Motorist <input type="checkbox"/> 2 Law Enforcement <input checked="" type="checkbox"/>		
1:40 PM	3:00 PM	<input checked="" type="checkbox"/>				

ROADWAY INFORMATION (CHOOSE ONLY 1 OF 4 OPTIONS)			
CRASH OCCURRED ON STREET, ROAD, HIGHWAY		AT STREET ADDRESS #	AT LATITUDE AND LONGITUDE
6TH AVE N		1	27.77852 -82.640922
AT FEET	MILES	AT/FROM INTERSECTION WITH STREET, ROAD, HIGHWAY	OR FROM MILEPOST #
110		3 5TH ST N	4
Road System Identifier		Type of Shoulder	Type of Intersection
5 1 Interstate 2 U.S. 3 State	4 County 5 Local 6 Turnpike/Toll	3 7 Forest Road 8 Private Roadway 9 Parking Lot 77 Other, Explain in Narrative	1 1 Paved 2 Unpaved 3 Curb
		1	1 Not at Intersection 2 Four-Way Intersection 3 T-Intersection 4 Y-Intersection
			5 Traffic Circle 6 Roundabout 7 Five-Point, or More 77 Other, Explain in Narrative

CRASH INFORMATION (CHECK IF PICTURES TAKEN)				
Light Condition	Weather Condition	Roadway Surface Condition	School Bus Related	Manner of Collision/Impact
1 1 Daylight 2 Dusk 3 Dawn 4 Dark-Lighted 5 Dark-Not Lighted 6 Dark-Unknown 77 Other, Explain in Narrative 88 Unknown	1 4 Fog, Smog, Smoke 5 Sleet/Hail/ Freezing Rain 6 Blowing Sand, Soil Dirt 7 Severe Crosswinds 77 Other, Explain in Narrative	1 5 Oil 6 Mud, Dirt, Gravel 7 Sand 8 Water (standing/moving) 77 Other, Explain in Narrative 88 Unknown	1 1 No 2 Yes, School Bus Directly Involved 3 Yes, School Bus Indirectly Involved	 4 Sideswipe, same direction 5 Sideswipe, Opposite Direction 6 Rear to Side 7 Rear to Rear 77 Other, Explain in Narrative 88 Unknown
	1 Clear 2 Cloudy 3 Rain	1 Dry 2 Wet 4 Ice/Frost		1 Front to Rear 2 Front to Front 3 Angle

First Harmful Event	Non-Collision	Collision Non-Fixed Object	Collision with Fixed Object	First Harmful Event Location
15 1 No 2 Yes 88 Unknown	1 1 Overturn/Rollover 2 Fire/Explosion 3 Immersion 4 Jackknife 5 Cargo/Equipment Loss or Shift 6 Fell/Jumped From Motor Vehicle 7 Thrown or Falling Object 8 Ran int Water/Canal 9 Other Collision	1 10 Pedestrian 11 Pedalcycle 12 Railway vehicle (train, engine) 13 Animal 14 Motor Vehicle in Transport 15 Parked Motor Vehicle 16 Work Zone/Maintenance Equipment 17 Struck By Falling, Shifting Cargo 18 Other Non-Fixed Object	1 19 Impact Attenuator/Crash Cushion 20 Bridge Overhead Structure 21 Bridge Pier or Support 22 Bridge Rail 23 Culvert 24 Curb 25 Ditch 26 Embankment 27 Guardrail Face 28 Guardrail End 29 Cable Barrier	1 1 On Roadway 2 Off Roadway 3 Shoulder 4 Median 6 Gore 7 Separator 8 In Parking Lane or Zone 9 Outside Right-of-way 10 Roadside 88 Unknown

First Harmful Event Relation to Junction	Contributing Circumstances: Road	Contributing Circumstances: Environment
4 1 Non-Junction 2 Intersection 3 Intersection-Related 4 Driveway/Alley Access Related 5 Railway Grade Crossing 14 Entrance/Exit Ramp 15 Crossover - Related 16 Shared-Use of Path or Trail 17 Acceleration/Deceleration Lane 18 Through Roadway 77 Other, Explain in Narrative 88 Unknown	1 1 None 4 Work Zone (construction/maintenance/utility) 6 Shoulders (none, low, soft, high) 7 Rut, Holes, Bumps	1 9 Worn, Travel-Polished Surface 10 Road Surface Condition (wet, icy, snow, slush, etc.) 11 Obstruction in Roadway 12 Debris 13 Traffic Control Device Inoperative, Missing or Obscured 14 Non-Highway Work 77 Other, Explain in Narrative 88 Unknown

Work Zone Related	Crash in Work Zone	Type of Work Zone	Workers in Work Zone	Law Enforcement in Work Zone
1 1 No 2 Yes 88 Unknown	 1 Before the First Work Zone Warning Sign 2 Advance Warning Area 3 Transition Area 4 Activity Area 5 Termination Area	 1 Lane Closure 2 Lane Shift/Crossover 3 Work on Shoulder or Median 4 Intermittent or Moving Work 77 Other, Explain in Narrative	 1 No 2 Yes 88 Unknown	 1 No 2 Officer Present 3 Law Enforcement Vehicle Only Present

WITNESSES			
NAME	ADDRESS	CITY & STATE	ZIP CODE
NAME	ADDRESS	CITY & STATE	ZIP CODE
NAME	ADDRESS	CITY & STATE	ZIP CODE

NON VEHICLE PROPERTY DAMAGE								
VEH. #	PER #	PROPERTY DAMAGE - OTHER THAN VEH.	EST. AMT.	OWNER'S NAME	(CHECK IF BUSINESS)	ADDRESS	CITY & STATE	ZIP CODE
					<input type="checkbox"/>			
					<input type="checkbox"/>			

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VEHICLE # 1 Check if Commercial Reporting Agency Case Number 2017-053182 HSMV Crash Report Number 87419690

1 Vehicle in Transport 1 VEHICLE LICENSE NUMBER EDIN54 STATE FL REGISTRATION EXPIRES 05/12/2018 Check if Permanent Registration VIN 1FMNU43S1YEB85541

2 Parked Motor Vehicle 1 YEAR 2000 MAKE FORD MODEL E STYLE UTILITY COLOR BLUE - BLU DAMAGE: 1 Disabling 2 Functional 3 None 4 Minor 88 Unknown EST. AMOUNT \$100.00

3 Working Vehicle

Hit and Run: 1 No 2 Yes 88 Unknown

INSURANCE COMPANY (DRIVER) GEICO GENERAL INSURANCE INSURANCE POLICY NUMBER 4316679416 Towed due to Damage: 1 No 2 Yes VEHICLE REMOVED BY PARKED AT SCENE 1. Rotation 2. Owner Request 3. Driver 4. Other, Explain in Narrative 3

NAME OF VEHICLE OWNER (CHECK IF BUSINESS) VASSILIKI VASSO TZOUROUTIS CURRENT ADDRESS 501 6TH AVE N CITY & STATE ST PETERSBURG FL ZIP 33701

Trailer One: LICENSE NUMBER STATE REGISTRATION EXPIRES Check if Permanent Registration VIN YEAR MAKE LENGTH AXLES

Trailer Two: LICENSE NUMBER STATE REGISTRATION EXPIRES Check if Permanent Registration VIN YEAR MAKE LENGTH AXLES

VEHICLE TRAVELING: N S E W Off-Road Unknown ON STREET, ROAD, HIGHWAY 501 6TH AVE N AT EST. SPEED 5 POSTED SPEED 1 TOTAL LANES 1

HAZ. MAT. RELEASED: 1 No 2 Yes 88 Unknown HAZ. MAT. PLACARD: 1 No 2 Yes 88 Unknown NUMBER CLASS

MOTOR CARRIER NAME US DOT NUMBER

MOTOR CARRIER ADDRESS CITY STATE ZIP CODE PHONE NUMBER

Vehicle Body Type 16
 1 Passenger Car
 2 Passenger Van
 3 Pickup
 7 Motor Home
 8 Bus
 11 Motorcycle
 12 Moped
 13 All Terrain Vehicle (ATV)

Trafficway 1
 1 Two-Way, Not Divided
 2 Two-Way, Not Divided, with a Continuous Left Turn Lane
 3 Two-Way, Divided, Unprotected (painted >4 feet) Median
 4 Two-Way, Divided, Positive Median Barrier
 5 One-Way Trafficway
 88 Unknown

Commercial Motor Vehicle Configuration
 1 Vehicle 10,000 lbs or less Placarded for Hazardous Materials
 2 Single-Unit Truck (2-axle and GVWR more than 10,000 lbs (4,536 kg))
 3 Single-Unit Truck (3 or more axles)
 4 Truck Pulling Trailer(s)
 5 Truck Tractor (bobtail)
 6 Truck Tractor/Semi-Trailer
 7 Truck Tractor/Double Truck
 8 Tractor/Triples
 9 Truck more than 10,000 lbs (4,536 kg), Cannot Classify
 10 Bus/Large van (seats for 9-15 occupants, including driver)
 11 Bus (seats for more than 15 occupants, including driver)
 77 Other, Explain in Narrative
 88 Unknown

Trailer Type
 1 Single Semi Trailer
 2 Tandem Semi Trailer
 3 Tank Trailer
 4 Saddle Mount/Trailer
 5 Boat Trailer
 6 Utility Trailer
 7 House Trailer
 8 Pole Trailer
 9 Towed Vehicle
 10 Auto Transport
 77 Other, Explain in Narrative
 88 Unknown

Cargo Body Type
 1 No Cargo
 2 Bus
 3 Van/Enclosed Box
 4 Hopper
 5 Pole-Trailer
 6 Cargo Tank
 7 Flatbed
 8 Dump
 9 Concrete Mixer
 10 Auto Transport
 11 Garbage/Refuse
 12 Log
 13 Intermodal Container Chassis
 14 Vehicle Towing Another Vehicle
 15 Not Applicable (vehicle 10,000 lbs (4,536 kg) or less not displaying HM placard)
 77 Other, Explain in Narrative
 88 Unknown

Comm/Non-Commercial
 1 Interstate Carrier
 2 Intrastate Carrier
 3 Not in Commerce/Government
 4 Not in Commerce/Other Truck

Most Harmful Event 15
 Non-Collision
 1 Overturn/Rollover
 2 Fire/Explosion
 3 Immersion
 4 Jackknife
 5 Cargo/Equipment Loss or Shift
 6 Fell/Jumped From Motor Vehicle
 7 Thrown or Falling Object
 8 Ran into Water/Canal
 9 Other Non-Collision

Sequence of Events
 1st 15
 2nd
 3rd
 4th

[40-46 Sequence of Events only]
 40 equipment Failure (blown tire, brake failure, etc.)
 41 Separation of Units
 42 Ran Off Roadway, Right
 43 Ran Off Roadway, Left
 44 Cross Median
 45 Cross Centerline
 46 Downhill Runaway

Collision with Non-Fixed Object
 10 Pedestrian
 11 Bicycle
 12 Railway Vehicle (train, engine)
 13 Animal
 14 Motor Vehicle in Transport
 15 Parked Motor Vehicle
 16 Work Zone/Maintenance Equipment
 17 Struck By Falling, Shifting Cargo or Anything Set in Motion by Motor Vehicle
 18 Other Non-Fixed Object

Collision Fixed Object
 19 Impact Attenuator/Crash Cushion
 20 Bridge Overhead Structure
 21 Bridge Pier or Support
 22 Bridge Rail
 23 Culvert
 24 Curb
 25 Ditch
 26 Embankment
 27 Guardrail Face
 28 Guardrail End
 29 Cable Barrier
 30 Concrete Traffic Barrier
 31 Other Traffic Barrier
 32 Tree (standing)
 33 Utility Pole/Light Support
 34 Traffic Sign Support
 35 Traffic Signal Support
 36 Other Post, Pole, or Support
 37 Fence
 38 Mailbox
 39 Other Fixed Object (wall, building, tunnel, etc.)

Emergency Vehicle Use 1
 1 No
 2 Yes
 88 Unknown

Roadway Grade 1
 1 Level
 2 Hillcrest
 3 Uphill
 4 Downhill
 5 Sag (bottom)

Roadway Alignment 1
 1 Straight
 2 Curve Right
 3 Curve Left

Vehicle Maneuver Action 4
 1 Straight Ahead
 3 Turning Left
 4 Backing
 5 Turning Right
 6 Changing Lanes
 8 Parked
 10 Making U-Turn
 11 Overtaking/Passing
 13 Stopped in Traffic
 14 Slowing
 15 Negotiating a Curve
 16 Leaving Traffic Lane
 17 Entering Traffic Lane
 77 Other, Explain in Narrative
 88 Unknown

Traffic Control Device For This Vehicle 1
 1 No Controls
 4 School Zone Sign/Device
 5 Traffic Control Signal
 6 Stop Sign
 7 Yield Sign
 8 Flashing Signal
 9 Railway Crossing Device
 10 Person (including Flagman, Officer, Guard, etc.)
 77 Other, Explain in Narrative
 88 Unknown

Vehicle Defects 1
 1 None
 2 Brakes
 3 Tires
 4 Lights (head, signal, tail)
 6 Steering
 7 Wipers
 9 Exhaust System
 10 Body, Doors
 11 Power Train
 12 Suspension
 13 Wheels
 14 Window/Windshield
 15 Mirrors
 16 Truck Coupling
 17 Trailer Hitch/Safety Chains
 77 Other, Explain in Narrative
 88 Unknown

Special Function of Motor Vehicle 1
 1 No Special Function
 2 Farm Vehicle
 3 Police
 7 Taxi
 8 Military
 9 Ambulance
 10 Fire Truck
 11 Farm Labor Transport
 12 School Bus
 13 Transit/Commuter Bus
 14 Intercity Bus
 15 Charter/Tour Bus
 16 Shuttle Bus
 17 Farm Labor Bus
 88 Unknown

PERSON #	NAME OF VIOLATOR	FL STATUTE NUMBER	CHARGE	CITATION NUMBER
PERSON #	NAME OF VIOLATOR	FL STATUTE NUMBER	CHARGE	CITATION NUMBER
PERSON #	NAME OF VIOLATOR	FL STATUTE NUMBER	CHARGE	CITATION NUMBER

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PERSON # 1		Reporting Agency Case Number 2017-053182				HSMV Crash Report Number 87419690									
1 Driver 2 Non-Motorist 3 Passenger		VEHICLE # 1	NAME JOHN TZOUROUTIS			PHONE NUMBER			Check if Recommended Driver Re-exam <input type="checkbox"/>						
CURRENT ADDRESS (Number and Street) 501 6TH AVENUE NORTH					CITY & STATE ST PETERSBURG FL			ZIP CODE 33701							
DATE OF BIRTH 1/23/1941	SEX: 1 Male 2 Female 88 Unknown	DRIVERS LICENSE NUMBER T-263-460-41-022-0			STATE FL	EXPIRES 1/23/2019	INJURY SEVERITY (INJ) 1 None 2 Possible 3 Non-Incapacitating		4 Incapacitating 5 Fatal (within 30 days) 6 Non-Traffic Fatality						
DL Type 1 A 2 B 3 C 4 D/Chauffeur 5 E/Operator 6 E/Oper-Rest 7 None		Required Endorsements 1 Yes 2 No 3 No Req. Endorsement		DRIVER 1st 4 2nd 3rd 4th		Drivers Actions at Time of Crash 1 No Contribution Action 2 Operated MV in Careless or Negligent Manner 3 Failed to Yield Right-of-Way 4 Improper Backing 6 Improper Turn 10 Followed too Closely 11 Ran Red Light 12 Drove too Fast for Conditions 13 Ran Stop Sign 15 Improper Passing 17 Exceeded Posted Speed 21 Wrong Side of Wrong Way 25 Failed to Keep in Proper Lane 26 Ran off Roadway 27 Disregarded other Traffic Sign 28 Disregarded Other Road Markings 29 Over-Correcting/Over Steering 30 Swerved or Avoided : Due to Wind, Slippery Surface, MV, Object, Non-Motorist in Roadway, etc. 31 Operated MV in Erratic, Reckless or Aggressive Manner 77 Other Contributing Action		Condition At Time of 1 Apparently Normal 3 Asleep or Fatigued 5 Ill (sick) or Fainted 6 Seizure, Epilepsy, Blackout 7 Physically Impaired 8 Emotional (depression, angry, disturbed, etc.) 9 Under the Influence of Medications/Drugs/Alcohol 77 Other, Explain in Narrative 88 Unknown							
Driver Distracted By 1 Not Distracted 2 Electronic Communication Devices (cell phone, etc.) 3 Other Electronic Device (navigation device, DVD player)		4 Other inside the Vehicle (explain in narrative) 5 External Distraction (outside the vehicle, explain in narrative) 6 Texting 7 Inattentive 88 Unknown		DRIVER OR PASSENGER Motor Vehicle Seating Position: Seat Row Other 1 Left 1 Front 1 Not Applicable 2 Middle 2 Second 2 Sleeper Section of Truck Cab 3 Right 3 Third 3 Other Enclosed Cargo Area 77 Other (explain in narrative) 4 Fourth 4 Unenclosed Cargo Area 88 Unknown 77 Other Row 5 Trailing Unit 88 Unknown 88 Unknown 6 Riding on Motor Vehicle Exterior (non-trailing unit)		Helmet Use (HU) 1 DOT-Compliant Motorcycle Helmet 2 Other Helmet 3 No Helmet		Eye Protection (EP) 1 Yes 2 No 3 Not Applicable		3 Restraint Systems (RS) 1 Not Applicable (non-motorist) 2 None Used - Motor Vehicle Occupant 3 Shoulder and Lap Belt Used 4 Shoulder Belt Only Used 5 Lap Belt Only Used 6 Restraint Used - Type Unknown 7 Child Restraint System - Forward Facing 8 Child Restraint System - Rear Facing 9 Booster Seat 10 Child Restraint Type Unknown 77 Other, Explain in Narrative					
DRIVER VISION OBSTRUCTIONS 1 Vision Not Obscured 2 Inclement Weather 3 Parked/Stopped Vehicle 4 Trees/Crops/Bushes		5 Load on Vehicle 6 Building/Fixed Object 7 Signs/Billboards 8 Fog		9 Smoke 10 Glare 77 All Other, Explain in Narrative		DRIVER OR PASSENGER Air Bag Deployed 1 Not Applicable 2 Not Deployed 3 Deployed-Front 4 Deployed-Side 5 Deployed-Other (knee, air belt, etc.) 6 Deployed-Combination 7 Deployed-Curtain 88 Deployment Unknown		Ejection (EJECT) 1 Not Ejected 2 Ejected, Totally 3 Ejected, Partially 4 Not Applicable 88 Unknown		NON-MOTORIST Non-Motorist Description 1 Pedestrian 2 Other Pedestrian (wheelchair, person in a building, skater, pedestrian conveyance, etc.) 3 Bicyclist 4 Other Cyclist 5 Occupant of Motor Vehicle Not in Transport (parked, etc.) 6 Occupant of a Non-Motor Vehicle Transportation Device 7 Unknown Type of Non-Motorist Non-Motorist Location At Time of Crash 1 Intersection - Marked Crosswalk 2 Intersection - Unmarked Crosswalk 3 Intersection - Other/4 Midblock - Marked Crosswalk 4 Midblock - Marked Crosswalk 5 Travel Lane - Other Location 6 Bicycle Lane 7 Shoulder/Roadside 8 Sidewalk 9 Median/Crossing Island 10 Driveway Access 11 Shared-Use Path or Trail 12 Non-Trafficway Area 77 Other, Explain in Narrative 88 Unknown Action Prior to Crash 1 Crossing Roadway 2 Waiting to Cross Roadway 3 Walking/Cycling Along Roadway with Traffic (in or adjacent to travel lane) 4 Walking/Cycling Along Roadway Against Traffic (in or adjacent to travel lane) 5 Walking/Cycling on Sidewalk 6 In Roadway -- Other (working, playing, etc.) 7 Adjacent to Roadway (e.g., shoulder, median) 8 Going to or from School (K-12) 9 Working in Trafficway (incident response) 10 None 77 Other, Explain in Narrative 88 Unknown					
Safety Equipment 1 None 2 Helmet 3 Protective Pads Used (elbows, knees, shins, etc.) 4 Reflective Clothing (jacket, backpack, etc.)		5 Lighting 6 Not Applicable 77 Other, Explain in Narrative 88 Unknown		Non-Motorist Actions/Circumstances 1 No Improper Action 2 Dart/Dash 3 Failure to Yield Right-of-Way 4 Failure to Obey Traffic Signs, Signals, or Officer 5 In Roadway Improperly (standing, lying, working, playing) 6 Disabled Vehicle Related (working on, pushing, leaving/approaching)		7 Entering/Exiting Parked/Standing Vehicle 8 Inattentive (talking, eating, etc.) 9 Not Visible (dark clothing, no lighting, etc.)		10 Improper Turn/Merge 11 Improper Passing 12 Wrong-Way Riding or Walking 77 Other, Explain in Narrative 88 Unknown							
SUSPECTED ALCOHOL USE: 1 No 2 Yes 88 Unknown		ALCOHOL TESTED: 1 Test Not Given 2 Test Refused 3 Test Given 88 Unknown, if Tested		ALCOHOL TEST TYPE: 1 Blood 2 Breath 3 Urine 77 Other, Explain in Narrative		ALCOHOL TEST RESULT: 1 PENDING 2 COMPLETED 88 UNKNOWN		SUSPECTED DRUG USE: 1 No 2 Yes 88 Unknown		DRUG TESTED: 1 Test Not Given 2 Test Refused 3 Test Given 88 Unknown, if Tested		DRUG TEST TYPE: 1 Blood 3 Urine 77 Other, Explain in Narrative		DRUG TEST RESULT: 1 Positive 2 Negative 3 Pending 88 Unknown	
SOURCE OF TRANSPORT TO MEDICAL FACILITY 1 Not Transported 2 EMS 3 Law Enforcement 77 Other, Explain in Narrative		EMS AGENCY NAME OR ID		EMS RUN NUMBER		MEDICAL FACILITY TRANSPORTED TO									
ADDITIONAL PASSENGERS															
PERSON #	VEHICLE #	NAME	DATE OF BIRTH	INJ	SEX	LOC: S	R	O	EJECT	HU	EP	ABD	RS		
CURRENT ADDRESS (Number and Street)			CITY			STATE			ZIP CODE						
SOURCE OF TRANSPORT TO MEDICAL FACILITY 1 Not Transported 2 EMS 3 Law Enforcement 77 Other, Explain in Narrative 88 Unknown		EMS AGENCY NAME OR ID		EMS RUN NUMBER		MEDICAL FACILITY TRANSPORTED TO									
PERSON #	VEHICLE #	NAME	DATE OF BIRTH	INJ	SEX	LOC: S	R	O	EJECT	HU	EP	ABD	RS		
CURRENT ADDRESS (Number and Street)			CITY			STATE			ZIP CODE						
SOURCE OF TRANSPORT TO MEDICAL FACILITY 1 Not Transported 2 EMS 3 Law Enforcement 77 Other, Explain in Narrative 88 Unknown		EMS AGENCY NAME OR ID		EMS RUN NUMBER		MEDICAL FACILITY TRANSPORTED TO									

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NARRATIVE

Reporting Agency Case Number
2017-053182

HSMV Crash Report Number
87419690

v2 was parked along the south curb line of 6th ave n, facing east. v1 was parked in their driveway, 501 6th ave n. Veh1 proceeded to back out of the driveway and struck the driver's side of v2.

ADDITIONAL PASSENGERS

PERSON #	VEHICLE #	NAME	DATE OF BIRTH	INJ	SEX	LOC: S	R	O	EJECT	HU	EP	ABD	RS
----------	-----------	------	---------------	-----	-----	--------	---	---	-------	----	----	-----	----

CURRENT ADDRESS (Number and Street)	CITY	STATE	ZIP CODE
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SOURCE OF TRANSPORT TO MEDICAL FACILITY <small>1 Not Transported 2 EMS 3 Law Enforcement 77 Other, Explain in Narrative 88 Unknown</small>	EMS AGENCY NAME OR ID	EMS RUN NUMBER	MEDICAL FACILITY TRANSPORTED TO
---	-----------------------	----------------	---------------------------------

PERSON #	VEHICLE #	NAME	DATE OF BIRTH	INJ	SEX	LOC: S	R	O	EJECT	HU	EP	ABD	RS
----------	-----------	------	---------------	-----	-----	--------	---	---	-------	----	----	-----	----

CURRENT ADDRESS (Number and Street)	CITY	STATE	ZIP CODE
-------------------------------------	------	-------	----------

SOURCE OF TRANSPORT TO MEDICAL FACILITY <small>1 Not Transported 2 EMS 3 Law Enforcement 77 Other, Explain in Narrative 88 Unknown</small>	EMS AGENCY NAME OR ID	EMS RUN NUMBER	MEDICAL FACILITY TRANSPORTED TO
---	-----------------------	----------------	---------------------------------

ADDITIONAL VIOLATIONS

PERSON #	NAME OF VIOLATOR	FL STATUTE NUMBER	CHARGE	CITATION NUMBER
PERSON #	NAME OF VIOLATOR	FL STATUTE NUMBER	CHARGE	CITATION NUMBER

REPORTING OFFICER

ID/BADGE #	RANK	OFFICER NAME	DEPARTMENT	TYPE OF DEPT.
32424	OFC	J. PAULINA	ST. PETERSBURG POLICE DEPAR	POLICE DEPARTMENT

16

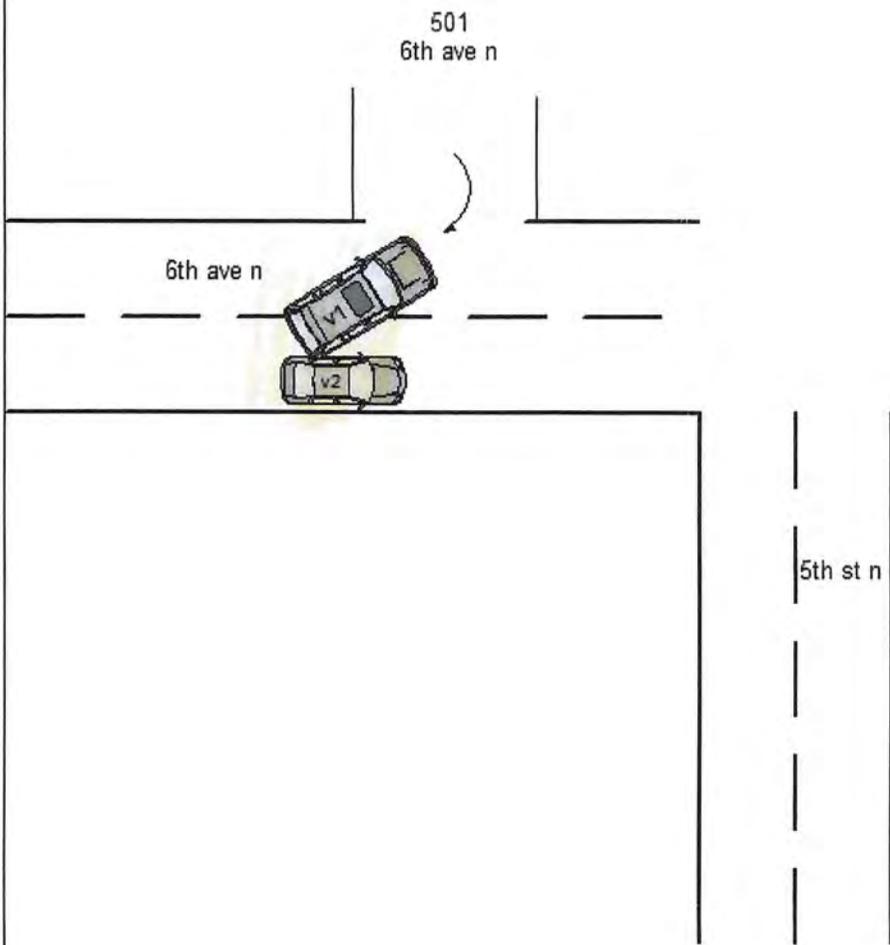
DIAGRAM

REPORTING AGENCY CASE NUMBER
2017-053182

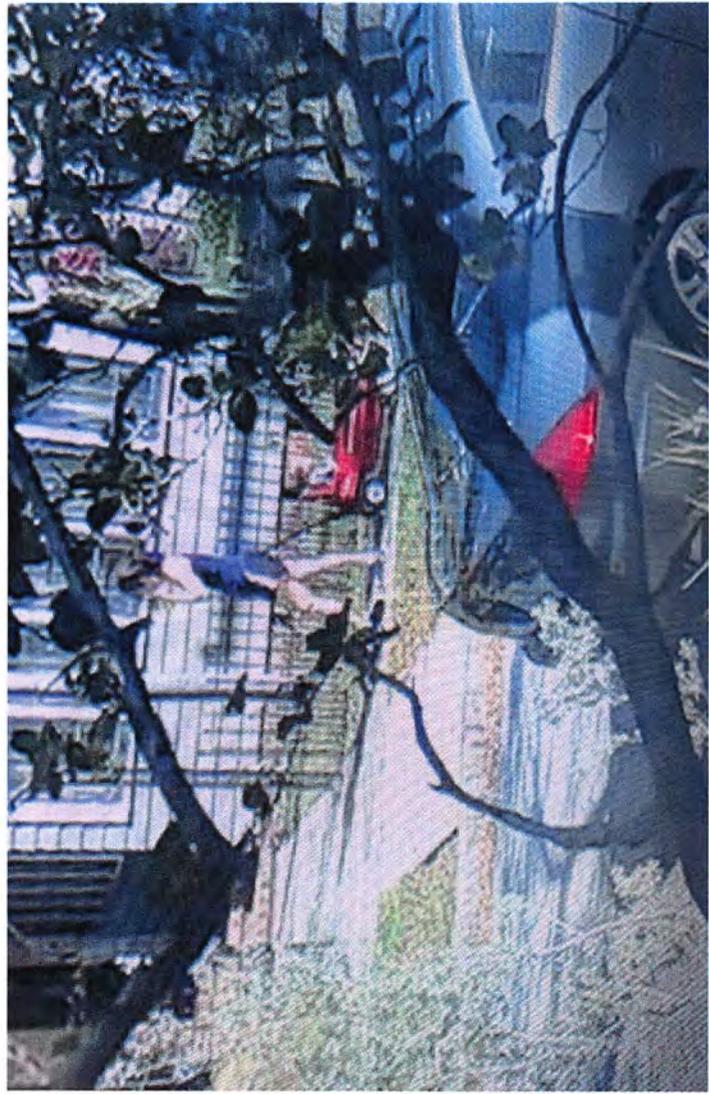
HSMV CRASH REPORT NUMBER
87419690



Not To Scale



17



19



20

Beth Eschenfelder, Ph.D.
Department of Communication
The University of Tampa
727-412-3957
betheschenfelder@gmail.com

----- Forwarded message -----

From: **Stacha Madsen** <stachamadsen@gmail.com>
Date: Mon, Feb 4, 2019 at 5:25 PM
Subject: Update
To: Beth Eschenfelder <betheschenfelder@gmail.com>

Hey Beth,

I chatted briefly with Rob today and he suggested I reach out to you. I wanted to update you about that tree, I will be having it removed with in the next week or so and also repairing the cracked sidewalk on the side over there. I'm also putting in a driveway which will help with the street parking. I'm having to fill out a variance because I'm so close to my front property line and she suggested to get a few neighbors signatures on it. Would you mind signing it? I'm meeting with mostly everyone else later tonight. If so, what time can I stop by?

My son just moved here, he's 19 I'm sure you'll see him around.

Your house is coming along nicely I really like what you did with the eaves.

Talk soon,
Stacha

→ IN ACCURATE INFO.

21



**CITY OF ST. PETERSBURG, FLORIDA
PLANNING & DEVELOPMENT SERVICES DEPT.
DEVELOPMENT REVIEW SERVICES DIVISION**

**APPEAL
STAFF REPORT
DEVELOPMENT REVIEW COMMISSION - VARIANCE REQUEST
PUBLIC HEARING**

**For Public Hearing and Executive Action on May 1, 2019 beginning at 2:00 P.M.,
Council Chambers, City Hall, 175 Fifth Street North, St. Petersburg, Florida**

According to Planning and Development Department records, **no Commission member** resides or has a place of business within 2,000 feet of the subject property. All other possible conflicts should be declared upon the announcement of the item.

CASE NO.: 19-54000016 **PLAT SHEET:** F-12

APPEAL: Appeal of a streamline approval of a variance to retain a 36-inch tall deck within the side yard setback and an increased decorative fence or wall height of 10-feet along a portion the deck.

APPELLANT: Ron Helinger
4201 Central Avenue
Saint Petersburg, Florida 33713

OWNER: Liset and Jeremy DuClut
300 Beach Drive Northeast, Unit 121
Saint Petersburg, FL 33701-3403

AGENT: David Hennessy and Hai N. Ha
QT Construction, Inc.
6200 49th Street North
Pinellas Park, Florida 33781

ADDRESS: 750 21st Avenue North

PARCEL ID: 07-31-17-84888-000-2420

ZONING: Neighborhood Traditional Single-Family-2 (NT-2)

Structure	Required	Requested	Variance	Magnitude
Accessory Living Area and Attached Garage				
Pool Deck	12" or Less in Height; or 5' Setback	36" in Height at Property Line	5' Reduced Setback; 24" of Height	100%, 300%

BACKGROUND: The subject property is located in the Crescent Lake Neighborhood and is described as Lot 242 of the Spring Hill Revised Subdivision. The parcel remains as platted in 1922. The lot is 50-foot wide and 114-foot deep. The lot is 1.8% substandard in area by NT-2 district standards. This lot lies between 742 21st Ave North to the East, 760 21st Ave North to the West, with a 16-foot platted Alley to the South. The property was approved on May 21, 2018 for a New Single-Family Residence with 3 bedrooms, 2-stories, a 2-car attached garage, and rear carport. The new home has a .60 Floor to Area Ratio (FAR) that includes a .40 base FAR and an allowable .20 of FAR bonuses. An Accessory Living Space was also approved on the property per on May 21, 2018 via permit 18-03000682. The property also has a .60 Impervious Surface Ratio (ISR) including the Accessory Living Space, pool, and paver deck. The maximum ISR in the district is .65.

The pool, pool equipment, and paver deck were included on the original site plan and within the development calculations, but these structures are required to obtain a separate permit for construction. Approval notes describe the pool as "inground" and fail to acknowledge the pool deck height. The submitted plans for the pool and pool deck include elevation points with significant discrepancies. On the North end of the pool deck, elevations show a change of 2.4-inches from the ground to the top of the deck. The South side of the pool deck shows a change of 3-feet from grade to the top of the pool deck. This mistake, putting the incorrect grades on the plan, is significant. The contractor and their subcontractors are required to show accurate information to represent the existing and finished product for the site. This discrepancy was missed by Staff during the over-the-counter review process. The pool construction was inadvertently given a permit on August 10, 2018.

Inspections for all permits on this lot were completed between May 28, 2018 and February 4, 2019. The project passed all inspections including a Site Maintenance Inspection on November 1, 2018 in response to complaints from neighbors that construction of the New Single-Family Home and accessory structures were causing damage to their fences and sidewalks. The first Temporary Certificate of Occupancy was issued by the City on December 27, 2018.

The neighbors have concerns regarding the damage the contractor has caused to their property and they continued to make complaints to the City. These reports indicate that the builder is on site too early or too late, and failure to fix broken fence panels on the shared property lines between 742 21st Ave N, and 760 21st Ave N. The affected parties report making calls to City Hall and Construction Services, but were told that the plans for the construction of each structure on the property were approved and permitted.

On February 13, 2019, Planning and Development Review Staff was made aware of the damage to the fences on either side of the property as well as acknowledged a formal complaint by the owners of the property at 760 21st Ave N regarding the pool deck. The height of the pool deck and its encroachment into the side yard abutting the property at 742 21st Ave N was also reported. An investigative inspection was immediately scheduled by Staff. On February 14, 2019, a Building Inspector visited the site and took pictures of the fence and pool deck. The circumstances

surrounding this case create an unusual field condition as the compliant pool deck would still give a perception of intrusion into the adjacent property as a result of the 3' grade differential between the two properties.

As a Condition of Approval for any New Single-Family Residence, and unrelated to the investigative inspection, Planning and Development Services Staff completed a Zoning Inspection on February 15, 2019. This is the first disapproval related to the structures on the property.

After the Disapproved Zoning Inspection, Staff was approached by QT Construction, the general contractor for the project. At this time, the contractor is given a variance application and requested a pre-application meeting for the variance.

On February 26, 2019, a Variance Pre-application meeting was attended by Jennifer Bryla and Jaime Jones of Development Review Services, and David Hennessy and Hai Ngh of QT Construction. At this meeting QT Construction requested an option for mitigation of impact of the over height pool deck to avoid tearing out the entire deck. It was explained and shown through pictures taken at the site that the problem of privacy is not solved by tearing out the deck. In the case of this property, no matter where you stand on the compliant deck at 750 21st Ave N, you can see into the back yard at 742 21st Ave N. The problem is exacerbated by the fact that 742 21st Ave N lies at a 3-foot lower elevation than 750 21st Ave N. In light of this, Staff believes that the least invasive solution they could support would be to allow a decorative barrier (fence or wall) to separate and obstruct the view of both parties, along a limited portion of the side yard, to allow for the occupants to have privacy. The increased height for the decorative barrier would only be allowed for the 30-foot section adjacent to the pool deck landing.

Staff then met with the tenant of 742 21st Ave N over the counter and explained that staff was aware of the issue of the incroachment into the setback with the pool deck. Staff also explained that the builder is pursuing a variance that staff felt was the least intrusive solution for both parties and could generally be supported by Staff. Staff went on to explain the appeal process, and the timeline for appeal.

The variance was filed with the City on March 8, 2019 which requested a 10' decorative fence/wall along a portion of the sideyard property line that would mitigate for the impacts of the deck intrusion into the side setback..

On March 22nd, 2019, the public notices were mailed out by the applicant. In response, the owner of the property at 742 21st Ave N, Ron Helinger, contacted Staff to ask for the original building plans and indicated that he is not in favor of any option that may decrease his property value.

On April 2, 2019, Staff hosted a meeting at the Municipal Services Center to solicit an agreeable solution between the affected property owners. In attendance at this meeting were David and Hai of QT Construction, Jeremy Duclut (owner of the new home at 750 21st Ave N), Ron Helinger, Jim Helinger (Mr. Ron Helinger's brother), Mr. Helinger's tenant, and one of the owners of 760 21st Ave N. The discussed solutions included possible re-design of the pool deck, which would require a tear out of the portion of the deck that is located in the sideyard setback. Other solutions discussed were additional landscaping along the side. All of these suggestions may not address the privacy issues between the two neighbors as the grade change still exists as discussed earlier. As the meeting adjourned, Mr. Helinger and Mr. Declut continued to discuss solutions and have met several times since in hopes of coming to some sort of compromise. To Staff's knowledge this has not yet occurred.

On April 4th, 2019, Mr. Ron Helinger filed an appeal to this streamline variance with the City Clerk's Office.

CONSISTENCY REVIEW COMMENTS: The Planning and Development Services Department staff reviewed this application in the context of the following criteria excerpted from the City Code and found that the requested variance is **consistent** with these standards. Per City Code Section 16.70.040.1.6: Variances, Generally, the DRC's decision shall be guided by the following factors:

1. *Special conditions exist which are peculiar to the land, building, or other structures for which the variance is sought and which do not apply generally to lands, buildings, or other structures in the same district. Special conditions to be considered shall include, but not be limited to, the following circumstances:*

a. *Redevelopment. If the site involves the redevelopment or utilization of an existing developed or partially developed site.*

This application does not involve a redevelopment.

b. *Substandard Lot(s). If the site involves the utilization of an existing legal nonconforming lot(s) which is smaller in width, length or area from the minimum lot requirements of the district.*

The subject lot is 50-feet wide and 114-feet deep. NT-2 zoning districts require 50-feet of width and 5,800 square feet of area. The lot is 1.8% substandard in area by NT-2 district standards.

c. *Preservation district. If the site contains a designated preservation district.*

The property is not within a preservation district.

d. *Historic Resources. If the site contains historical significance.*

There are no historic resources on the site.

e. *Significant vegetation or natural features. If the site contains significant vegetation or other natural features.*

There is no significant vegetation on the site.

f. *Neighborhood Character. If the proposed project promotes the established historic or traditional development pattern of a block face, including setbacks, building height, and other dimensional requirements.*

This criterion is not applicable. The existing pool deck and problems related to its height only affects residents at 742 21st Ave N. The proposed decorative fence would not be apparent to pedestrians or residents of the neighborhood.

-
- g. Public Facilities. If the proposed project involves the development of public parks, public facilities, schools, public utilities or hospitals.*

This criterion is not applicable.

2. *The special conditions existing are not the result of the actions of the applicant;*

The request for this variance is the result of two main factors. First, the newly constructed pool deck is two-feet taller than what is allowed by code as a direct result of inaccurate spot grades on the plans. Second, the height of the pool deck when removed from the setback, still allows for visual intrusion into the adjacent property because of the existing conditions on the site.

3. *Owing to the special conditions, a literal enforcement of this Chapter would result in unnecessary hardship;*

The literal enforcement of this chapter would result in the removal of the pool deck within a 5-foot setback of the shared property line with 742 21st Avenue North. This, in Staff's opinion would not provide the separation desired between the two properties because of the grade differential.

4. *Strict application of the provisions of this chapter would provide the applicant with no means for reasonable use of the land, buildings, or other structures;*

No, strict application of Chapter 16 would still allow the property owner reasonable use of their property.

5. *The variance requested is the minimum variance that will make possible the reasonable use of the land, building, or other structure;*

It is the opinion of Staff that the requested variance and conditions of approval would be the most narrowly tailored, wholistic, and least invasive option that Staff could support to solve the concern between the two involved properties.

6. *The granting of the variance will be in harmony with the general purpose and intent of this chapter;*

Staff believes this option to be consistent with the purpose and intent of the Code to accommodate reasonable use of property. This variance, and its conditions of approval would protect the right to privacy of both residents.

7. *The granting of the variance will not be injurious to neighboring properties or otherwise detrimental to the public welfare; and,*

A decorative fence or wall that is constructed to beautify both properties should not be detrimental to the neighboring property. This variance request will not have an affect on the public welfare.

8. *The reasons set forth in the application justify the granting of a variance;*

The reason set forth in the application points to only the financial justification for this variance. It is Staff's opinion that the cost in combination with the need for privacy for both residents does justify the need for a variance.

9. *No nonconforming use of neighboring lands, buildings, or other structures, legal or illegal, in the same district, and no permitted use of lands, buildings, or other structures in adjacent districts shall be considered as grounds for issuance of a variance permitting similar uses.*

No nonconforming uses, lands or structures on nearby properties were considered during the review of this variance request.

PUBLIC COMMENTS: The subject property is within the boundaries of the Crescent Lake Neighborhood Association.

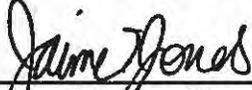
STAFF RECOMMENDATION: Based on a review of the application according to the stringent evaluation criteria contained within the City Code, and review of all the options to mitigate the current situation, the Planning and Development Department Staff recommends **APPROVAL** of the requested variance.

CONDITIONS OF APPROVAL: If the variance is approved consistent with the site plan submitted with this application, the Planning and Development Services Department Staff recommends that the approval shall be subject to the following:

1. The plans and elevations submitted for permitting should substantially resemble the plans and elevations submitted with this application.
2. An application to install a decorative fence or wall shall be submitted to zoning staff within 60 days.
3. A decorative fence or wall shall only have an increased height along the area directly abutting the top of the pool deck.
4. The increased height of the fence or wall shall consist of decorative elements approved by Planning and Development Services Staff.
5. This variance approval shall be valid through May 1, 2022. Substantial construction shall commence prior to this expiration date. A request for extension must be filed in writing prior to the expiration date.
6. Approval of this variance does not grant or imply other variances from the City Code or other applicable regulations.

ATTACHMENTS: Map, aerial, site plan, photographs, applicant's narrative, Neighborhood Participation Report

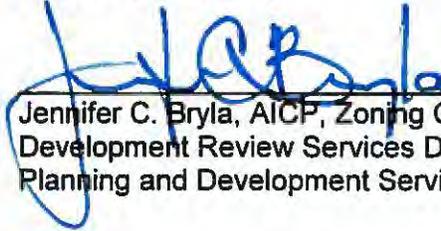
Report Prepared By:



4/24/19
Date

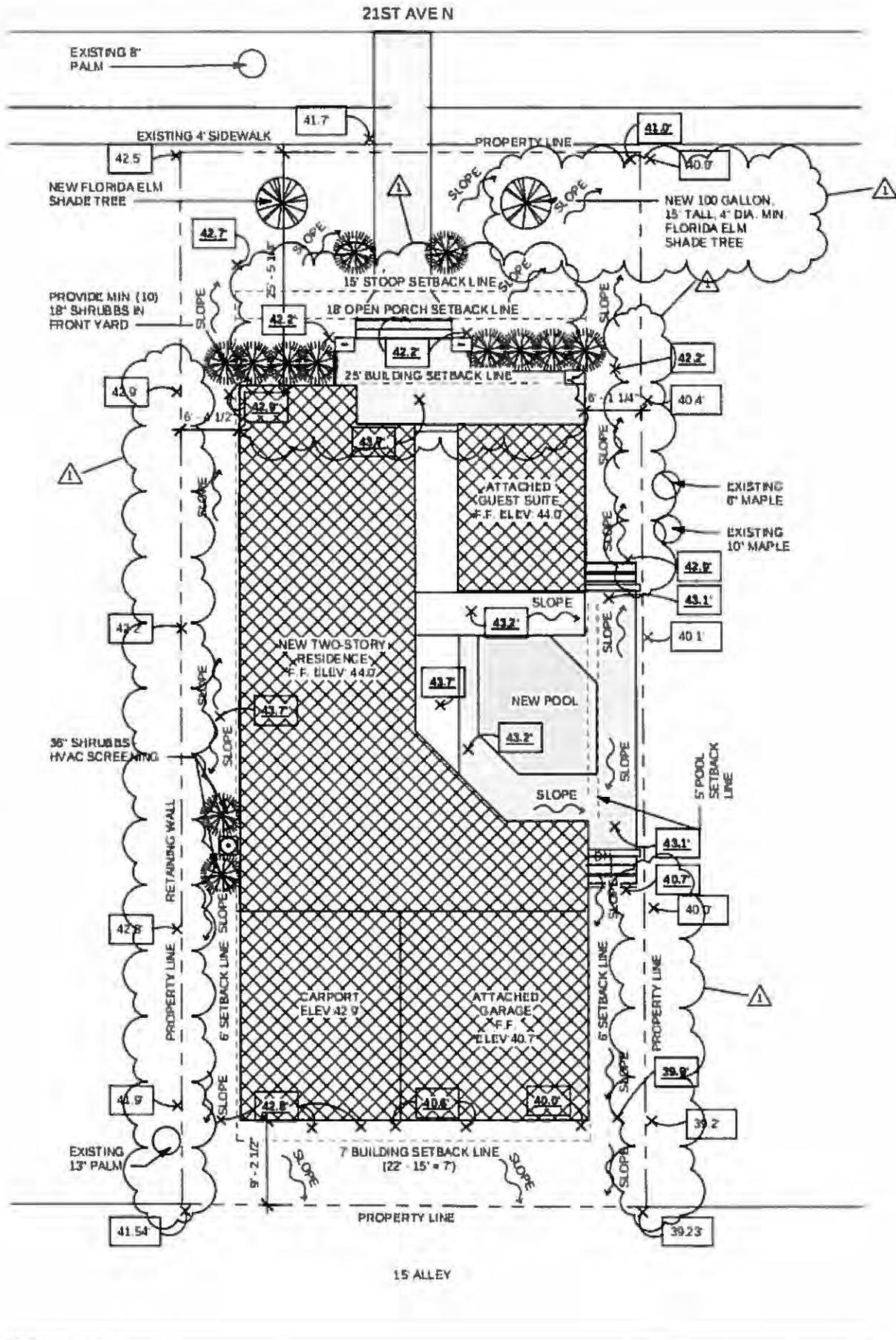
Jaime T Jones, Planner I
Development Review Services Division
Planning and Development Services Department

Report Approved By:



4.24.19
Date

Jennifer C. Bryla, AICP, Zoning Official (POD)
Development Review Services Division
Planning and Development Services Department





st.petersburg
www.stpete.org

Project Location Map
City of St. Petersburg, Florida
Planning and Development Services
Department

Case No.: 19-54000016
Address: 750 21st Avenue North



VARIANCE

NARRATIVE (PAGE 1)

All applications for a variance must provide justification for the requested variance(s) based on the criteria set forth by the City Code. It is recommended that the following responses be typed. Illegible handwritten responses will not be accepted. Responses may be provided as a separate letter, addressing each of the six criteria.

ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE	
Street Address: 750 21st Ave N, St. Petersburg	Case No.:
Detailed Description of Project and Request:	
Single family house. Request variance for deck's height and provide increased height fence to East Side of Property	
<p>1. What is unique about the size, shape, topography, or location of the subject property? How do these unique characteristics justify the requested variance?</p> <p>the plan was approved and followed. When the code violation was discovered by the zoning department at the end of the project, it would be very costly, time consuming and possibly effect the neighbor to readjust..</p>	
<p>2. Are there other properties in the immediate neighborhood that have already been developed or utilized in a similar way? If so, please provide addresses and a description of the specific signs or structures being referenced.</p> <p>Not that we know of.</p>	
<p>3. How is the requested variance not the result of actions of the applicant?</p> <p>We followed all procedure of planning review and inspection while making good-willed adjustment to follow the code. The end results involved errors from all parties. We want the variance to make all parties resolved</p>	



VARIANCE

NARRATIVE (PAGE 2)

All applications for a variance must provide justification for the requested variance(s) based on the criteria set forth by the City Code. It is recommended that the following responses be typed. Illegible handwritten responses will not be accepted. Responses may be provided as a separate letter, addressing each of the six criteria.

ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE

4. How is the requested variance the minimum necessary to make reasonable use of the property? In what ways will granting the requested variance enhance the character of the neighborhood?

If the request is denied demolition will be required which can effect the structural integrity of the initial design for newly constructed residential.

The request will allow a new fence for the neighbor on the East side while does not effect the visual of the neighborhood. Variance change will not be visual from outside

5. What other alternatives have been considered that do not require a variance? Why are these alternatives unacceptable?

Demolition is not an option due to the financial burden it will place on the owner

6. In what ways will granting the requested variance enhance the character of the neighborhood?

Granting of variance show the goodwill and allow a new and beautiful house which enhance the value of the neighborhood.

3/7/2019

HIS Cabinetry Inc Mail - Notice for Variance Application - 750 21st Ave N, St. Pete



Hai Ha <hai@homesbyqt.com>

Notice for Variance Application - 750 21st Ave N, St. Pete

2 messages

Hai NgH <hai@homesbyqt.com>

Thu, Mar 7, 2019 at 11:46 AM

To: info@clnastpete.org, lisset@thelawyersolution.com

Lisset,

I am from the contractor for the property 750 21st Ave N, PID: 07-31-17-84888-000-2420

Please notify the neighborhood and if they have any questions they can contact City of St. Petersburg Building Department at 1 4th St N.

Please confirm that the notifications will be sent out.

Regards

-

Hai,

QT Homes

C: 267 437 6734

M: hai@homesbyqt.com

 Pinellas County Property Appraiser.pdf
456K

Lisset Hanewicz <info@clnastpete.org>

Thu, Mar 7, 2019 at 12:21 PM

To: Clnastpete Info <info@clnastpete.org>

Cc: Hai NgH <hai@homesbyqt.com>

Crescent Lakers,

FYI - variance application.

Lisset Hanewicz, President
Crescent Lake Neighborhood Association

3/7/2019

HIS Cabinetry Inc Mail - Notice for Variance Application - 750 21st Ave N, St. Pete

Begin forwarded message:

[Quoted text hidden]



Pinellas County Property Appraiser.pdf

456K

Jaime T. Jones

From: Leslie Craig <gallagherleslie@hotmail.com>
Sent: Wednesday, March 13, 2019 8:49 AM
To: Jaime T. Jones
Subject: Variance 750 21st AVE N

Hi Jaime,

I have some questions about the variance request for 750 21st AVE N.

1. Should we be expecting notification by mail? I live next door and received an email from the Neighborhood Association that included the variance request as an attachment. The paperwork indicated that all neighbors within 200 feet would receive the variance request by mail within 7 days. It has now been 6 days and that has not happened. I am also concerned that many of my neighbors are not on the neighborhood association email list so they may not be aware.
2. What is the timeline for responses from neighbors and for decision by the City? It is not clear and I know that many neighbors are concerned about this request.
3. What is the height of the fence they are requesting? As written, it just says "increased fence height". Does this give them the ability to put in any fence height that they consider appropriate? The variance request indicates that these modifications will not be visible from off of the property. Certainly a fence height in excess of the current limits would not meet that standard.
4. Will the City be requesting a visit or photos? It does not appear that photos were included with the variance request. I think it would be very hard for someone to approve this variance request if they saw the deck and how it encroaches upon the adjacent neighbor.
5. Not a question but information. This contractor has not acted in the best interests of the neighbors or neighborhood throughout the entirety of his operations. I simply do not believe that he did not know that the above grade deck and encroachment was unpermissible given that so many people walking by during construction would stare at it and puzzle about how it could have possibly gotten permitted. We aren't contractors - he is. He is not a good faith actor, despite the statements in his variance request. 1.) He damaged our fence in multiple places during demolition (last spring) and continually through construction. Despite our repeated requests for him to let us know how it would be addressed, he repeatedly gave false dates and ultimately told me to "quit bitching at him" despite the fact that months would go by between our inquiries. He repeatedly indicated that it would make no sense for him to fix our fence when their activities may just cause more damage. He has now stabilized our fence but it is still broken in several places. (We have both video and images of the damage occurring.) 2.) He damaged our vegetation, on our property, in the front of our home. Despite repeated promises, he never addressed it. Months later, I eventually trimmed back the vegetation and luckily, only a small portion of the plants have died. 3.) He parked a large garbage dumpster in the street, overflowing with trash, in front of our home during the entire month of December - right through the holidays. We repeatedly picked up garbage that was flying out into the street. After several calls to the City, I was eventually told that this was a right of way/street violation. This was the same day that he finally had it removed. Certainly a contractor knows those rules. 4.) He did not maintain the sediment barriers around the home - either on our side of the property or behind. I am sure this is part of the reason why our fence was damaged. Evidence of some of the sediment/sand that poured down the back alley can be seen pooled up near Crescent Lake Drive. This will all end up in our storm water system. 5.) He habitually had construction crews at the house before allowable hours - especially on weekends when they arrived on multiple occasions before 7 a.m. and constantly

before 8-9 a.m. 6.) When he did not have the dumpster at the house, he would allow trash to pile up in front of the construction site. We have been planning to compile all of this information and submit it to the contractor licensing board.

While the new neighbors seem like very nice people and I hope that they will incur not financial implications of having been led astray by their contractor, we do plan to object to this variance and want to make sure that we know the appropriate way to do so. It is ridiculous that a contractor can make such an obvious and egregious building error and then be granted a variance to allow them to move on.

Thank you for any direction that you can provide.

Leslie



**CITY OF ST. PETERSBURG
PLANNING AND DEVELOPMENT SERVICES
DEPARTMENT
DEVELOPMENT REVIEW SERVICES DIVISION
DEVELOPMENT REVIEW COMMISSION
STAFF REPORT**

**LOT REFACING
PUBLIC HEARING**

According to Development Review Services Division records, **no Commission member** resides or has a place of business within 2,000 feet of the subject property. All other possible conflicts should be declared upon the announcement of the item.

REPORT TO THE DEVELOPMENT REVIEW COMMISSION FROM DEVELOPMENT REVIEW SERVICES DIVISION, DEPARTMENT OF PLANNING AND DEVELOPMENT SERVICES, for Public Hearing and Executive Action on May 1, 2019 at 2:00 P.M. in Council Chambers, City Hall, 175 Fifth Street North, St. Petersburg, Florida.

CASE NO.: 19-12000001 PLAT SHEET: F-15

REQUEST: Approval of a lot refacing with a variance to the criteria that the lot dimensions be consistent with the established neighborhood pattern; a variance to the front setbacks from 25-feet required on the eastern lot to 13.9-feet and on the western lot to 6.5 feet; and a variance to the design requirements that an elevated front porch be provided on the front of the eastern lot and that the principal entry shall include a porch, portico or stoop elevated at least 12 inches above the existing finished grade on the western lot.

OWNER: A F D 15, LLC
11422 77th Avenue, Unit 354
Seminole, Florida 33772

ADDRESSES AND PARCEL ID NOS.: 2833 6th Street South; 31-31-17-62460-000-0520
2847 6th Street South; 31-31-17-62460-000-0530

LEGAL DESCRIPTION: On File

ZONING: Neighborhood Traditional Single-Family (NT-1)

The Request: The applicant is requesting approval of a lot refacing with a variance to the Lot Refacing criteria that the lot dimensions be consistent with the established neighborhood pattern; a variance to the front setbacks from 25-feet required on the eastern lot to 13.91-feet and on the western lot to 6.50-feet; and a variance to the design requirements that an elevated

front porch be provided on the front of the eastern lot and that the principal entry shall include a porch, portico or stoop elevated at least 12 inches above the existing finished grade on the western lot in order to separate the lots.

Background and Discussion: The subject property consists of two platted lots of record, Lots 52 and Lot 53 of the Oak Harbor Subdivision, platted in 1923, see Attachment D. The subject lots as platted are consistent with the criteria for a minimum lot area of 4,500 square feet and a minimum lot width of 45-feet in the NT-1 zoning district. Each of these platted lots facing 6th Street South is 45-feet in width and 110-feet deep, giving them a lot area of 4,950 square feet. Other lots facing north and south in this subdivision are mostly 45-feet in width 127-feet in depth, these lots have a lot area of 5,715 square feet. Within the subject block, four of the 15 parcels are greater in area and width, as two lots or a lot plus a portion of another lot have been combined.

The area to the west of 6th Street South is within the Taylors Subdivision Plat in 2011. Typical lot size in Lots along 6th street in that plat is 60-feet by 127.5-feet for a lot area of 7,650 square feet.

Jacqueline Klotz acquired the property June 5, 2017 and then subsequently deeded the lots to AFD 15, LLC, she is the manager of this Florida Corporation.

There are two buildings on the southern lot (Lot 53), the primary structure is the western structure with an address of 2847 6th Street South and the secondary structure is addressed as 2847 1/2 6th Street South. According to the City's Property Card record, both structures were permitted at the same time in 1938 and located solely on Lot 53, see Property Card, Attachment E. The primary structure was a 24-foot by 36-foot six room residence, and the secondary structure was permitted as a 24-foot by 20-foot three room apartment over a two-car garage with laundry.

According to the Pinellas County Property Appraiser the structures on Lot 53 consist of a one-story primary structure with an enclosed area of 816 square feet and a semi-finished area of 140 square feet, and a secondary structure consisting of a utility area of 480 square feet and an open porch of 180 square feet on the first floor and a second floor consisting of 480 feet of finished area and 180 square feet of semi-finished area. See Attachment F which shows the building area information from the Property Appraiser.

In 1999 a permit was pulled to repair siding and to replace windows and doors, this appears to be on the primary structure, and in 2002 a permit was acquired to replace a bay window with a door on the side of the structure facing 29th Avenue South. In 2004 a permit was issued for a second story room addition on the right front of the secondary structure. In 2017 permits were pulled for HVAC on both structures.

The front of the primary structure faces 6th Street South, see Survey provided by Applicant – Attachment G. These lots if refaced will have their legal front yards facing 29th Avenue South. There is only 8.2 feet between the two structures, which is what is determining the proposed new parcel lines. The applicant has agreed to remove the porch on the rear of the primary structure, so that both buildings can meet the required interior yard setbacks. With that rear addition removed the interior side yard setbacks will be 6.30-feet on the eastern proposed lot and 6.85-feet on the western proposed lot.

This refacing would require variances to the front setbacks required on both lots, from 25-feet required to 6.5-feet on the eastern lot and 13.9-feet on the western lot.

The design variances for both structures are related to the requirement for a porch. Per City Code Section 16.20.010.11. - Building and site design:

Principal entries shall include a porch, portico or stoop, with a minimum usable depth of six feet (measured from the front façade of the structure to the interior side of the railing or, if there is no railing, the furthest edge of the floor) and 48 square feet of total floor area, excluding a three-foot wide walkway to the primary entrance and the floor area of any column. Where a railing exists, only the floor area within the interior side of the railing shall count towards the minimum floor area.

The eastern lot has an enclosed porch on the east side of the subject property, with refacing this will become the street side yard. No porch is proposed on the new front for the eastern lot. The western lot has an open area with a concrete slab that could be used as a porch, but this is located behind the primary entrance to the building.

The subject property is within the boundaries of the South St. Petersburg Redevelopment Area (CRA). The South St. Petersburg CRA was established to promote reinvestment in housing and neighborhoods, commercial corridors, business development, education and workforce development and non-profit capacity building within the South St. Petersburg CRA. Affordable housing is serious concern in South St. Petersburg, where 55 percent of all households and 73 percent of renters pay more than 30 percent of their income for housing costs.

A goal from the Housing element of the Comprehensive Plan is to facilitate the provision of decent, safe, sanitary, healthy and affordable housing in suitable neighborhoods at affordable costs to meet the needs of the present and future residents of the city, while preserving and enhancing the community's physical and social fabric, and cultural diversity, and while protecting the interests of special needs groups, and extremely low, very low, low, and moderate-income households.

This proposed lot refacing could provide single-family homeownership opportunities for low-to-moderate income residents.

Variances Requested:

	Required	Requested	Variance	Magnitude
Lot Dimensions, Setbacks and Design Requirements				
Lot Dimensions Consistent with Neighborhood Pattern	Lots are rectangular and have consistent width along the side property lines	Lots to be of varying width from front to back	N/A	N/A
Front Setbacks Eastern Lot	25-feet	13.9-feet	16.1-feet	64.4%
Front Setbacks Western Lot	25-feet	6.5-feet	18.5-feet	74.0%
Design Requirements - Elevated Front Porch on the Eastern Lot	Elevated Front Porch	No Front Porch	N/A	N/A

Design Requirements - Principal Entry Shall Include a porch, portico or stoop elevated at least 12 inches above the existing finished grade on the Western Lot	Porch Portico or Stoop at least 12 inches above the existing finished grade	Porch not elevated 12 inches	N/A	N/A
---	--	-------------------------------------	------------	------------

Lot Line Adjustment Consistency Review Comments: In reviewing an application, the POD, DRC or City Council shall consider the following criteria:

1. *Applications for a lot refacing shall, at a minimum, include two platted lots.*

This application includes two platted lots.

2. *In the NT and NS zoning districts, no refacing from a local street to a collector or arterial, or through street, as shown on the major street map, shall be approved.*

The request is to reface these lots to face 29th Avenue South. 29th Avenue South is not a collector or arterial street. There is no definition in the current code of through streets, 29th Avenue South extends from 5th Street South to 8th Street South.

3. *No lot having less area than the smallest of the lots included in the application shall be created.*

Each proposed lot will have the same lot area as the existing platted lots of 4950 square feet.

4. *Easements for public utilities, storm drainage, and corner right-of-way easements shall be provided as required. The applicant shall pay any costs of utility adjustments, extensions, relocations, and connections.*

These conditions have been addressed through the suggested conditions of approval at the end of this report.

5. *Any unpaid outstanding liens and assessments owed to the City shall be satisfied as a condition of lot refacing.*

This condition has been addressed through the suggested conditions of approval at the end of this report.

6. *Consistency with the established neighborhood pattern shall be maintained, including lot dimensions, utility and parking functions, alley access, and sanitation services.*

Lot width of the existing lots is 45-feet. Lot width will vary on each of the newly created lots, from 62-feet in the front half to 48-feet in the rear half of the eastern lot and 48-feet in the front half and 62-feet in the rear half of the western lot.

While there are lots of the same widths as the subject lots, there are no other lots of this configuration.

As for lots which face in other directions from the platted pattern, there are three parcels on the other side of 6th Street South, which have been divided from one lot and now face 6th Street rather than 28th Avenue as originally platted in the adjacent block. In the block to the north of that block there are also four other lots which have been reconfigured from their original platted pattern.

Public sanitary sewer service is located within the alley to the west of the proposed lots. A Private Utility Easement will be required over the service lateral which must be located on the western lot, to serve the eastern lot. It is possible that this area may be within the area shown as a Private Ingress Egress and Utility Easement on the proposed site plan.

Alley access for parking and for sanitation services will be ensured through a Private Ingress/Egress and Utility Easement over the western proposed lot to the eastern proposed lot, which is noted as a condition of approval.

Variance Consistency Review Comments: The Planning & Development Services Department staff reviewed this application in the context of the following criteria excerpted from the City Code and found that the requested variance is **consistent** with these standards. Per City Code Section 16.70.040.1.6 Variances, Generally, the DRC's decision shall be guided by the following factors:

1. *Special conditions exist which are peculiar to the land, building, or other structures for which the variance is sought and which do not apply generally to lands, buildings, or other structures in the same district. Special conditions to be considered shall include, but not be limited to, the following circumstances:*

a. *Redevelopment. If the site involves the redevelopment or utilization of an existing developed or partially developed site.*

This site is fully developed with a primary structure and a secondary structure.

b. *Substandard Lot(s). If the site involves the utilization of an existing legal nonconforming lot(s) which is smaller in width, length or area from the minimum lot requirements of the district.*

The subject lots as platted are consistent with the criteria for lot area of 4,500 square feet and lot width of 45-feet in the NT-1 zoning district. Each platted lot is 45-feet in width and 110-feet deep, giving them a lot area of 4,950 square feet.

c. *Preservation district. If the site contains a designated preservation district.*

This criterion is not applicable to this site as this is not a preservation district.

d. *Historic Resources. If the site contains historical significance.*

This criterion is not applicable to this site, as this site contains no designated historic structures.

e. *Significant vegetation or natural features. If the site contains significant vegetation or other natural features.*

This criterion is not applicable as this site does not contain significant vegetation.

- f. *Neighborhood Character. If the proposed project promotes the established historic or traditional development pattern of a block face, including setbacks, building height, and other dimensional requirements.*

This request will be compatible with the neighborhood character, as the majority of the lots on 29th Avenue South face the Avenue.

- g. *Public Facilities. If the proposed project involves the development of public parks, public facilities, schools, public utilities or hospitals.*

This criterion is not applicable, as this site does not involve public lands.

2. *The special conditions existing are not the result of the actions of the applicant;*

The applicant could continue to use the two lots for a primary structure and a secondary structure as developed. The request to reface the lots is the result of the actions of the applicant.

One principal unit and one accessory unit per lot are allowed by right if the lot area is at least 5,800 square feet. Because Lot 52 and Lot 53 are in common ownership, and there was grandfathered density on Lot 53, these lots cannot be split if there continues to be a principal unit and an accessory unit as this would not meet the minimum lot area requirement for the principal and accessory unit. There is a proposal under consideration to change the minimum lot area for a principal unit and an accessory unit to 4,500 square feet.

The lot refacing approval would allow the lots to be split as the minimum lot area required for a principal dwelling unit is 4,500 square feet. The lot refacing would require variances to the Lot Refacing criteria in the subdivision regulations and to the setbacks and design requirements of the NT-1 zoning district.

3. *Owing to the special conditions, a literal enforcement of this Chapter would result in unnecessary hardship;*

A literal enforcement of this Chapter would not result in unnecessary hardship. The applicant could continue to use the property as it currently exists.

4. *Strict application of the provisions of this chapter would provide the applicant with no means for reasonable use of the land, buildings, or other structures;*

A literal application of this Code does not deprive this property owner of rights that others of similar lot size or zoning enjoy.

5. *The variance requested is the minimum variance that will make possible the reasonable use of the land, building, or other structure;*

This variance request is reasonable, with the conditions of approval suggested to mitigate the impacts.

6. *The granting of the variance will be in harmony with the general purpose and intent of this chapter;*

The granting of these variances would accommodate reasonable use of the property. It is consistent with the policies in the South St. Petersburg CRA and Housing Element of the Comprehensive Plan to provide opportunities for home-ownership, as dividing these lots should ensure a lesser price for a single-family property.

There is no compelling public benefit in the denial of the variance.

7. *The granting of the variance will not be injurious to neighboring properties or otherwise detrimental to the public welfare; and,*

The granting of the variance will not be injurious to neighboring properties or otherwise detrimental to the public welfare with the suggested conditions of approval. The most affected property is Lot 51 to the north of the subject lots which would potentially have two rear yards adjacent to their interior side yard. This impact could be mitigated by a greater rear yard setback of 20-feet on these proposed lots, especially considering the front yard setback variances requested.

8. *The reasons set forth in the application justify the granting of a variance;*

The reasons set forth in the application justify the granting of a variance, with the suggested conditions of approval.

9. *No nonconforming use of neighboring lands, buildings, or other structures, legal or illegal, in the same district, and no permitted use of lands, buildings, or other structures in adjacent districts shall be considered as grounds for issuance of a variance permitting similar uses.*

These factors have not been considered.

Public Comments: The subject property is within the boundaries of the Harbordale Neighborhood Association. The Harbordale Neighborhood Association signed the application noting that the proposal was supported. The applicant also provided signatures of four people on the Neighborhood Worksheet. No calls or emails were received in response to the notice.

The applicant has provided the required Public Notice to properties within 200-feet of the subject parcels.

This application was routed to City Departments and private utility providers. The City's Engineering Department has Special Conditions of Approval which have been added as a condition below. The City is still awaiting comment from Bright House. All other City Departments and private utility providers had no objection.

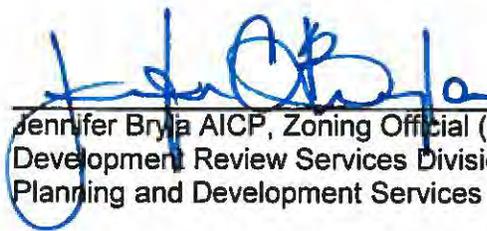
Staff Recommendation: Based on a review of the application according to the stringent evaluation criteria contained within the City Code, staff recommends **APPROVAL** of the requested variances and of the Lot Refacing subject to the following conditions:

1. Meet the requirements of the Engineering Memorandum dated April 8, 2019.
2. Prior to splitting the parcels, provide the City with a recorded Private Ingress Egress and Utility Easement covering the area required in the Engineering Memorandum and located adjacent to the rear lot line of the new western parcel, the minimum width to be 10-feet.
3. Prior to splitting the parcels, existing public sidewalks shall be repaired to City standards, including the ADA compliance features outlined in the Engineering Memorandum.
4. Prior to splitting the parcels required parking must be provided on each new parcel in compliance with the regulations in Sections 16.10.020.1 and 16.040.90.
5. Prior to splitting the parcels obtain a permit and remove the existing covered porch on the western side of the primary structure on the eastern proposed parcel. Any stairs and stoop required to access this side of the building shall meet the required interior side yard setback. Permitted work to be completed and permit properly closed out.
6. Prior to splitting the parcels, obtain an after the fact permit for work on the primary structure for the change out of windows and doors on the porch, if required by the City's Construction Services and Permitting Division. Permitted work to be completed and permit properly closed out.
7. Prior to splitting the parcels, the applicant shall provide a decorative porch railing on the existing patio of the secondary structure.
8. Prior to splitting the parcels, any outstanding liens, assessments or property taxes shall be paid.
9. Prior to splitting the parcels, obtain a letter of no objection from Bright House /Charter Communications.
10. This variance approval shall be valid through May 1, 2022. A request for extension must be filed in writing prior to the expiration date.
11. A copy of the recorded deed(s) indicating the legal exchange of property has taken place shall be submitted to Development Services.
12. A new parcel I.D. must be obtained before zoning approval for further development on either lot.
13. Rear yard setbacks on the new lots shall be a minimum of 10-feet greater than those required in the zoning district requirements in 16.20.010.6 and the allowable encroachments in Section 16.60.050.2. shall include this 10-feet.
14. Approval of this variance does not grant or imply other variances from the City Code or other applicable regulations.

REPORT PREPARED BY:

 4/23/19
Kathryn A. Younkin, AICP, LEED AP BD+C DATE
Development Review Services Division
Planning and Development Services Department

FOR:

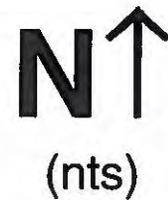
 4.23.19
Jennifer Bryja AICP, Zoning Official (POD) DATE
Development Review Services Division
Planning and Development Services Department

ATTACHMENTS: A – Parcel Map, B - Aerial, C - Close-up aerial, D – Underlying Plats, E – Property Record Card, F – Building Footprints, G - Survey, H – Application, I - Photos, J- Engineering Memorandum Dated April 8, 2019, Exhibit "A" Sketch and Description of Parcels to be created



st.petersburg
www.stpete.org

Attachment A - Parcel
 City of St. Petersburg, Florida
 Planning and Development Services
 Department
 Case No.: 19-12000001
 Address: 2833 and 2847 6th Street South



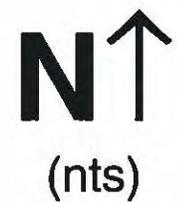


Attachment B - Aerial
City of St. Petersburg, Florida
Planning and Development Services
Department
Case No.: 19-12000001
Address: 2833 and 2847 6th Street South



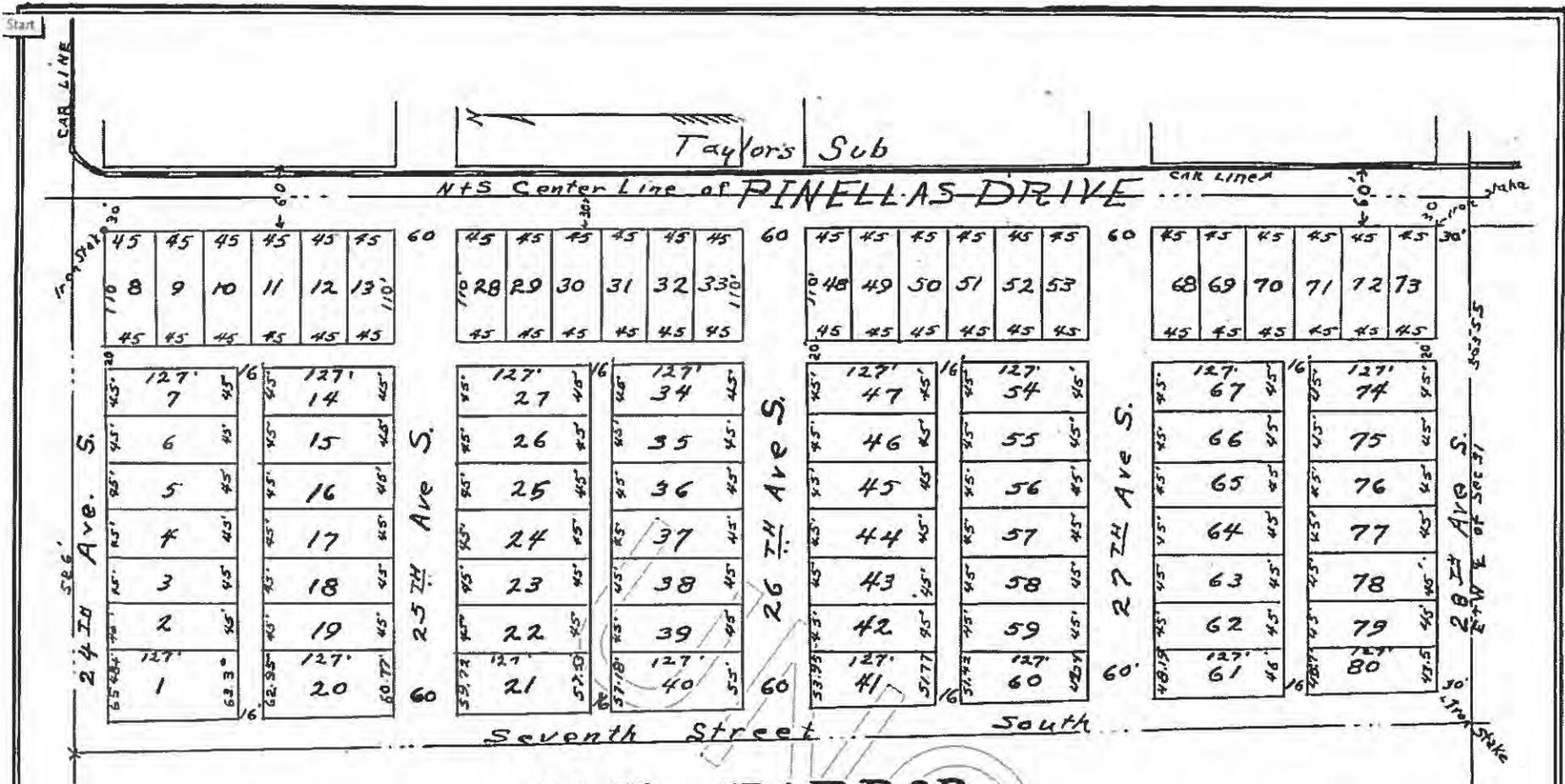


Attachment C – Aerial Closeup
City of St. Petersburg, Florida
Planning and Development Services
Department
Case No.: 19-12000001
Address: 2833 and 2847 6th Street South



Attachment D

Plats of Oak Harbor Subdivision and Taylor Subdivision



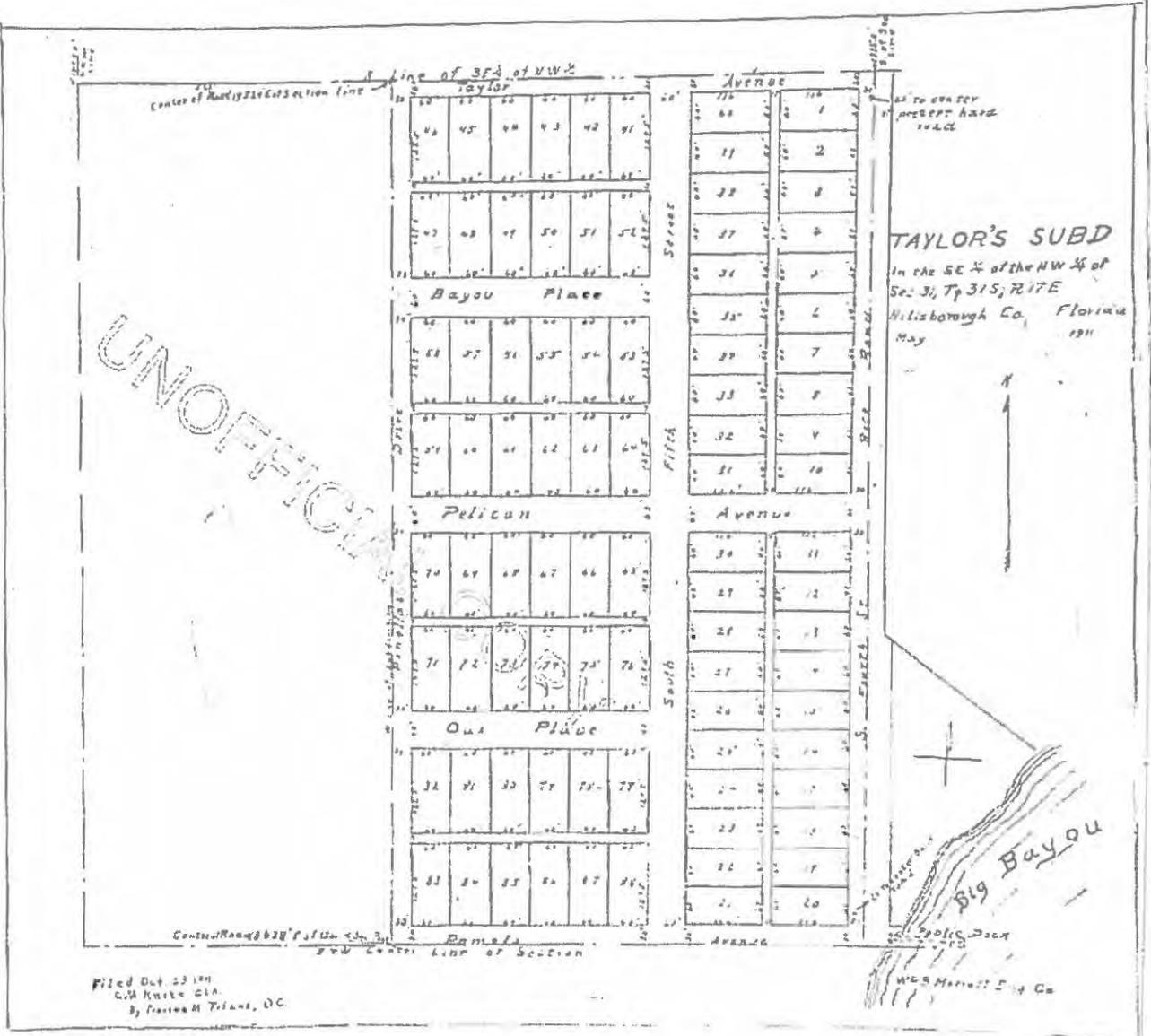
A subdivision of all that part of the SE 1/4 of the NW 1/4 of Sec 31, T₃₁S, R. 17E.
 lying W. of the Center Line of Pinellas Drive as shown on the plat of Taylor's Sub

Filed for record, March 7, 1923, 8:45 A.M.
 J. N. Brown, Clerk
 Grace Pfeifferworth, D.S.

H. S. McNeill
 County Surveyor

Note - This Map filed to correct error
 of Description in Map filed Feb. 16, 1923

UNOFFICIAL



TAYLOR'S SUBD
 In the SE 1/4 of the NW 1/4 of
 Sec 31, T₃₁S, R₁₇E
 Hillsborough Co., Florida
 May 1911

Attachment E
Property Record Card

SUBDIVISION

OAK HARBOR

LOT

55

BLOCK

PERMIT No. 41105	DATE 9-28-38	ELECTRICAL PER. No.	DATE	PLUMBING PER. No. 12850	DATE 10-17-38
LOCATION 2847 1/2 6th. St. So.		OWNER 29594-29938-10-28-38		OWNER C.A. Nelson	
OWNER E.A. Nelson		CONTRACTOR Nelson		CONTRACTOR O'Hare McNulty	
CONTRACTOR OWNER		OPENINGS 10 Ctrs. 9 Swts.		FIXTURES 1 C.o 1 Lav. 1 Sks.	
ARCHITECT None		1 Bkts. 8 Plgs. 1 3 Wr. Serv.		1 Ba. O.K. 10-19-38	
KIND BLK 24X20X20	ROOMS	O.K. 11-28-38 Crt. 4602-		12902-10-27-38 C.A. Nelson	
SIZE 3 Rm. Apt. Ovr. 2 Cr. Wrg.		#6899C - 11/27/51 - J. Kerr		O'Hare McNulty 1 Clo. 1 Lav.	
CU. FT. 1dry.	DATE PER CU. FT.	Elec. Ser. - 1-meter 1-w.h.		O.K. DATE 1 Sks. 1 Ba. O.K. 10-	
COST \$1500.00	2847 6th. St. So.			27-38 Crt.	
OCCUPANCY		FIXTURE PER. No.	DATE	29463-10-14-38 E.A. Nelson	
FOUNDATION	ROOF	OWNER		Campfield 9 Ctrs. 8 Swst.	
FLOORS	PARTITIONS	CONTRACTOR		9 Plgs. 1 Mtr. Serv. O.K.	
41106 9-28-38 E.A. Nelson		CERTIFICATE No.	DATE	11-7-38 Crt. 4447	
Owner \$2000.00 24X34X16		ISSUED TO-		#1046A - 11/29/51 - J. Kern	
6 Rm. Res.		#E4692A-1/22/69- Koch-		H.F. Carroll - ewh	
#64514 - 8/27/47 - \$250		A. Foster- 3w 100amp serv. 1-mtr.		#P4510C - 3/16/77 - Marion Koch	
Owner John Kern - Reside		1-rge. 1-110v. Rm. A/C- combine		D & S Plbg - repl 1-gas wh - (2847)	
garage apartment. Woodward		load.			
Bros. Constr. Co., Contractors		GAS PERMIT No. 9032	DATE 10-21-38	SEWER PER. No. 5831	DATE 10-17-
#39826A-E - 5/16/58 - \$300		OWNER C.A. Nelson		OWNER E.A. Nelson	
Owner John H. Kern - Reroof res.		CONTRACTOR O'Hare McNulty		CONTRACTOR O'Hare McNulty	
(Type VI) Federal Roofing & Siding,		FIXTURES		O.K. DATE O.K. 11-4-38 Crt.	
Contr. (2847 - 6 St. So.)		O.K. 10-21-38			
S.O. to Florida Power 2/24/88		9046-10-28-38 C.A. Nelson			
		O'Hare McNulty O.K. 10-28-38			
SIGN PERMIT No.	DATE			SEPTIC TANK PER. No.	DATE
				OWNER	
		CERTIFICATE No.	DATE	CONTRACTOR	
		ISSUED TO-		O.K. DATE	

#58111A-E - 3/7/60 - \$200

Owner John H. Kern - Reroof garage apartment. Rite-Way Roofing and Siding, Contractor (2847 - 6th St. So.)

#12281- 7/31/72 - \$640

Owner L. A. Roch - Install 125' of 3' high chain link fence in front yard area and install 232' of 4' high chain link fence in back yard area - Allied Fence Co., Contractor.

#B4679-RS75-6/9/82-\$500.

Owner: Bert Salzbrunn-Reroof existing home-240# shingles over 30# felt (Type VI) By Owner.(2847 6 St. South)

#B803554 - 2/12/88 -
\$2000.00 - Lilly Smith -
David D. Romh - repair smoke damage lower garage apt. scab joist, more than 1/8" burnt. seal/paint interior, repair doors damaged by fire dept. no structural alt, repair elec.
Type VI BLC/frn

ELECTRICAL

E3859E - 8/23/73 - Koch
Moore Electric 100-amps 1-phase
1-meter 1-s 1-p 1-dryer
1-50-amp sub panel

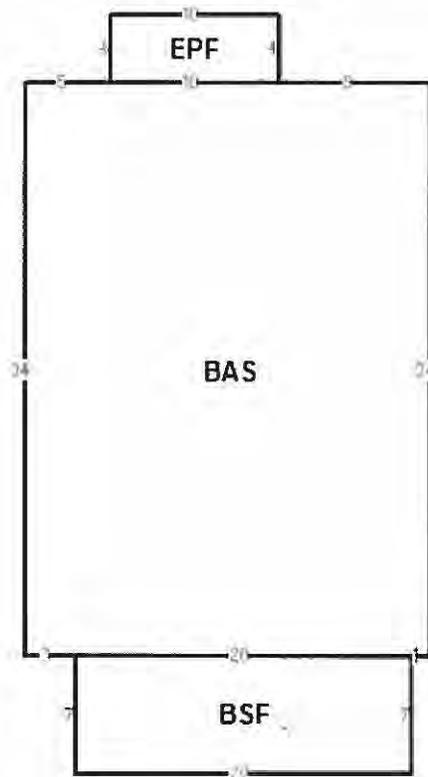
#E803249 - 2/16/88 - Mrs. Smith
Dick Mitchell Elec Co - repair
fire damage, 5 circs. LMS/frn

Attachment F

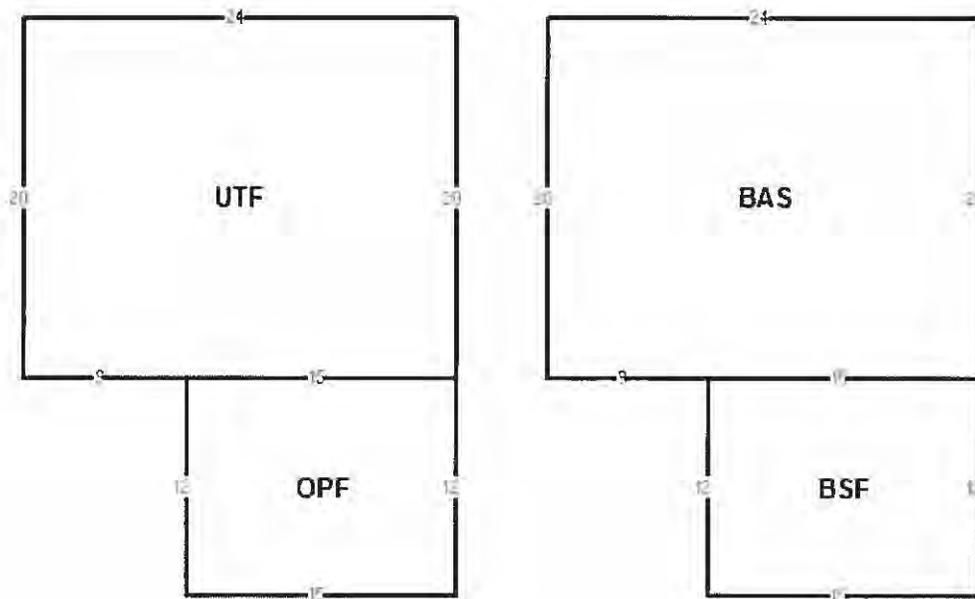
Building Footprints of 2847 6th Street South and 2847 ½ 6th Street South (Lot 53)

from the Pinellas County Property Appraiser

Primary Structure



Secondary Structure



Attachment G

Survey and Exhibit w Overlaid Lot Lines

JOB NO. 181371
 DRAWN BY: MRB
 CHECKED BY: EDM
 DATE OF FIELD WORK: 7/26/18

MURPHY'S LAND SURVEYING, INC.
 PROFESSIONAL LAND SURVEYORS
 5760 11TH AVENUE NORTH
 ST. PETERSBURG, FLORIDA 33710
 WWW.MURPHYSLANDSURVEYING.COM

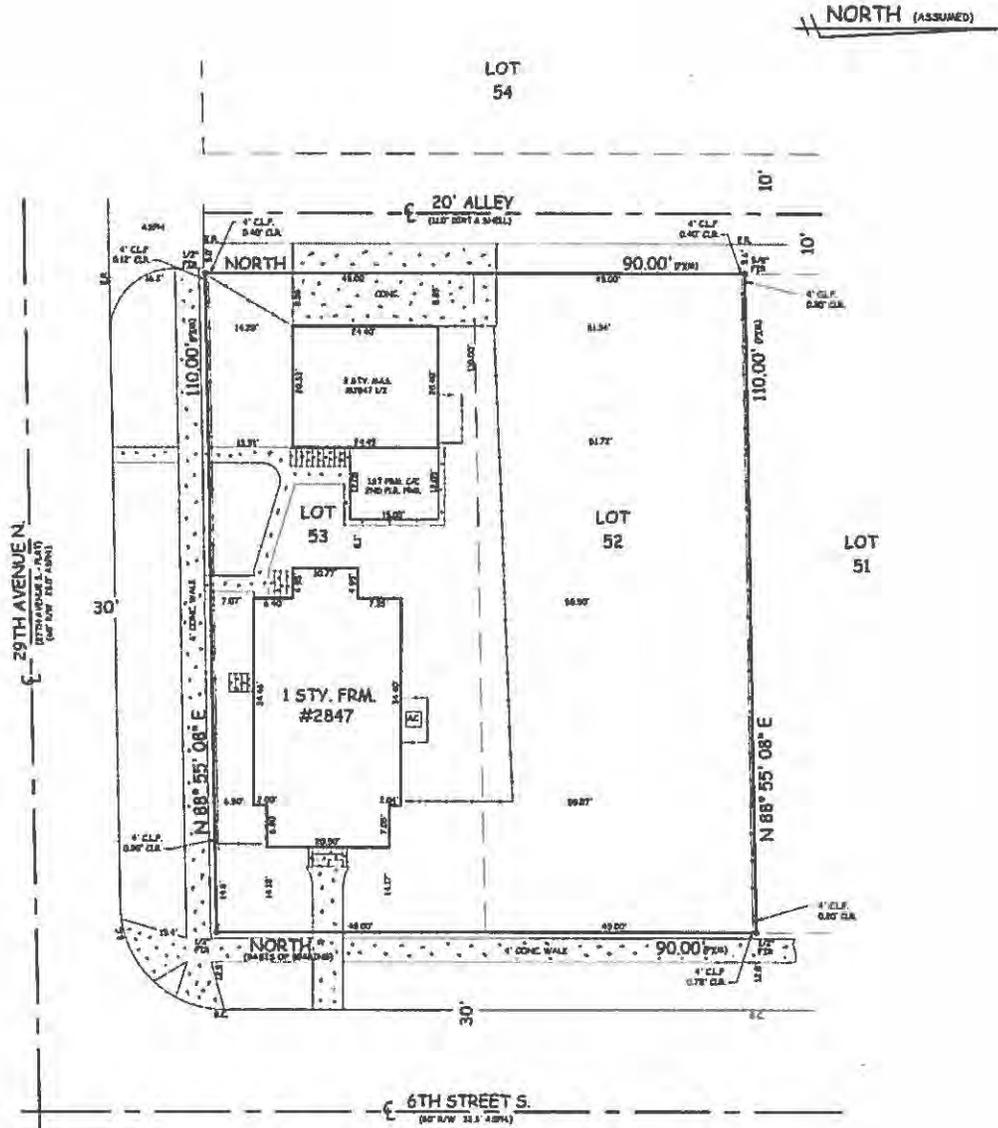
L.B. #7410
 PH. (727) 347-8740
 FAX (727) 344-4840

CERTIFIED TO: ARD 15 LLC

SCALE: 1" = 20'

Survey not valid for more than one (1) year from date of field work.

SEC. 31 TWP. 31 S. RGE. 17 E.



A BOUNDARY SURVEY OF: Lots 52 and 53, OAK HARBOR, as recorded in Plat Book 5, Page 94 of the Public Records of Pinellas County, Florida.

According to the maps prepared by the U.S. Department of Homeland Security, this property appears to be located in
 Flood zone: X Comm. Parcel No.: 125148 0282 G Map Date: 8/03/03 Base Flood Elev.: NA

FOR THE EXCLUSIVE USE OF THE HEREIN PARTY(IES), I HEREBY CERTIFY TO ITS ACCURACY EXCEPT SUCH ERRORS AS MAY BE LOCATED BELOW THE SURFACE OF THE LAND, OR ON THE SURFACE OF THE LAND AND NOT VISIBLE, AND THAT THE SURVEY REPRESENTED HEREON MEETS THE MINIMUM REQUIREMENTS OF CHAPTER 61.17, FLORIDA ADMINISTRATIVE CODE TO THE BEST OF MY KNOWLEDGE AND BELIEF. UNDERGROUND FOUNDATIONS AND/OR IMPROVEMENTS, IF ANY, ARE NOT SHOWN AND OTHER RESTRICTIONS AFFECTING THIS PROPERTY MAY EXIST IN THE PUBLIC RECORDS OF THIS COUNTY. THIS SURVEY HAS BEEN DONE WITHOUT THE BENEFIT OF REVERING A CURRENT TITLE SEARCH. SURVEY NOT VALID FOR MORE THAN ONE YEAR FROM DATE OF FIELD WORK AND NOT VALID UNLESS EMBOSSED WITH SURVEYOR'S SEAL. BEARINGS SHOWN ARE BASED ON PLAT 164,238 OTHERWISE NOTED.

★ BEARINGS SHOWN ARE ASSUMED

Edward D. Murphy
 EDWARD D. MURPHY REG. P.L.S. # 5333

<p>LEGEND: F.P. FOUND FROM PPS F.C.A. FOUND CONCRETE MOUNTAIN F.R. FOUND FROM ROD S.L.P. SET FROM ROD 1/2" DIA. 1/8" DIA. P.C. POINT OF CURVATURE P.C.C. POINT OF COMPOUND CURVATURE P.F. FINISHED FLOOR ELEVATION P.F.S. PERMANENT REFERENCE MONUMENT N.A.V.D. NORTH AMERICAN VERTICAL DATUM OF 1988</p>	<p> P.O. POINT H.A.D. HOLE AND DRILL P.O.L. POINT ON LINE P.C. POINT OF CURVATURE P.T. POINT OF TANGENCY P.I. POINT OF INTERSECTION J.C.C. POINT OF COMPOUND CURVATURE P.F. FINISHED FLOOR ELEVATION C.L.P. CHAIN LINK FENCE A.A. ADJACENT FENCE A.D. ADJACENT</p>	<p> R. RADIOS A. ARC C. CHORD O.B.L. OBLIQUE R.W. RIGHT OF WAY M.S. MASONRY P.F. FINISHED FLOOR ELEVATION O.I. ONITE INLET C.B. DATCH BARRI P.L. FIRE HYDRANT</p>	<p> M.S. METAL SHEET A.L.S. ALLIUM W.H. WATER HEATER P.S. PATIO STONE C.P. CARPORT P.L. PLASTER S.C. SASH OF CURS E.P. EDGE OF PAVEMENT E.S. EDGE OF ROAD E.O.N. EDGE OF WATER T.O.B. TOP OF BANK</p>	<p> R.W. RIGHT OF WAY S. CENTERLINE R.W. RIGHT OF WAY P.I. PILE E.C. CALCULATION S. SEED S.B. SEWERS H. NORTH S. SOUTH E. EAST W. WEST</p>	<p> S.M.T. SASHOUT M.H. MANHOLE C.O.C. CONCRETE C.L.S. CLUMP C.O.L. COLLARI H.W. HOLE S.P. SASHOUT S.W. SAWWALL A.S.P. ASPHALT U.T.L. UTILITY D.R. DRAINAGE</p>	<p> G.A. GARAGE G.M.D. COVERED WOOD C.P.S. COVERED PATIO STONE C.O.C. COVERED CONCRETE A.C. AIR CONDITIONER S.P. SASHOUT FENCE S.W. SAWWALL A.S.P. ASPHALT T.E.L. TELEPHONE LINES P.P. POWER POLE L.P. LIGHT POLE</p>
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JOB NO.: 181371A
 DRAWN BY: MRB
 CHECKED BY: EDM
 DATE OF FIELD WORK: 7/26/18

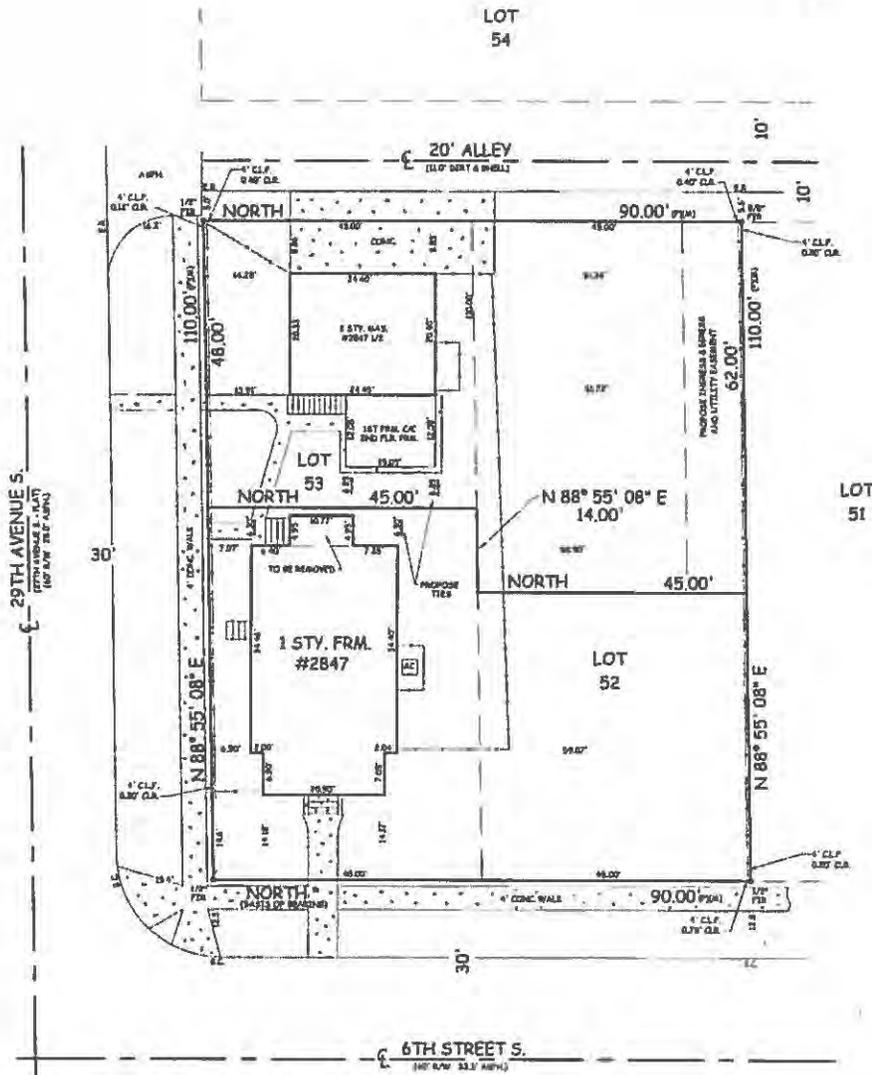
MURPHY'S LAND SURVEYING, INC.
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 WWW.MURPHYSLANDSURVEYING.COM

L.B. #7410
 PH. (727) 347-8740
 FAX (727) 344-4640

CERTIFIED TO: ARD 15 LLC
 SCALE: 1" = 20'
 Survey not valid for more than one (1) year from date of field work.
 SEC. 31 TWP. 31 S. RGE. 17 E.

THIS NOT A SURVEY
 PROPOSE TIES TO PROPOSE PROPERTY LINES

NORTH (ASSUMED)



A BOUNDARY SURVEY OF: Lots 52 and 53, OAK HARBOR, as recorded in Plat Book 5, Page 94 of the Public Records of Pinellas County, Florida.

According to the maps prepared by the U.S. Department of Homeland Security, this property appears to be located in Flood zone: X Comm. Parcel No.: 125148 0282 G Map Date: 9/03/03 Base Flood Elev.: NA

FOR THE EXCLUSIVE USE OF THE HEREON PARTIES, I HEREBY CERTIFY TO THE ACCURACY (EXCEPT AS TO IMPROVEMENTS, IF ANY, THAT MAY BE LOCATED BELOW THE SURFACE OF THE LANDS, OR ON THE SURFACE OF THE LANDS AND NOT VISIBLE, AND THAT THE SURVEY REPRESENTED HEREON MEETS THE MINIMUM REQUIREMENTS OF CHAPTER 81-17, FLORIDA ADMINISTRATIVE CODE TO THE BEST OF MY KNOWLEDGE AND BELIEF. UNDERSTANDING THAT SUCH IMPROVEMENTS, IF ANY, ARE SHOWN ON AND OTHER RESTRICTIONS AFFECTING THIS PROPERTY MAY EXIST IN THE PUBLIC RECORDS OF THIS COUNTY. THIS SURVEY HAS BEEN DONE WITHOUT THE BENEFIT OF REVIEWING A CURRENT TITLE SEARCH. SURVEY NOT VALID FOR MORE THAN ONE YEAR FROM DATE OF FIELD WORK AND NOT VALID UNLESS ENDORSED WITH THE SURVEYOR'S SEAL. BEARINGS SHOWN ARE BASED ON PLAT UNLESS OTHERWISE NOTED.

* BEARINGS SHOWN ARE ASSUMED

Edward D. Murphy
 EDWARD D. MURPHY REG. P.L.S. # 5398

- | | | | | | |
|---|--|--|--|---|---|
| <p>LEGEND:
 F.I.P. FOUND IRON PIPE
 F.C.M. FOUND CONCRETE MONUMENT
 F.I.R. FOUND IRON ROD
 S.I.R. SET IRON ROD 1/2" LB #14
 F.P.C. POINT OF INTERSECTION SURVEILING
 P.C.C. POINT OF COMPOUND CURVATURE
 F.R. PL. - FINISHED FLOOR ELEVATION
 P.R.M. PERMANENT REFERENCE MEASUREMENT
 N.A.V.D. NORTH AMERICAN VERTICAL DATUM of 1988</p> | <p>FD - FLOOR
 R.L.D. - RAIL AND DRAIN
 P.O.L. - POINT ON LINE
 P.C. - POINT OF CURVATURE
 P.T. - POINT OF TANGENCY
 P.I. - POINT OF INTERSECTION
 F.I.C. - FENCE
 F.E. - FENCE
 C.L.P. - CHAIN LINK FENCE
 A.A. - ADJACENT FENCE
 ADJ. - ADJACENT</p> | <p>R. - RADAR
 A. - ARC
 C. - CHORD
 A. - ANGLE
 R.W. - RIGHT OF WAY
 S. - SILLING
 M.A. - MANSARD
 P.M. - PRAISE
 S.I. - CRATE PALET
 C.B. - CATCH BASIN
 F.H. - FIRE HYDRANT</p> | <p>M.B. - METAL BOND
 A.L. - ALUMINUM
 W.H. - WATER HEATER
 P.S. - PAVED STONE
 C.P. - GARSPORT
 P.L. - PLASTER
 B.C. - BACK OF CURB
 E.P. - EDGE OF PAVEMENT
 E.R. - EDGE OF ROAD
 S.D.W. - SIDE OF WATER
 T.O.B. - TOP OF BANK</p> | <p>W.W. - WIRE WALL
 S. - SOUTHWALL
 P.W. - POINT OF WAY
 P.I. - PLAT
 C.C. - CALCULATION
 S.D. - SURFACE
 (N) - NOT MEASURED
 N. - NORTH
 S. - SOUTH
 E. - EAST
 W. - WEST</p> | <p>C.W.T. - EASEMENT
 M.F. - MANHOLE
 D.C. - CONCRETE
 C.L. - COVERED CEMENT
 C.C. - COVERED CONCRETE
 A.C. - AIR CONDUIT COVER
 S.P. - SCHEDULED TORCH
 O.V. - OVERHEAD POWER LINES
 T.V. - OVERHEAD TELEPHONE LINES
 P.P. - POWER POLE
 L.P. - LIGHT POLE</p> |
|---|--|--|--|---|---|

Attachment H
Application



SUBDIVISION DECISION Application

Application No. 19-2000001

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Development Review Services Division, located on the 1st floor of the Municipal Services Building, One 4th Street North.

Application Type:

Per: 16.40.140 &
16.70.050

- | | |
|--|---|
| <input checked="" type="checkbox"/> Lot Line Adjustment
<input type="checkbox"/> Lot Split
<input type="checkbox"/> Lot Refacing
<input type="checkbox"/> Street Name Change
<input type="checkbox"/> Street Closing | <input type="checkbox"/> Vacating – Street Right-of-Way
<input type="checkbox"/> Vacating – Alley Right-of-Way
<input type="checkbox"/> Vacating – Walkway Right-of-Way
<input type="checkbox"/> Vacating – Easement
<input type="checkbox"/> Vacating – Air Rights |
|--|---|

GENERAL INFORMATION	
NAME of APPLICANT (Property Owner): <u>AFD IS, LLC</u>	
Street Address:	
City, State, Zip:	
Telephone No:	Email Address:
NAME of AGENT or REPRESENTATIVE:	
Street Address:	
City, State, Zip:	
Telephone No:	Email Address:
PROPERTY INFORMATION:	
Street Address or General Location: <u>2847 6th Street South + Adjacent Lot</u>	
Parcel ID#(s): <u>31/31/17/62460/000/0130 + 0520</u>	
DESCRIPTION OF REQUEST: <u>Reconfigure lot lines</u>	
PRE-APPLICATION DATE: <u>1/10/19</u> PLANNER:	

FEE SCHEDULE

Lot Line & Lot Split Adjustment Administrative Review	\$200.00	Vacating Streets & Alleys	\$1,000.00
Lot Line & Lot Split Adjustment Commission Review	\$300.00	Vacating Walkway	\$400.00
Lot Refacing Administrative Review	\$300.00	Vacating Easements	\$500.00
Lot Refacing Commission Review	\$500.00	Vacating Air Rights	\$1,000.00
Variance with any of the above	\$200.00	Street Name Change	\$1,000.00
		Street Closing	\$1,000.00

Cash, credit, and checks made payable to the "City of St. Petersburg"

AUTHORIZATION

City Staff and the designated Commission may visit the subject property during review of the requested variance. Any Code violations on the property that are noted during the inspections will be referred to the City's Codes Compliance Assistance Department.

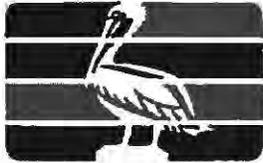
The applicant, by filing this application, agrees he or she will comply with the decision(s) regarding this application and conform to all conditions of approval. The applicant's signature affirms that all information contained within this application has been completed, and that the applicant understands that processing this application may involve substantial time and expense. Filing an application does not guarantee approval, and denial or withdrawal of an application does not result in remittance of the application fee.

NOTE: IT IS INCUMBENT UPON THE APPLICANT TO SUBMIT CORRECT INFORMATION. ANY MISLEADING, DECEPTIVE, INCOMPLETE, OR INCORRECT INFORMATION MAY INVALIDATE YOUR APPROVAL

Signature of Owner/Agent: [Signature]
*Affidavit to Authorize Agent required, if signed by Agent.

Date: 1-11-19

Typed name of Signatory: Jacqueline Klotz



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www.stpete.org

CITY OF ST. PETERSBURG
PLANNING & ECONOMIC DEVELOPMENT DEPT.
DEVELOPMENT REVIEW SERVICES DIVISION

DEVELOPMENT REVIEW COMMISSION
AFFIDAVIT TO AUTHORIZE AGENT

I am (we are) the owner(s) and record title holder(s) of the property noted herein

Property Owner's Name: AFD15 LLC

This property constitutes the property for which the following request is made

Property Address: 2847 6TH ST SOUTH + VACANT LOT

Parcel ID No.: 31/31/17/62460/000/0530 AND 0570

Request: RE CONFIGURE LOT LINES + SEPARATING (2) BUILDINGS.

The undersigned has(have) appointed and does(do) appoint the following agent(s) to execute any application(s) or other documentation necessary to effectuate such application(s)

Agent's Name(s): _____

This affidavit has been executed to induce the City of St. Petersburg, Florida, to consider and act on the above described property.

I(we), the undersigned authority, hereby certify that the foregoing is true and correct.

Signature (owner): [Handwritten Signature]

Jacqueline Klotz
Printed Name

Sworn to and subscribed on this date

Identification or personally known: FLDL

Notary Signature: [Handwritten Signature]
Commission Expiration (Stamp or date): Christine D Trigonoplos

Date: 1/11/19



Prepared by and when recorded return to:
Andrew R. Pardun, Esq., LL.M.
BATTAGLIA ROSS DICUS & MCQUAID PA
5858 Central Avenue, Suite A
St. Petersburg, Florida 33707

Property ID No. 31/31/17/62460/000/0530
Property ID No. 31/31/17/62460/000/0520
Consideration: \$10.00

(Space above this line reserved for recording office use only)

QUITCLAIM DEED

THIS INDENTURE made effective on the ____ day of November, 2018, between AFD15, LLC, a Florida limited liability company (hereinafter referred to as "Grantor"), such Grantor having an address of 11422 77th Avenue, Seminole, Florida 33772, for and in consideration of the sum of TEN and NO/100 DOLLARS (\$10.00) cash and other good and valuable consideration in hand paid by AFD15, LLC, a Florida limited liability company (hereinafter referred to as "Grantee"), such Grantee having an address of 11422 77th Avenue, Seminole, Florida 33772, hereby REMISES, RELEASES and QUITCLAIMS unto Grantee, all of Grantor's interest in and to the following described real estate in the County of Pinellas and State of Florida:

Sketch and Legal Description are attached hereto as "Exhibit A"

TO HAVE AND TO HOLD the property, to the extent conveyed hereby, in fee simple forever, subject to the terms and provisions contained herein, together with each and every right, privilege, hereditament and appurtenance in anywise incident or appertaining to the property.

The conveyance made hereby are made by Grantor and accepted by Grantee subject to the following matters, to the extent same are in effect at this time: any and all restrictions, covenants, conditions, liens, encumbrances, reservations, easements, and other exceptions to title, if any, relating to the property, but only to the extent they are still in force and effect and shown of record in Pinellas County, Florida, and to all zoning laws, regulations and ordinances of municipal and/or other governmental or quasi-governmental authorities, if any, relating to the property and to all matters which would be revealed by an inspection and/or a current survey of the property.

This deed was prepared without the benefit of a title examination.

Taxes for the current year have been prorated and are assumed by Grantee.

[SIGNATURES SET FORTH ON FOLLOWING PAGE]

IN WITNESS WHEREOF, the Grantor has executed this Quitclaim Deed on the ____ day of November, 2018.

Signed, Sealed and Delivered
in presence of:

ANDREW R. PARDUN, ESQ.

AFD15, LLC, a Florida limited liability company

Witness Name: _____

BY: JACQUELINE KLOTZ
ITS: MANAGER

STATE OF FLORIDA

§
§
§

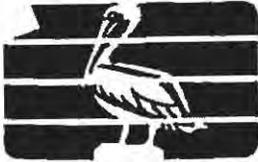
COUNTY OF PINELLAS

The foregoing Quitclaim Deed was acknowledged before me, the undersigned authority, by JACQUELINE KLOTZ, as Manager of AFD15, LLC, a Florida limited liability company, on behalf of the company, who produced a driver's license issued by Florida that contained her photograph and signature as identification thereby proving her to be the person whose name is subscribed to the foregoing instrument as Grantor, who identified this instrument as a Deed and signed such instrument willingly for the purposes and consideration therein expressed, who signed such instrument in the presence of ANDREW R. PARDUN, ESQ., a witness who is personally known to me, and of _____, a witness who is personally known to me.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, on the ____ day of November, 2018.

Notary Public, State of Florida
Notary's printed name:

Property ID No. 31/31/17/62460/000/0530
Property ID No. 31/31/17/62460/000/0520



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VARIANCE

Application No. 19-12000001

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Development Review Services Division, located on the 1st floor of the Municipal Services Building, One Fourth Street North.

GENERAL INFORMATION	
NAME of APPLICANT (Property Owner): <u>AIDIS LLC</u>	
Street Address: <u>8537 93RD AVE SEMINOLE FL 33777</u>	
City, State, Zip: <u>SEMINOLE FL 33777</u>	
Telephone No: <u>315 542 3311</u> Email Address: <u>VOOZIER@GMAIL</u>	
NAME of AGENT or REPRESENTATIVE:	
Street Address:	
City, State, Zip:	
Telephone No: Email Address:	
PROPERTY INFORMATION:	
Street Address or General Location: <u>2847 LTA ST SOUTH</u>	
Parcel ID#(s): <u>31/31/17/62460/000/0530 AND 0520</u>	
DESCRIPTION OF REQUEST: <u>RECONFIGURE LOT LINES</u>	
PRE-APPLICATION DATE: <u>1-10-19</u> PLANNER:	

FEE SCHEDULE			
1 & 2 Unit, Residential – 1 st Variance	\$300.00	Each Additional Variance	\$100.00
3 or more Units & Non-Residential – 1 st Variance	\$300.00	After-the-Fact	\$500.00
		Docks	\$400.00
		Flood Elevation	\$300.00
Cash, credit, checks made payable to "City of St. Petersburg"			

AUTHORIZATION

City Staff and the designated Commission may visit the subject property during review of the requested variance. Any Code violations on the property that are noted during the inspections will be referred to the City's Codes Compliance Assistance Department.

The applicant, by filing this application, agrees he or she will comply with the decision(s) regarding this application and conform to all conditions of approval. The applicant's signature affirms that all information contained within this application has been completed, and that the applicant understands that processing this application may involve substantial time and expense. Filing an application does not guarantee approval, and denial or withdrawal of an application does not result in remittance of the application fee.

NOTE: IT IS INCUMBENT UPON THE APPLICANT TO SUBMIT CORRECT INFORMATION. ANY MISLEADING, DECEPTIVE, INCOMPLETE, OR INCORRECT INFORMATION MAY INVALIDATE YOUR APPROVAL.

Signature of Owner / Agent*: [Signature] Date: 1-11-19
*Affidavit to Authorize Agent required, if signed by Agent.
 Typed Name of Signatory: ACQUILINE KLOTZ



VARIANCE

NEIGHBORHOOD WORKSHEET

Applicants are strongly encouraged to obtain signatures in support of the proposal(s) from owners of property adjacent to or otherwise affected by a particular request.

NEIGHBORHOOD WORKSHEET	
Street Address:	Case No.:
Description of Request:	
The undersigned adjacent property owners understand the nature of the applicant's request and do not object (attach additional sheets if necessary):	
1. Affected Property Address:	2401 6TH ST SOUTH
Owner Name (print):	Reginald Campbell
Owner Signature:	Reginald Campbell
2. Affected Property Address:	547 24TH AVE SOUTH
Owner Name (print):	Mina Berner
Owner Signature:	Mina Berner
3. Affected Property Address:	1202 9TH AVE
Owner Name (print):	Mr Brown
Owner Signature:	Mr Brown
4. Affected Property Address:	625 29TH AVE SO-
Owner Name (print):	JANICE WILLIAMS
Owner Signature:	JANICE WILLIAMS
5. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
6. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
7. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
8. Affected Property Address:	
Owner Name (print):	
Owner Signature:	



VARIANCE

NARRATIVE (PAGE 1)

All applications for a variance must provide justification for the requested variance(s) based on the criteria set forth by the City Code. It is recommended that the following responses be typed. Illegible handwritten responses will not be accepted. Responses may be provided as a separate letter, addressing each of the six criteria.

ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE	
Street Address:	2847 61ST SOUTH
Case No.:	
Detailed Description of Project and Request:	
LOT REFRACING AND VARIANCES TO SETBACK CRITERIA	
1. What is unique about the size, shape, topography, or location of the subject property? How do these unique characteristics justify the requested variance?	
ATTACHED	
2. Are there other properties in the immediate neighborhood that have already been developed or utilized in a similar way? If so, please provide addresses and a description of the specific signs or structures being referenced.	
3. How is the requested variance not the result of actions of the applicant?	

January 10, 2019

To: City of St. Petersburg Planning and Economic Development Dept.

This is in answer to application to do a **lot refacing and variances to set back criteria** for 2 buildings located at:

2847 6 Street South and adjoining vacant lot .

These are the answers to the questions in the applicant narrative.

#1 – Nothing. These two buildings are totally separate. Water, electricity and even addresses. What would make sense is to make the right building 2847 6 Street South and the left building a 29th Avenue address.

#2 – This is a unique property with both buildings separate already and owning adjoining lot next door means I can incorporate that land to meet the zoning requirements.

#3 – Does not apply. Both buildings are separate already. Just doing this application to stay in integrity and to handle it legally.

#4 – Two structures on one lot. Own adjoining lot. This proposal meets square footage requirements for both, creating two separate owner occupants; two separate taxes and owners who will take care of property.

#5 – None. The best use is two separate buildings. Two new owner occupants will enhance the neighborhood.

#6 – This will create two separate lots with two separate buildings with good sized yards. The buildings have been worked on considerably by me and my father and have passed 4 point inspections and are waiting for new owners to move in.

Jacqueline Klotz
Managing agent



PUBLIC PARTICIPATION REPORT

Application No. _____

In accordance with LDR Section 16 70.040 1.F.2. "It is the policy of the City to encourage applicants to meet with residents of the surrounding neighborhoods prior to filing an application for a permit requiring review and public hearing. The applicant, at his option, may elect to include neighborhood mediation as a preparatory step in the development process. Participation in the public participation process prior to required public hearings will be considered by the decision-making official when considering the need, or request, for a continuance of an application. It is not the intent of this section to require neighborhood meetings, but to encourage meetings prior to the submission of applications for approval and documentation of efforts which have been made to address any potential concerns prior to the formal application process."

APPLICANT REPORT	
Street Address:	2847-6 St. S. 53705
1. Details of techniques the applicant used to involve the public	
(a) Dates and locations of all meetings where citizens were invited to discuss the applicant's proposal	
(b) Content, dates mailed, and number of mailings, including letters, meeting notices, newsletters, and other publications	
(c) Where residents, property owners, and interested parties receiving notices, newsletters, or other written materials are located	
2. Summary of concerns, issues, and problems expressed during the process	
3. Signature or affidavit of compliance - President or vice-president of any neighborhood associations	
Check one <input checked="" type="checkbox"/> Proposal supported	
<input type="checkbox"/> Do not support the Proposal	
<input type="checkbox"/> Unable to comment on the Proposal at this time	
<input type="checkbox"/> Other comment(s):	
Association Name	HARBORDALE N.A. President or Vice-President Signature: <i>Theresa McSweeney</i>
If the president or vice-president of the neighborhood association are unavailable or refuse to sign such certification, a statement as to the efforts to contact them and (in the event of unavailability or unwillingness to sign) why they were unable or unwilling to sign the certification.	



PUBLIC PARTICIPATION REPORT

RECEIVED
 JAN 14 2019
 DEVELOPMENT REVIEW
 SERVICES

Application No. _____

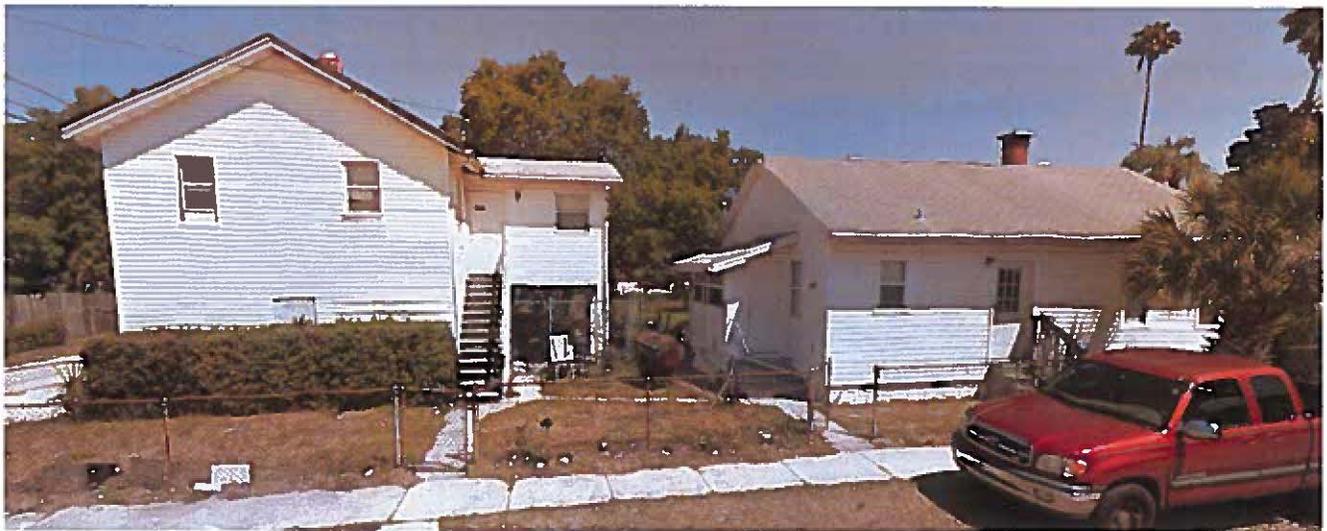
In accordance with LDR Section 16.70.040.1.F.2. "It is the policy of the City to encourage applicants to meet with residents of the surrounding neighborhoods prior to filing an application for a permit requiring review and public hearing. The applicant, at his option, may elect to include neighborhood mediation as a preparatory step in the development process. Participation in the public participation process prior to required public hearings will be considered by the decision-making official when considering the need, or request, for a continuance of an application. It is not the intent of this section to require neighborhood meetings, but to encourage meetings prior to the submission of applications for approval and documentation of efforts which have been made to address any potential concerns prior to the formal application process."

APPLICANT REPORT
Street Address: <u>2847-6 ST. S. 53705</u>
1. Details of techniques the applicant used to involve the public
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(c) Where residents, property owners, and interested parties receiving notices, newsletters, or other written materials are located
2. Summary of concerns, issues, and problems expressed during the process
3. Signature or affidavit of compliance - President or vice-president of any neighborhood associations
Check one: <input checked="" type="checkbox"/> Proposal supported
<input type="checkbox"/> Do not support the Proposal
<input type="checkbox"/> Unable to comment on the Proposal at this time
<input type="checkbox"/> Other comment(s):
Association Name: <u>HARBORDALE N.A.</u> President or Vice-President Signature: <u>[Signature]</u>
If the president or vice-president of the neighborhood association are unavailable or refuse to sign such certification, a statement as to the efforts to contact them and (in the event of unavailability or unwillingness to sign) why they were unable or unwilling to sign the certification.

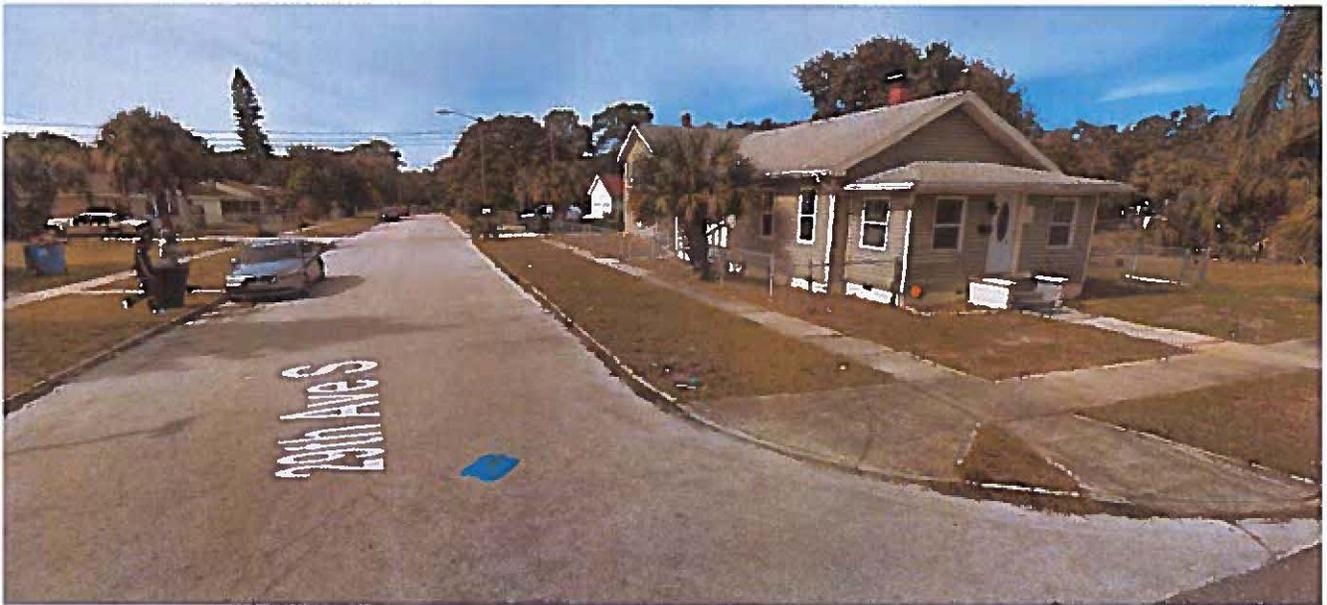
Attachment I

Photos of Subject Property

Google Street View – March 2015



Google Street View – December 2018



Attachment J

Engineering Memorandum Dated April 18, 2019

MEMORANDUM
CITY OF ST. PETERSBURG
ENGINEERING AND CAPITAL IMPROVEMENTS DEPARTMENT

TO: Iris Winn, Administrative Clerk, Development Services
Jennifer Bryla, Planning & Development Services Department, Zoning Official,
Development Review Services
Kathryn Younkin, Planner II, Development Services

FROM: Nancy Davis, Engineering Plan Review Supervisor

DATE: April 8, 2019

FILE: 19-12000001

LOCATION & PIN: 2833 6th Street South; 31/31/17/62460/000/0520
2847 6th Street South; 31/31/17/62460/000/0530

ATLAS: F-15

PROJECT: Lot Re-facing

REQUEST: Approval of a lot refacing with a variance to the Lot Refacing criteria that the lot dimensions be consistent with the established neighborhood pattern; a variance to the front setbacks from 25-feet required on the eastern lot to 13.91-feet and on the western lot to 6.5 feet; and a variance to the design requirements that an elevated front porch be provided on the front of the eastern lot and that the principal entry shall include a porch, portico or stoop elevated at least 12 inches above the existing finished grade on the western lot in order to separate the lots.

The Engineering & Capital Improvements Department (ECID) has no objection to the proposed lot refacing provided that the following special conditions and standard comments are added as conditions of approval:

SPECIAL CONDITIONS OF APPROVAL:

1. The public sanitary sewer main exists within the north/south alley adjacent to the westernmost lot. The applicant must locate the sanitary sewer service lateral for the easternmost proposed lot and show it on a survey. The applicant must provide *Private Utility Easement* over any portions of the service lateral which cross the adjacent westernmost lot to assure legal access to the public sanitary sewer is maintained for the easternmost proposed lot. It is acknowledged that a *Private Ingress & Egress & Utility Easement* is currently shown along the north boundary of the westernmost lot on the submitted legal description and sketch. This is acceptable provided the requested survey verifies that the sanitary sewer service lateral for the easternmost lot is contained within this easement and provided a copy of the recorded easement document is provided to the City as evidence of private easement dedication.
2. Upon development or redevelopment, the applicant/property owner is required to provide a 6"

sanitary sewer service lateral for connection to the public sanitary sewer main for each proposed lot if not existing. Each lot must be connected to its own individual sanitary sewer service lateral (may not share a service lateral). If a service lateral is found not existing or not in compliance with current City Engineering Standards and Specifications, the applicant will be responsible to construct a new 6" service lateral to the main per current City Engineering Standards and Specifications. The cost for design, permitting, and construction of required new service lateral(s) shall be by and at the sole expense of the applicant.

3. Upon development or redevelopment, the applicant/property owner is required to provide a public sanitary sewer clean out over each existing or proposed sanitary sewer service lateral if not existing. The public clean out is to be located just inside the public alley boundary which exists along the northern property line, for each lot. All construction shall be in conformance with current City ECID Standards and Specifications. The cost for design, permitting, and construction of required new sanitary sewer service lateral clean out(s) shall be by and at the sole expense of the applicant.

4. Upon development or redevelopment, the applicant is required to provide potable water service to each proposed lot if not existing. The City shall install necessary potable water services (up to and including the necessary meter and backflow prevention device) as required to service the proposed lots at the sole expense of the applicant/property owner.

5. Per review of aerial photograph, public sidewalks appear to be existing adjacent to the proposed lots. Within the NT-1 zoning district City of St. Petersburg Municipal Code Section 16.40.140.4.2 requires a 4' wide public sidewalk in the northern parkway of 29th Avenue South and within the western parkway of 6th Street South adjacent to the proposed lot boundaries. It is recommended that all existing public sidewalks be inspected and restored or reconstructed if necessary for ADA compliance. New sidewalks will require curb cut ramps for physically handicapped and truncated dome tactile surfaces (of contrasting color to the adjacent sidewalk, colonial red color preferred) at all corners or intersections with roadways that are not at sidewalk grade per current City and ADA requirements. Sidewalks must be continuous through all driveway approaches.

6. All required improvements shall be installed at the applicant/property owner's expense in accordance with current City ECID design standards and specifications.

7. A work permit issued by the City Engineering & Capital Improvements department must be obtained prior to the commencement of construction within dedicated right-of-way or public easement areas (sanitary sewer public clean out, sanitary sewer service laterals (if not found existing), and public sidewalk construction if applicable. The contractor must make application for the Right of Way Permit directly to the City Engineering and Capital Improvements department located on the 7th Floor of the Municipal Services Building, 1-4th Street North. For permit application information please contact the City Engineering front desk, phone 727-893-7238 or send email request to Martha.Hegenbarth@stpete.org or Lori.Smith@stpete.org.

NED/MJR/meh

pc: Kelly Donnelly
Correspondence File

Exhibit "A"

Sketch and Descriptions of Parcels to be Created

LEGAL DESCRIPTION AND SKETCHTHIS IS NOT A SURVEY**LEGAL DESCRIPTION:**

Sketch and Legal Description: The East 62.0 feet of Lot 53, OAK HARBOR, as recorded in Plat Book 5, Page 94 of the Public Records of Pinellas County, Florida, and the East 48.0 feet of Lot 52, OAK HARBOR, as recorded in Plat Book 5, Page 94 of the Public Records of Pinellas County, Florida, further described as follows: From the Southeast corner of Lot 53, OAK HARBOR, as a Point of Beginning; thence South $88^{\circ} 55' 08''$ West, a distance of 62.0 feet; thence North a distance of 45.0 feet; thence North $88^{\circ} 55' 08''$ East, a distance of 14.0 feet; thence North a distance of 45.0 feet, thence North $88^{\circ} 55' 08''$ East a distance of 48.00 feet to the Northeast corner of Lot 52, OAK HARBOR, as recorded in Plat Book 5, Page 94 of the Public Records of Pinellas County, Florida; thence South a distance of 90.0 feet to the Point of Beginning.

Containing 4,950 square feet or 0.113 acres, more or less.

PREPARED FOR:
AFD 15, LLC

LEGEND:

C - CENTERLINE
R/W - RIGHT OF WAY
BLK - BLOCK
L.B. - LICENSED BUSINESS

SHEET 1 OF 2

FOR THE EXCLUSIVE USE OF THE HEREON PARTY(IES), I HEREBY CERTIFY TO ITS ACCURACY (EXCEPT SUCH EASEMENTS, IF ANY, THAT MAY BE LOCATED BELOW THE SURFACE OF THE LANDS, OR ON THE SURFACE OF THE LANDS AND NOT VISIBLE), AND THAT THE SKETCH AND DESCRIPTION REPRESENTED HEREON MEETS THE MINIMUM REQUIREMENTS OF CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE TO THE BEST OF MY KNOWLEDGE AND BELIEF. UNDERGROUND FOUNDATIONS AND/OR IMPROVEMENTS, IF ANY, ARE NOT SHOWN AND OTHER RESTRICTIONS AFFECTING THIS PROPERTY MAY EXIST IN THE PUBLIC RECORDS OF THIS COUNTY. SKETCH AND DESCRIPTION HAS BEEN DONE WITHOUT THE BENEFIT OF REVIEWING A CURRENT TITLE SEARCH. SKETCH AND DESCRIPTION NOT VALID FOR MORE THAN ONE YEAR FROM DATE OF FIELD WORK AND NOT VALID UNLESS EMBOSSED WITH SURVEYOR'S SEAL. BEARINGS SHOWN ARE BASED ON PLAT, UNLESS OTHERWISE NOTED.

Edward D. Murphy
EDWARD D. MURPHY, PROFESSIONAL LAND SURVEYOR # 5333

JOB NUMBER: 181991A

DATE: 02/21/19

L.B. #7410

MURPHY'S LAND SURVEYING, INC.

PROFESSIONAL LAND SURVEYORS

5760 11TH AVENUE NORTH

ST. PETERSBURG, FLORIDA 33710

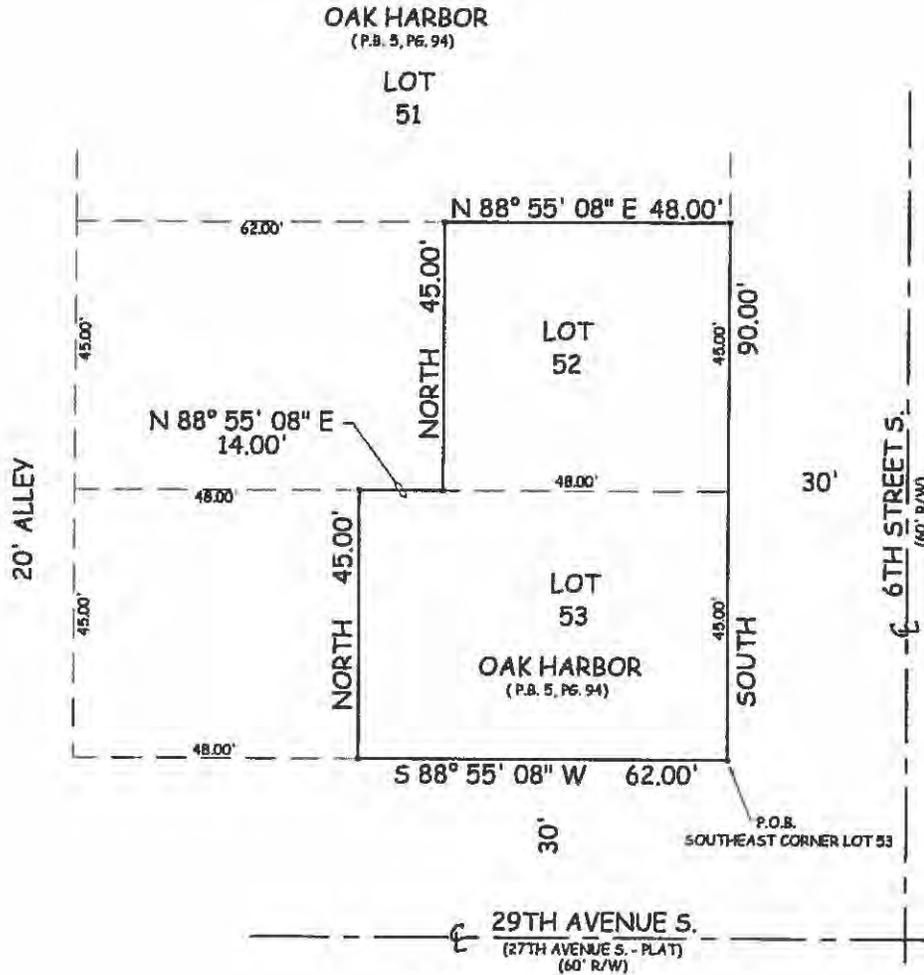
PH. (727) 347-8740 FAX (727) 344-4840

WWW.MURPHYSLANDSURVEYING.COM

LEGAL DESCRIPTION AND SKETCH
THIS IS NOT A SURVEY



SCALE: 1" = 30'



LEGEND:
 C - CENTERLINE
 RW - RIGHT OF WAY
 B - BLOCK
 L.B. - LICENCED BUSINESS

SHEET 2 OF 2

FOR THE EXCLUSIVE USE OF THE HEREON PARTY(IES), I HEREBY CERTIFY TO ITS ACCURACY (EXCEPT SUCH EASEMENTS, IF ANY, THAT MAY BE LOCATED BELOW THE SURFACE OF THE LANDS, OR ON THE SURFACE OF THE LANDS AND NOT VISIBLE), AND THAT THE SKETCH AND DESCRIPTION REPRESENTED HEREON MEETS THE MINIMUM REQUIREMENTS OF CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE TO THE BEST OF MY KNOWLEDGE AND BELIEF. UNDERGROUND FOUNDATIONS AND/OR IMPROVEMENTS, IF ANY, ARE NOT SHOWN AND OTHER RESTRICTIONS AFFECTING THIS PROPERTY MAY EXIST IN THE PUBLIC RECORDS OF THIS COUNTY. SKETCH AND DESCRIPTION HAS BEEN DONE WITHOUT THE BENEFIT OF REVIEWING A CURRENT TITLE SEARCH. SKETCH AND DESCRIPTION NOT VALID FOR MORE THAN ONE YEAR FROM DATE OF FIELD WORK AND NOT VALID UNLESS EMBOSSED WITH SURVEYOR'S SEAL. BEARINGS SHOWN ARE BASED ON PLAT UNLESS OTHERWISE NOTED.

Edward D. Murphy
 EDWARD D. MURPHY, PROFESSIONAL LAND SURVEYOR # 5333

JOB NUMBER: 181991B

DATE 02/21/18

L.B. #7410
MURPHY'S LAND SURVEYING, INC.
 PROFESSIONAL LAND SURVEYORS
 5780 11TH AVENUE NORTH
 ST. PETERSBURG, FLORIDA 33710
 PH. (727) 347-8740 FAX (727) 344-4840
 WWW.MURPHYSLANDSURVEYING.COM

LEGAL DESCRIPTION AND SKETCHTHIS IS NOT A SURVEY**LEGAL DESCRIPTION:**

Sketch and Legal Description: The West 48.0 feet of Lot 53, OAK HARBOR, as recorded in Plat Book 5, Page 94 of the Public Records of Pinellas County, Florida, and the West 62.0 feet of Lot 52, OAK HARBOR, as recorded in Plat Book 5, Page 94 of the Public Records of Pinellas County, Florida, further described as follows: From the Southeast corner of Lot 53, OAK HARBOR, as recorded in Plat Book 5, Page 94 of the Public Records of Pinellas County, Florida, as a Point of Commencement; thence South $88^{\circ} 55' 08''$ West, a distance of 62.00 feet to a Point of Beginning; thence South $88^{\circ} 55' 08''$ West, a distance of 48.0 feet to the Southwest corner of Lot 53, OAK HARBOR; thence North a distance of 90.0 feet to the Northwest corner of Lot 52, OAK HARBOR; thence North $88^{\circ} 55' 08''$ East, a distance of 62.0 feet; thence South a distance of 45.0 feet; thence South $88^{\circ} 55' 08''$ West, a distance of 14.0 feet; thence South a distance of 45.0 feet to the Point of Beginning.

Containing 4,950 square feet or 0.113 acres, more or less.

PREPARED FOR:

AFD 15, LLC

LEGEND:

C - CENTERLINE
 RAW - RIGHT OF WAY
 BLK - BLOCK
 L.B. - LICENCED BUSINESS

SHEET 1 OF 2

FOR THE EXCLUSIVE USE OF THE HEREON PARTY(IES), I HEREBY CERTIFY TO ITS ACCURACY (EXCEPT SUCH EASEMENTS, IF ANY, THAT MAY BE LOCATED BELOW THE SURFACE OF THE LANDS, OR ON THE SURFACE OF THE LANDS AND NOT VISIBLE), AND THAT THE SKETCH AND DESCRIPTION REPRESENTED HEREON MEETS THE MINIMUM REQUIREMENTS OF CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE TO THE BEST OF MY KNOWLEDGE AND BELIEF. UNDERGROUND FOUNDATIONS AND/OR IMPROVEMENTS, IF ANY, ARE NOT SHOWN AND OTHER RESTRICTIONS AFFECTING THIS PROPERTY MAY EXIST IN THE PUBLIC RECORDS OF THIS COUNTY. SKETCH AND DESCRIPTION HAS BEEN DONE WITHOUT THE BENEFIT OF REVIEWING A CURRENT TITLE SEARCH. SKETCH AND DESCRIPTION NOT VALID FOR MORE THAN ONE YEAR FROM DATE OF FIELD WORK AND NOT VALID UNLESS EMBOSSED WITH SURVEYOR'S SEAL. BEARINGS SHOWN ARE BASED ON PLAT, UNLESS OTHERWISE NOTED.


 EDWARD D. MURPHY, PROFESSIONAL LAND SURVEYOR # 5333

JOB NUMBER 181992A

DATE: 02/21/19

L.B. #7410

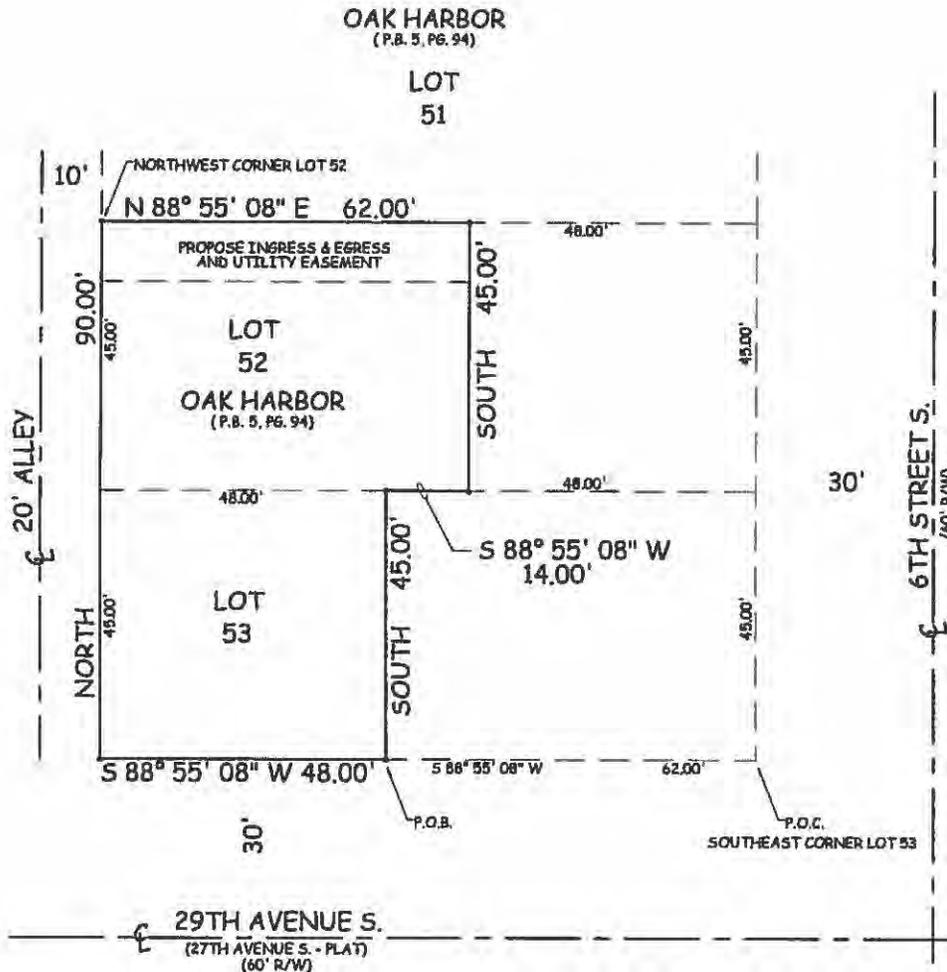
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LEGAL DESCRIPTION AND SKETCH

THIS IS NOT A SURVEY



SCALE: 1" = 30'



LEGEND:
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 R/W - RIGHT OF WAY
 BLK. - BLOCK
 L.B. - LICENCED BUSINESS

SHEET 2 OF 2

FOR THE EXCLUSIVE USE OF THE HEREON PARTY(ES), I HEREBY CERTIFY TO ITS ACCURACY (EXCEPT SUCH EASEMENTS, IF ANY, THAT MAY BE LOCATED BELOW THE SURFACE OF THE LANDS, OR ON THE SURFACE OF THE LANDS AND NOT VISIBLE), AND THAT THE SKETCH AND DESCRIPTION REPRESENTED HEREON MEETS THE MINIMUM REQUIREMENTS OF CHAPTER 51-17, FLORIDA ADMINISTRATIVE CODE TO THE BEST OF MY KNOWLEDGE AND BELIEF. UNDERGROUND FOUNDATIONS AND/OR IMPROVEMENTS, IF ANY, ARE NOT SHOWN AND OTHER RESTRICTIONS AFFECTING THIS PROPERTY MAY EXIST IN THE PUBLIC RECORDS OF THIS COUNTY. SKETCH AND DESCRIPTION HAS BEEN DONE WITHOUT THE BENEFIT OF REVIEWING A CURRENT TITLE SEARCH. SKETCH AND DESCRIPTION NOT VALID FOR MORE THAN ONE YEAR FROM DATE OF FIELD WORK AND NOT VALID UNLESS EMBOSSED WITH SURVEYOR'S SEAL. BEARINGS SHOWN ARE BASED ON PLAT, UNLESS OTHERWISE NOTED.

Edward D. Murphy
 EDWARD D. MURPHY, PROFESSIONAL LAND SURVEYOR # 5333

JOB NUMBER: 181992B

DATE: 02/21/19

L.B. #7410
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**CITY OF ST. PETERSBURG
PLANNING & DEVELOPMENT DEPT.
DEVELOPMENT REVIEW SERVICES DIVISION**

**DEVELOPMENT REVIEW COMMISSION
STAFF REPORT**

**SITE PLAN REVIEW
PUBLIC HEARING**

According to Planning & Development Department records, **no Commission member** resides or has a place of business within 2,000 feet of the subject property. All other possible conflicts should be declared upon the announcement of the item.

REPORT TO THE DEVELOPMENT REVIEW COMMISSION FROM DEVELOPMENT REVIEW SERVICES DIVISION, PLANNING & DEVELOPMENT DEPARTMENT, for Public Hearing and Executive Action on **May 1, 2019 at 2:00 P.M.** in Council Chambers, City Hall, 175 Fifth Street North, St. Petersburg, Florida.

CASE NO.: 19-31000002 PLAT SHEET: E-30

REQUEST: Approval of a Site Plan to construct a 297-unit multi-family development. The applicant is requesting a variance to the maximum wall height.

OWNER: St Pete 454, LLC
240 4th Street North
Saint Petersburg, Florida 33701-3206

AGENT: R. Donald Mastry
200 Central Avenue, Suite 1600
Saint Petersburg, Florida 33701

ADDRESS: 5475 3rd Lane North

PARCEL ID NO.: 31-30-17-61389-000-0010

LEGAL DESCRIPTION: On File

ZONING: Neighborhood Suburban Multifamily-1 (NSM-1)

SITE AREA TOTAL: 862,043 square feet or 19.79 acres

GROSS FLOOR AREA:

Existing:	66,850 square feet	0.08 F.A.R.
Proposed:	363,797 square feet	0.46 F.A.R.
Permitted:	N/A	

BUILDING COVERAGE:

Existing:	66,850 square feet	8% of Site MOL
Proposed:	211,120 square feet	24.5% of Site MOL
Permitted:	N/A	

IMPERVIOUS SURFACE:

Existing:	401,661 square feet	47% of Site MOL
Proposed:	508,856 square feet	59% of Site MOL
Permitted:	560,328 square feet	65% of Site MOL

OPEN GREEN SPACE:

Existing:	460,382 square feet	53% of Site MOL
Proposed:	353,187 square feet	41% of Site MOL

PAVING COVERAGE:

Existing:	334,811 square feet	39% of Site MOL
Proposed:	297,736 square feet	34.5% of Site MOL

PARKING:

Existing:	225; including 0 handicapped spaces
Proposed:	595; including 12 handicapped spaces
Required	506; including 10 handicapped spaces

BUILDING HEIGHT:

Existing:	15 feet
Proposed:	48 feet
Permitted:	48 feet

APPLICATION REVIEW:

I. **PROCEDURAL REQUIREMENTS:** The applicant has met and complied with the procedural requirements of Section 16.10.020.1 of the Municipal Code for a multi-family development which is a permitted use within the Neighborhood Suburban Multi-family-1 (NSM-1) Zoning District.

II. DISCUSSION AND RECOMMENDATIONS:**The Request:**

The applicant seeks approval of a site plan to construct a 297-unit multi-family development. The subject property is located at the northwest corner of 54th Avenue North and 1st Street North. The subject property is located in the Edgemoor Neighborhood. The existing property is currently developed with a 150-unit mobile home park. Of the 150-units, 50 of them are occupied on a month to month basis.

Current Proposal:

The applicant is proposing a gated multi-family community consisting of apartments, townhomes, carriage homes and "skinny" homes. The applicant is proposing two pool areas, a club house, and a dog park. The main vehicular entrance into the development will be from 54th Avenue North with secondary vehicular access points from 1st Street Northeast, 4th Street North and Barnard Place North. The applicant proposes five 3-story garden style apartment buildings

and two 3-story carriage home buildings with a pool area and club house along the southern portion of the property. The remaining portion of the property will be developed with nine 2-story and seven 3-story townhome buildings and 14 "skinny" homes. An existing lake is located along the western side of the subject property. The "skinny" home lots, three townhome buildings and one garden style apartment building will be oriented towards the existing lake. A pedestrian sidewalk will ring three sides of the existing lake, providing access to the residents of the development. Pedestrian sidewalks will connect the buildings on site with each other and connect to the public sidewalks in the abutting rights-of-way. There will be large surface parking areas located adjacent to the garden style apartment buildings and small pockets of surface parking areas spread throughout the remaining portion of the development. Parking will also be provided in individual garages in the first floor of the townhome and skinny home buildings.

Elevations

The proposed apartment buildings will be of a traditional style of architecture. The structures will be finished with stucco and hardie board with asphalt and concrete tile hip and gable roofs. The facades have been articulated with the use of roof brackets, metal awnings, projecting balconies, changes in building materials and breaks in the plan of the building façade.

VARIANCE:

Fence/wall Height

Required:	6-feet
Proposed:	8-feet
Variance:	2-feet

The applicant is seeking to construct an 8-foot-high masonry block wall where the subject property abuts the rear yard of a residential zoned property or is separated from a residential and commercially zoned property by an alley. An eight-foot-high decorative metal fence is proposed for the portion of the subject property that abuts a public street right-of-way. The applicant states in the narrative that the additional height is at the request of the adjacent residents. The public participation report acknowledged that the residents requested an 8-foot-high fence/wall. The public participation report has been signed by the Edgemoor Neighborhood Association. The residents want the additional height to prevent pedestrian and vehicular traffic from entering the existing neighborhood. The additional wall height will be negligible from the public rights-of-way since the wall is at the rear of the residential properties and alleyways. The 8-foot tall fence is transparent, helping to mitigate for the additional height. Staff is also requiring that the required shade trees be installed on the outside of the fence to help further mitigate for the additional height.

Public Comments:

Staff received one phone call. The caller expressed support for the eight-foot high fence/wall, since it will help mitigate for the increase in building height that will occur due to the buildings having to be elevated to comply with FEMA regulations. The same caller did object to the vehicular access onto Barnard Place North.

I. RECOMMENDATION:

A. Staff recommends APPROVAL of the site plan, subject to the Special Conditions of Approval.

B. SPECIAL CONDITIONS OF APPROVAL:

1. All buildings on-site shall be connected via a sidewalk network.

2. The sidewalks on private property shall connect to the public sidewalks in the abutting rights-of-way.
3. The crosswalks in the parking lot shall be constructed from a different material than the parking lot. The use of asphalt as part of the sidewalk or crosswalk shall not be permitted.
4. Crosswalks shall be added in front of the townhomes to connect the sidewalks on either side.
5. Decorative open fencing shall be provided along the public rights-of-way. The installation of the fencing is at the discretion of the applicant.
6. The rear of the structures that are oriented towards the public rights-of-way shall resemble a front of a building and have the same level of architectural detail as the front elevations.
7. Pedestrian scale lighting shall be installed along the internal sidewalk network.
8. The shade trees that are required to be installed in the exterior green yard shall be installed on the exterior perimeter of the 8-foot high decorative fence.
9. All buildings on-site shall comply with Section 16.20.030.11 Building Design.
10. The proposed location of on-site dumpsters shall be approved by the City's Sanitation Department.
11. Mechanical Equipment shall be screened from the abutting rights-of-way with architectural features that match the building.
12. Exterior lighting shall comply with Section 16.40.070.
13. Bicycle parking shall comply with Section 16.40.090.4.1.
14. Plans shall be revised as necessary to comply with comments provided by the City's Engineering Department, comments are provided in the attached memorandum dated April 18, 2019.
15. This Site Plan approval shall be valid through May 1, 2022. Substantial construction shall commence prior to this expiration date, unless an extension has been approved by the POD. A request for extension must be filed in writing prior to the expiration date.

C. STANDARD CONDITIONS OF APPROVAL

(All or Part of the following standard conditions of approval may apply to the subject application. Application of the conditions is subject to the scope of the subject project and at the discretion of the Zoning Official. Applicants who have questions regarding the application of these conditions are advised to contact the Zoning Official.)

ALL SITE PLAN MODIFICATIONS REQUIRED BY THE DRC SHALL BE REFLECTED ON A FINAL SITE PLAN TO BE SUBMITTED TO THE PLANNING & ECONOMIC DEVELOPMENT DEPARTMENT BY THE APPLICANT FOR APPROVAL PRIOR TO THE ISSUANCE OF PERMITS.

Building Code Requirements:

1. The applicant shall contact the City's Construction Services and Permitting Division and Fire Department to identify all applicable Building Code and Health/Safety Code issues associated with this proposed project.

2. All requirements associated with the Americans with Disabilities Act (ADA) shall be satisfied.

Zoning/Planning Requirements:

1. The applicant shall submit a notice of construction to Albert Whitted Field if the crane height exceeds 190 feet. The applicant shall also provide a Notice of Construction to the Federal Aviation Administration (FAA), if required by Federal and City codes.
2. All site visibility triangle requirements shall be met (Chapter 16, Article 16.40, Section 16.40.160).
3. No building or other obstruction (including eaves) shall be erected and no trees or shrubbery shall be planted on any easement other than fences, trees, shrubbery, and hedges of a type approved by the City.
4. The location and size of the trash container(s) shall be designated, screened, and approved by the Manager of Commercial Collections, City Sanitation. A solid wood fence or masonry wall shall be installed around the perimeter of the dumpster pad.

Engineering Requirements:

1. The site shall be in compliance with all applicable drainage regulations (including regional and state permits) and the conditions as may be noted herein. The applicant shall submit drainage calculations and grading plans (including street crown elevations), which conform with the quantity and the water quality requirements of the Municipal Code (Chapter 16, Article 16.40, Section 16.40.030), to the City's Engineering Department for approval. Please note that the entire site upon which redevelopment occurs shall meet the water quality controls and treatment required for development sites. Stormwater runoff release and retention shall be calculated using the rational formula and a 10-year, one-hour design storm.
2. All other applicable governmental permits (state, federal, county, city, etc.) must be obtained before commencement of construction. A copy of other required governmental permits shall be provided to the City Engineering & Capital Improvements Department prior to requesting a Certificate of Occupancy. Issuance of a development permit by the City does not in any way create any rights on the part of the applicant to obtain a permit from a governmental agency and does not create any liability on the part of the City of St. Petersburg for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by other governmental agencies or undertakes actions that result in a violation of state or federal law.
3. A work permit issued by the Engineering Department shall be obtained prior to commencement of construction within dedicated rights-of-way or easements.
4. The applicant shall submit a completed Storm Water Management Utility Data Form to the City's Engineering Department for review and approval prior to the approval of any permits.
5. Curb-cut ramps for the physically handicapped shall be provided in sidewalks at all corners where sidewalks meet a street or driveway.

Landscaping Requirements:

1. The applicant shall submit a revised landscape plan, which complies with the plan approved by the DRC and includes any modifications as required by the DRC. The DRC grants the Planning & Economic Development Department discretion to modify the approved landscape plan where necessary due to unforeseen circumstances (e.g. stormwater requirements, utility conflicts, conflicts with existing trees, etc.), provided the intent of the applicable ordinance(s) is/are maintained. Landscaping plans shall be in accordance with Chapter 16, Article 16.40, Section 16.40.060 of the City Code entitled "Landscaping and Irrigation."
2. Any plans for tree removal and permitting shall be submitted to the Development Services Division for approval.
3. All existing and newly planted trees and shrubs shall be mulched with three (3) inches of organic matter within a two (2) foot radius around the trunk of the tree.
4. The applicant shall install an automatic underground irrigation system in all landscaped areas. Drip irrigation may be permitted as specified within Chapter 16, Article 16.40, Section 16.40.060.2.2.
5. Concrete curbing, wheelstops, or other types of physical barriers shall be provided around/within all vehicular use areas to protect landscaped areas.
6. Any healthy existing oak trees over two (2) inches in diameter shall be preserved or relocated if feasible.
7. Any trees to be preserved shall be protected during construction in accordance with Chapter 16, Article 16.40.060.5 and Section 16.40.060.2.1.3 of City Code.

IV. CONSIDERATIONS BY THE DEVELOPMENT REVIEW COMMISSION FOR REVIEW (Pursuant to Chapter 16, Section 16.70.040.1.4 (D)):

- A. The use is consistent with the Comprehensive Plan.
- B. The property for which a Site Plan Review is requested shall have valid land use and zoning for the proposed use prior to site plan approval;
- C. Ingress and egress to the property and proposed structures with particular emphasis on automotive and pedestrian safety, separation of automotive and bicycle traffic and control, provision of services and servicing of utilities and refuse collection, and access in case of fire, catastrophe and emergency. Access management standards on State and County roads shall be based on the latest access management standards of FDOT or Pinellas County, respectively;
- D. Location and relationship of off-street parking, bicycle parking, and off-street loading facilities to driveways and internal traffic patterns within the proposed development with particular reference to automotive, bicycle, and pedestrian safety, traffic flow and control, access in case of fire or catastrophe, and screening and landscaping;
- E. Traffic impact report describing how this project will impact the adjacent streets and intersections. A detailed traffic report may be required to determine the project impact on the level of service of adjacent streets and intersections. Transportation system management techniques may be required where necessary to offset the traffic impacts;

- F. Drainage of the property with particular reference to the effect of provisions for drainage on adjacent and nearby properties and the use of on-site retention systems. The Commission may grant approval, of a drainage plan as required by city ordinance, County ordinance, or SWFWMD;
- G. Signs, if any, and proposed exterior lighting with reference to glare, traffic safety and compatibility and harmony with adjacent properties;
- H. Orientation and location of buildings, recreational facilities and open space in relation to the physical characteristics of the site, the character of the neighborhood and the appearance and harmony of the building with adjacent development and surrounding landscape;
- I. Compatibility of the use with the existing natural environment of the site, historic and archaeological sites, and with properties in the neighborhood as outlined in the City's Comprehensive Plan;
- J. Substantial detrimental effects of the use, including evaluating the impacts of a concentration of similar or the same uses and structures, on property values in the neighborhood;
- K. Substantial detrimental effects of the use, including evaluating the impacts of a concentration of similar or the same uses and structures, on living or working conditions in the neighborhood;
- L. Sufficiency of setbacks, screens, buffers and general amenities to preserve internal and external harmony and compatibility with uses inside and outside the proposed development and to control adverse effects of noise, lights, dust, fumes and other nuisances;
- M. Land area is sufficient, appropriate and adequate for the use and reasonably anticipated operations and expansion thereof;
- N. Landscaping and preservation of natural manmade features of the site including trees, wetlands, and other vegetation;
- O. Sensitivity of the development to on-site and adjacent (within two-hundred (200) feet) historic or archaeological resources related to scale, mass, building materials, and other impacts;
 - 1. The site is **not within** an Archaeological Sensitivity Area (Chapter 16, Article 16.30, Section 16.30.070).
 - 2. The property is **within** a flood hazard area (Chapter 16, Article 16.40, Section 16.40.050).
- P. Availability of hurricane evacuation facilities for developments located in the hurricane vulnerability zones;
- Q. Meets adopted levels of service and the requirements for a Certificate of Concurrency by complying with the adopted levels of service for:
 - a. Water.
 - b. Sewer (Under normal operating conditions).
 - c. Sanitation.
 - d. Parks and recreation.
 - e. Drainage.

The land use of the subject property is: **Residential Medium**

The land uses of the surrounding properties are:

North: **Residential Medium, Planned Redevelopment Residential and
Planned Redevelopment Mixed-use**

South: **Residential Medium and Planned Redevelopment Mixed-use**

East **Residential Medium and Residential Urban**

West: **Planned Redevelopment Mixed-use**

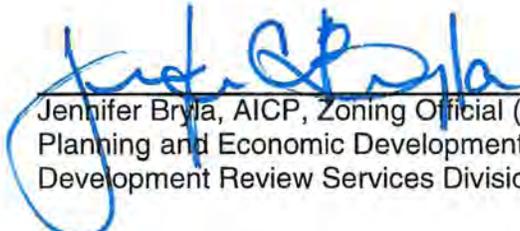
REPORT PREPARED BY:



Corey Malyszka, Urban Design/Development Coordinator

4-23-19
DATE

REPORT APPROVED BY:



Jennifer Bryla, AICP, Zoning Official (POD)
Planning and Economic Development
Development Review Services Division

4-23-19
DATE



Project Location Map
City of St. Petersburg, Florida
Planning and Development Services
Department
Case No.: 19-31000002
Address: 5475 3rd Lane North





George F. Young, Inc.
7900 W. COUNTY ROAD 10, SUITE 100, P.O. BOX 10000, TAMPA, FL 33610
PHONE: (813) 973-1100 FAX: (813) 973-1101
WWW.GEORGEFYOUNG.COM
A MEMBER OF THE GEORGE F. YOUNG GROUP

NO.	DATE	DESCRIPTION
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322</		





46'-1"

1'-6 3/4" 1'-6 3/4" 1'-6 3/4"

9'-1"

9'-1"

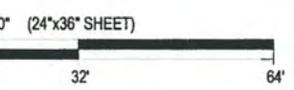
9'-1"

10'-1"





FRONT ELEVATION



NEW NORTHEAST MULTI-FAMILY

EXHIBIT A: PROJECT NARRATIVE AND VARIANCE REQUESTS

PROJECT SITE:

The project site is currently zoned NSM-1 which allows 15 units per acre and consists of approximately 19.79 acres on the northwest corner of 54th Avenue Northeast and 1st Street North. The site was formerly used as a mobile home park and its area is currently vacant. The site is located in the Edgemoor Neighborhood.

CURRENT PROJECT SCOPE:

St. Pete 454 LLC is requesting a Special Exception and Site Plan approval and is proposing a total of 297 multi-family units (297 units allowed) including 69 one-bedroom/one bath units, 108 two bedroom/two bath units, 42 three bedroom/2.5 bath units and 78 three bedroom/three bath units. Also proposed are two pool areas, two dog parks and a clubhouse for use by the residents.

A total of 595 parking spaces are currently proposed including 206 garage spaces and 389 surface parking spaces.

The main access point is proposed on 54th Ave. NE with secondary access points on 1st St. N, Barnard Place and also from Barnard Blvd. to 4th St. N. .

It will be necessary to expand the existing stormwater pond and elevate the existing pond banks.

Requested Variance:

One variance is being requested:

1) Masonry Wall/Decorative Metal Fence Height:

An 8' tall masonry wall is being proposed adjacent to all adjoining commercial and residential parcels. The increased wall height is being proposed at the request of the adjacent property owners and was requested during the meeting with the neighborhood association. An 8' tall decorative metal fence is being proposed adjacent to the street rights of way. The 8' tall fence is being proposed in order to match the height of the wall.



PUBLIC PARTICIPATION REPORT

Application No. _____

In accordance with LDR Section 16.70.040.1.F, "It is the policy of the City to encourage applicants to meet with residents of the surrounding neighborhoods prior to filing an application for a permit requiring review and public hearing. The applicant, at his option, may elect to include neighborhood mediation as a preparatory step in the development process. Participation in the public participation process prior to required public hearings will be considered by the decision-making official when considering the need, or request, for a continuance of an application. It is not the intent of this section to require neighborhood meetings, but to encourage meetings prior to the submission of applications for approval and documentation of efforts which have been made to address any potential concerns prior to the formal application process.

APPLICANT REPORT	
Street Address:	
1. Details of techniques the applicant used to involve the public	
(a) Dates and locations of all meetings where citizens were invited to discuss the applicant's proposal	
On February 11, 2019, Grady Pridgen met with Richard Kirby, President, and Tom DeMint, Vice President of the Edgemoor Neighborhood Association and also met separately with Forest Mixon, a neighbor who lives on the north side of the site at 5710 Pacific Street N. Mr. Pridgen explained the site plan and proposed project.	
(b) Content, dates mailed, and number of mailings, including letters, meeting notices, newsletters, and other publications	
Mr. Pridgen met in person on February 11, 2019 with Richard Kirby, Tom DeMint and Forest Mixon.	
(c) Where residents, property owners, and interested parties receiving notices, newsletters, or other written materials are located	
The interested residents are generally located to the north and east of the site.	
2. Summary of concerns, issues, and problems expressed during the process	
The residents have requested an 8 foot high wall be built to prevent foot and automobile traffic from the site into the neighborhood. The Applicant's application requests a variance to permit the 8 foot wall.	
3. Signature or affidavit of compliance - President or vice-president of any neighborhood associations	
Check one: <input checked="" type="checkbox"/> Proposal supported	
<input type="checkbox"/> Do not support the Proposal	
<input type="checkbox"/> Unable to comment on the Proposal at this time	
<input type="checkbox"/> Other comment(s):	
Edgemoor Neighborhood Assoc.	RA ELM, A-DeMint UP-ENA
Association Name	President or Vice-President Signature
If the president or vice-president of the neighborhood association are unavailable or refuse to sign such certification, a statement as to the efforts to contact them and (in the event of unavailability or unwillingness to sign) why they were unable or unwilling to sign the certification.	

MEMORANDUM
CITY OF ST. PETERSBURG
ENGINEERING DEPARTMENT

TO: Iris Winn, Administrative Clerk, Development Services Department
Jennifer Bryla, Planning & Development Services Zoning Official, Development Services
Corey Malyszka, Deputy Zoning Official, Development Services Department

FROM: Nancy Davis, Engineering Plan Review Supervisor

DATE: April 18, 2019

SUBJECT: Site Plan

FILE: 19-31000002

LOCATION 5475 3rd Lane North
31/30/17/61389/000/0010

ATLAS: E-30 **ZONING:** NSM-1

PROJECT: 297-unit multi family

REQUEST: Approval of a Site Plan to construct a 297-unit multi-family development. The applicant is requesting a variance to the maximum wall height.

The Engineering Department has no objection to the proposed site plan provided that the following special conditions and standard comments are added as conditions of approval:

SPECIAL CONDITIONS OF APPROVAL:

1. Please assure that the developer's design professional(s) coordinate with Duke Energy prior to proceeding with further development of this site plan to assure that the design has provided adequate space for any Duke Energy equipment which may be required to be placed within the private property boundary to accommodate the building power needs. Early coordination is necessary to avoid additional expense and project delays which may occur if plans must be changed later in the building/site design stage as necessary to accommodate power equipment on-site and not within the public right of way. If you have not already done so, please initiate contact with Jeff.Baker3@duke-energy.com.
2. The scope of this project triggers compliance with the Drainage and Surface Water Management Regulations found in City Code Section 16.40.030. Submit drainage calculations which conform to the water quantity and the water quality requirements of City Code Section 16.40.030. Please note the volume of runoff to be treated shall include all off-site and on-site areas draining to and co-mingling with the runoff from that portion of the site which is redeveloped. Stormwater runoff release and retention shall be calculated using the Rational formula and a 10-year 1-hour design storm. The tailwater condition used in the design shall be clearly identified in the stormwater report. Prior to approval of a plan, the owner's engineer of record shall verify that existing public infrastructure has sufficient capacity or will have sufficient capacity prior to issuance of a certificate of occupancy, to convey the drainage flow after considering the current and proposed infrastructure demand.

Stormwater systems which discharge directly or indirectly into impaired waters must provide net improvement for the pollutants that contribute to the water body's impairment. The BMPTrains model shall be used to verify compliance with Impaired Water Body and TMDL criteria.

A site grading plan shall be developed by the project Engineer of Record to assure that no stormwater runoff is directed onto neighboring private properties.

3. Public sidewalks are required by City of St. Petersburg Municipal Code Section 16.40.140.4.2 unless specifically limited by the DRC approval conditions. Within the NSM zoning district, public sidewalks are required along the north and west sides of all adjacent public right of way if not existing. The public sidewalk required within the right-of-way of 54th Avenue North and 1st Street North must be 6' wide, sidewalk along the west side of Manchester Street North will need to be 4' wide.

Existing sidewalks and new sidewalks will require curb cut ramps for physically handicapped and truncated dome tactile surfaces (of contrasting color to the adjacent sidewalk, colonial red color preferred) at all corners or intersections with roadways that are not at sidewalk grade and at each side of proposed driveways per current ADA requirements. Concrete sidewalks must be continuous through all driveway approaches. All public sidewalks must be restored or reconstructed as necessary to good and safe ADA compliant condition prior to Certificate of Occupancy.

4. Per land development code 16.40.140.4.6 (9), habitable floor elevations for commercial projects must be set per building code requirements to at least two feet above the FEMA elevation. The construction site upon the lot shall be a minimum of one foot above the average grade crown of the road, which crown elevation shall be as set by the engineering director. In no case shall the elevation of the portion of the site where the building is located be less than an elevation of 103 feet according to City datum.

5. Wastewater reclamation plant and pipe system capacity will be verified prior to development permit issuance. Any necessary sanitary sewer pipe system upgrades or extensions (resulting from a proposed service or an increase in projected flow) as required to provide connection to a public collection system of adequate capacity and condition, shall be performed by and at the sole expense of the applicant. Proposed design flows (ADF) must be provided by the Engineer of Record on the City's Wastewater Tracking Form (form available upon request from the City Engineering department, phone 727-893-7238). If an increase in flow of over 1000 gpd is proposed, the ADF information will be forwarded to City Engineering Design for a system analysis of public main sizes 10 inches and larger proposed to be used for connection. The project engineer of record must provide and include with the proposed civil utility connection plan, 1) a completed Wastewater Tracking form, and 2) a capacity analysis of public mains less than 10 inches in size which are proposed to be used for connection. If the condition or capacity of the existing public conveyance system is found insufficient, the conveyance system must be upgraded to provide adequate capacity and condition, by and at the sole expense of the developer. The extent or need for system improvements cannot be determined until proposed design flows and sanitary sewer connection plan are provided to the City's Water Resources department for system analysis of main sizes 10" and larger. Connection charges are applicable and any necessary system upgrades or extensions shall meet current City Engineering Standards and Specifications and shall be performed by and at the sole expense of the developer.

6. As part of the redevelopment project and at the sole expense of the developer, all existing sanitary sewer service piping and service laterals which exist within and extend to the development site must be removed, plugged, and properly isolated from the public sanitary sewer system to prevent infiltration. All new laterals,

sewer mains, manholes and cleanouts shall be installed by the developer as part of the redevelopment project to offset any increase in sanitary sewage generated by the additional 80 dwelling units (297 new dwelling units – 217 mobile homes = 80 net new units).

7. All existing redundant (abandoned) driveway approaches or drop curbing which exist within the public right-of-way around the perimeter of the project redevelopment shall be removed as part of the project. Pavement surfaces associated with these approaches shall be completely removed from within the right-of-way and any existing drop curbing shall be removed and replaced with a raised curb to match existing curb type.

8. The project must meet the minimum requirements for automobile stacking at all entrances to the property if a remote control gate is used. Note that card readers will not be allowed within the City right-of-way and must be located on private property.

9. Any public easements or right of way within the property which conflict with the proposed construction project must be vacated. Initiate any required vacation requests through the City's Zoning division. No survey has yet been provided or reviewed.

10. All required infrastructure (utilities, stormwater pone, & roadways) within the property boundary shall be privately owned and maintained by a Homeowner's Association.

11. A Right of Way work permit issued by the Engineering Department must be obtained prior to the commencement of construction within dedicated right-of-way or public easement. All work within right of way or public utility easement shall be in compliance with current City Engineering Standards and Specifications and shall be installed at the applicant's expense in accordance with the standards, specifications, and policies adopted by the City.

STANDARD COMMENTS: Water service is available to the site. The applicant's Engineer shall coordinate potable water and /or fire service requirements through the City's Water Resources department. Recent fire flow test data shall be utilized by the site Engineer of Record for design of fire protection system(s) for this development. Any necessary system upgrades or extensions shall be performed at the expense of the developer.

Water and fire services and/or necessary backflow prevention devices shall be installed below ground in vaults per City Ordinance 1009-g (unless determined to be a high hazard application by the City's Water Resources department or a variance is granted by the City Water Resources department). Note that the City's Water Resources Department will require an exclusive easement for any meter or backflow device placed within private property boundaries. City forces shall install all public water service meters, backflow prevention devices, and/or fire services at the expense of the developer. Contact the City's Water Resources department, Kelly Donnelly, at 727-892-5614 or kelly.donnelly@stpete.org. All portions of a private fire suppression system shall remain within the private property boundaries and shall not be located within the public right of way (i.e. post indicator valves, fire department connections, etc.).

Plan and profile showing all paving, drainage, sanitary sewers, and water mains (seawalls if applicable) to be provided to the Engineering Department for review and coordination by the applicant's engineer for all construction proposed or contemplated within dedicated right of way or easement.

The project Engineer will be required to develop a site-specific Maintenance of Traffic plan in compliance with FDOT "Uniform Traffic Control Devices for Streets and Highways" and "Roadways and Traffic Design Standards for City approval prior to initiating construction. The plan shall provide for pedestrian and vehicular safety during the construction process and shall minimize the use of the public right of way for construction purposes. Approval of proposed roadway travel lane closures is discouraged and will be at the discretion of the City's Engineering director pending receipt of adequate justification. The Maintenance of Traffic plan shall be prepared in compliance with City Engineering's "Maintenance of Traffic Plan Requirements", available upon request from the City Engineering & Capital Improvements department. Proposed use of on-street public parking spaces for construction purposes must receive prior approval from the City's Transportation and Parking Management division. Refer to the City's "Parking Meter Removal & Space Rental Policy During Construction" procedure, available upon request from the City Transportation and Parking Management department. Redevelopment within this site shall be coordinated as may be necessary to facilitate any City Capital Improvement projects in the vicinity of this site which occur during the time of construction.

Note that contractor introduction letters must be sent to all surrounding businesses, associations, and property owners prior to implementing any Maintenance of Traffic plan. As a minimum, the letter must give a description of the project, provide a list of all right of way impacts (parking impacts, travel lane impacts, sidewalk closures and temporary pedestrian paths, etc.), a schedule for each phase of the MOT implementation, and what to expect with regard to noise, delivery trucks, concrete trucks & pumps, as well as contact information for the on-site contractors representative with 24 hour availability who is responsible for addressing any and all concerns of impacted citizens. The contractor must personally visit each operating business around the construction site and make direct contact with any active business association or neighborhood association and personally introduce themselves to the business owners and association presidents. The contractor must also meet with any association representatives and property owners periodically to address any concerns that may develop as the project proceeds.

Development plans shall include a grading plan to be submitted to the Engineering Department including street crown elevations. Lots shall be graded in such a manner that all surface drainage shall be in compliance with the City's stormwater management requirements. A grading plan showing the building site and proposed surface drainage shall be submitted to the engineering director.

Development plans shall include a copy of a Southwest Florida Water Management District Management of Surface Water Permit or Letter of Exemption or evidence of Engineer's Self Certification to FDEP.

It is the developer's responsibility to file a CGP Notice of Intent (NOI) (DEP form 62- 21.300(4)(b)) to the NPDES Stormwater Notices Center to obtain permit coverage if applicable.

Submit a completed Stormwater Management Utility Data Form to the City Engineering Department.

The applicant will be required to submit to the Engineering Department copies of all permits from other regulatory agencies including but not limited to FDOT, FDEP, SWFWMD and Pinellas County, as required for this project. Plans specifications are subject to approval by the Florida state board of Health.

NED/MJR/mh

pc: Kelly Donnelly
Correspondence File



**CITY OF ST. PETERSBURG
PLANNING & DEVELOPMENT DEPT.
DEVELOPMENT REVIEW SERVICES DIVISION**

**DEVELOPMENT REVIEW COMMISSION
STAFF REPORT**

SPECIAL EXCEPTION PUBLIC HEARING

According to Planning & Development Department records, **no Commission member** resides or has a place of business within 2,000 feet of the subject property. All other possible conflicts should be declared upon the announcement of the item.

REPORT TO THE DEVELOPMENT REVIEW COMMISSION FROM DEVELOPMENT REVIEW SERVICES DIVISION, PLANNING & DEVELOPMENT DEPARTMENT, for Public Hearing and Executive Action on May 1, 2019 at 2:00 P.M. in Council Chambers, City Hall, 175 Fifth Street North, St. Petersburg, Florida.

CASE NO.: 19-32000004 **PLAT SHEET:** F-54

REQUEST: Approval of a Special Exception and related site plan to convert an existing commercial space into a 12,977 square-foot health club.

OWNER: F W I 8
c/o Bruce Strumpf, Inc.
2120 Drew Street
Clearwater, Florida 33765-3214

AGENT: Steve Plattner
Retro Fitness
1120 E. Kennedy Boulevard, Suite 152
Tampa, Florida 33602

ADDRESS: 10410 Roosevelt Boulevard North

PARCEL ID NO.: 18-30-17-30371-001-0030

LEGAL DESCRIPTION: On File

ZONING: Corridor Commercial Suburban-2 (CCS-2)

SITE AREA TOTAL: 433,628 square feet or 9.95 acres

GROSS FLOOR AREA:

Existing:	87,888 square feet	0.20 F.A.R.
Proposed:	87,888 square feet	0.20 F.A.R.
Permitted:	485,663 square feet	1.12 F.A.R.

BUILDING COVERAGE:

Existing:	87,888 square feet	20% of Site MOL
Proposed:	87,888 square feet	20% of Site MOL
Permitted:	N/A	

IMPERVIOUS SURFACE:

Existing:	285,979 square feet	66% of Site MOL
Proposed:	285,979 square feet	66% of Site MOL
Permitted:	390,265 square feet	90% of Site MOL

OPEN GREEN SPACE:

Existing:	147,649 square feet	34% of Site MOL
Proposed:	147,649 square feet	34% of Site MOL

PAVING COVERAGE:

Existing:	198,091 square feet	46% of Site MOL
Proposed:	198,091 square feet	46% of Site MOL

PARKING:

Existing:	509; including 13 handicapped spaces
Proposed:	509; including 13 handicapped spaces
Required	508; including 10 handicapped spaces

BUILDING HEIGHT:

Existing:	20 feet
Proposed:	20 feet
Permitted:	84 feet

APPLICATION REVIEW:

- I. **PROCEDURAL REQUIREMENTS:** The applicant has met and complied with the procedural requirements of Section 16.10.020.1 of the Municipal Code for a health club which is a Special Exception use within the Commercial Corridor Suburban-2 (CCS-2) Zoning District.
- II. **DISCUSSION AND RECOMMENDATIONS:**

The Request:

The applicant seeks approval of a Special Exception and related site plan to convert an existing commercial space into a 12,977 square foot health club. A health club that is greater than 5,000 square feet in the CCS-2 zoning district is considered a Special Exception use requiring approval by the DRC. The subject property is located at the southeast corner of Dr. Martin Luther King Jr. Street North and Roosevelt Boulevard North.

Current Proposal:

The subject property is currently developed with an 87,888 square foot multi-tenant shopping center. The applicant is seeking to convert a 12,977 square foot tenant space, formerly a Walgreens, into a health club.

The existing multi-tenant shopping center building is located along the southern portion of the subject property with an expansive surface parking lot that is north of the existing building. An existing preservation area is located along Roosevelt Boulevard North. Vehicular access is provided from five shared ingress/egress drives. No site work or exterior modifications to the existing building are being proposed. The only changes made by the applicant will be to the interior tenant space. The health club will include multiple areas for physical fitness, personal training, cardio, class training, locker rooms and a juice bar.

The DRC is required to review the expansion of the health club for any possible adverse impacts such as noise, lights, traffic circulation or traffic congestion. The proposed health club will be located fully indoors, alleviating any potential noise impacts from the residential uses that are located south of the subject property. The existing shopping center has adequate parking and multiple points of vehicular access from the surrounding road network. The existing shopping center abuts two major roadways, Dr. Martin Luther King Jr. Street North and Roosevelt Boulevard North. The City's Transportation Planner has reviewed the proposal and has determined that the existing street network has adequate capacity to support a health club at the existing shopping center.

Public Comments:

No comments or concerns were expressed to the author at the time this report was prepared.

III. RECOMMENDATION:

A. Staff recommends APPROVAL of the Special Exception and related site plan, subject to the Special Conditions of Approval:

B. SPECIAL CONDITIONS OF APPROVAL:

- 1. This Special Exception approval shall be valid through May 1, 2022. Substantial construction shall commence prior to this expiration date, unless an extension has been approved by the POD. A request for extension must be filed in writing prior to the expiration date.**

C. STANDARD CONDITIONS OF APPROVAL

(All or Part of the following standard conditions of approval may apply to the subject application. Application of the conditions is subject to the scope of the subject project and at the discretion of the Zoning Official. Applicants who have questions regarding the application of these conditions are advised to contact the Zoning Official.)

ALL SITE PLAN MODIFICATIONS REQUIRED BY THE DRC SHALL BE REFLECTED ON A FINAL SITE PLAN TO BE SUBMITTED TO THE PLANNING & ECONOMIC DEVELOPMENT DEPARTMENT BY THE APPLICANT FOR APPROVAL PRIOR TO THE ISSUANCE OF PERMITS.

Building Code Requirements:

1. The applicant shall contact the City's Construction Services and Permitting Division and Fire Department to identify all applicable Building Code and Health/Safety Code issues associated with this proposed project.
2. All requirements associated with the Americans with Disabilities Act (ADA) shall be satisfied.

Zoning/Planning Requirements:

1. No building or other obstruction (including eaves) shall be erected and no trees or shrubbery shall be planted on any easement other than fences, trees, shrubbery, and hedges of a type approved by the City.
2. The location and size of the trash container(s) shall be designated, screened, and approved by the Manager of Commercial Collections, City Sanitation. A solid wood fence or masonry wall shall be installed around the perimeter of the dumpster pad.

Engineering Requirements:

1. The site shall be in compliance with all applicable drainage regulations (including regional and state permits) and the conditions as may be noted herein. The applicant shall submit drainage calculations and grading plans (including street crown elevations), which conform with the quantity and the water quality requirements of the Municipal Code (Chapter 16, Article 16.40, Section 16.40.030), to the City's Engineering Department for approval. Please note that the entire site upon which redevelopment occurs shall meet the water quality controls and treatment required for development sites. Stormwater runoff release and retention shall be calculated using the rational formula and a 10-year, one-hour design storm.
2. All other applicable governmental permits (state, federal, county, city, etc.) must be obtained before commencement of construction. A copy of other required governmental permits shall be provided to the City Engineering & Capital Improvements Department prior to requesting a Certificate of Occupancy. Issuance of a development permit by the City does not in any way create any rights on the part of the applicant to obtain a permit from a governmental agency and does not create any liability on the part of the City of St. Petersburg for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by other governmental agencies or undertakes actions that result in a violation of state or federal law.
3. A work permit issued by the Engineering Department shall be obtained prior to commencement of construction within dedicated rights-of-way or easements.
4. The applicant shall submit a completed Storm Water Management Utility Data Form to the City's Engineering Department for review and approval prior to the approval of any permits.
5. Curb-cut ramps for the physically handicapped shall be provided in sidewalks at all corners where sidewalks meet a street or driveway.

Landscaping Requirements:

1. The applicant shall submit a revised landscape plan, which complies with the plan approved by the DRC and includes any modifications as required by the DRC. The DRC grants the Planning & Economic Development Department discretion to modify the approved landscape plan where necessary due to unforeseen circumstances (e.g. stormwater requirements, utility conflicts, conflicts with existing trees, etc.), provided the intent of the applicable ordinance(s) is/are maintained. Landscaping plans shall be in accordance with Chapter 16, Article 16.40, Section 16.40.060 of the City Code entitled "Landscaping and Irrigation."
2. Any plans for tree removal and permitting shall be submitted to the Development Services Division for approval.
3. All existing and newly planted trees and shrubs shall be mulched with three (3) inches of organic matter within a two (2) foot radius around the trunk of the tree.
4. The applicant shall install an automatic underground irrigation system in all landscaped areas. Drip irrigation may be permitted as specified within Chapter 16, Article 16.40, Section 16.40.060.2.2.
5. Concrete curbing, wheelstops, or other types of physical barriers shall be provided around/within all vehicular use areas to protect landscaped areas.
6. Any healthy existing oak trees over two (2) inches in diameter shall be preserved or relocated if feasible.
7. Any trees to be preserved shall be protected during construction in accordance with Chapter 16, Article 16.40.060.5 and Section 16.40.060.2.1.3 of City Code.

IV. CONSIDERATIONS BY THE DEVELOPMENT REVIEW COMMISSION FOR REVIEW (Pursuant to Chapter 16, Section 16.70.040.1.4 (D)):

- A. The use is consistent with the Comprehensive Plan.
- B. The property for which a Site Plan Review is requested shall have valid land use and zoning for the proposed use prior to site plan approval;
- C. Ingress and egress to the property and proposed structures with particular emphasis on automotive and pedestrian safety, separation of automotive and bicycle traffic and control, provision of services and servicing of utilities and refuse collection, and access in case of fire, catastrophe and emergency. Access management standards on State and County roads shall be based on the latest access management standards of FDOT or Pinellas County, respectively;
- D. Location and relationship of off-street parking, bicycle parking, and off-street loading facilities to driveways and internal traffic patterns within the proposed development with particular reference to automotive, bicycle, and pedestrian safety, traffic flow and control, access in case of fire or catastrophe, and screening and landscaping;
- E. Traffic impact report describing how this project will impact the adjacent streets and intersections. A detailed traffic report may be required to determine the project impact on the level of service of adjacent streets and intersections. Transportation system management techniques may be required where necessary to offset the traffic impacts;

- F. Drainage of the property with particular reference to the effect of provisions for drainage on adjacent and nearby properties and the use of on-site retention systems. The Commission may grant approval, of a drainage plan as required by city ordinance, County ordinance, or SWFWMD;
- G. Signs, if any, and proposed exterior lighting with reference to glare, traffic safety and compatibility and harmony with adjacent properties;
- H. Orientation and location of buildings, recreational facilities and open space in relation to the physical characteristics of the site, the character of the neighborhood and the appearance and harmony of the building with adjacent development and surrounding landscape;
- I. Compatibility of the use with the existing natural environment of the site, historic and archaeological sites, and with properties in the neighborhood as outlined in the City's Comprehensive Plan;
- J. Substantial detrimental effects of the use, including evaluating the impacts of a concentration of similar or the same uses and structures, on property values in the neighborhood;
- K. Substantial detrimental effects of the use, including evaluating the impacts of a concentration of similar or the same uses and structures, on living or working conditions in the neighborhood;
- L. Sufficiency of setbacks, screens, buffers and general amenities to preserve internal and external harmony and compatibility with uses inside and outside the proposed development and to control adverse effects of noise, lights, dust, fumes and other nuisances;
- M. Land area is sufficient, appropriate and adequate for the use and reasonably anticipated operations and expansion thereof;
- N. Landscaping and preservation of natural manmade features of the site including trees, wetlands, and other vegetation;
- O. Sensitivity of the development to on-site and adjacent (within two-hundred (200) feet) historic or archaeological resources related to scale, mass, building materials, and other impacts;
 - 1. The site is **not within** an Archaeological Sensitivity Area (Chapter 16, Article 16.30, Section 16.30.070).
 - 2. The property is **not within** a flood hazard area (Chapter 16, Article 16.40, Section 16.40.050).
- P. Availability of hurricane evacuation facilities for developments located in the hurricane vulnerability zones;
- Q. Meets adopted levels of service and the requirements for a Certificate of Concurrency by complying with the adopted levels of service for:
 - a. Water.
 - b. Sewer (Under normal operating conditions).
 - c. Sanitation.
 - d. Parks and recreation.
 - e. Drainage.

The land use of the subject property is: **Planned Redevelopment Commercial and Preservation**

The land uses of the surrounding properties are:

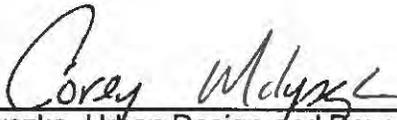
North: **Institutional and Residential Medium**

South: **Planned Redevelopment Commercial**

East: **Institutional and Residential Medium**

West: **Industrial Limited**

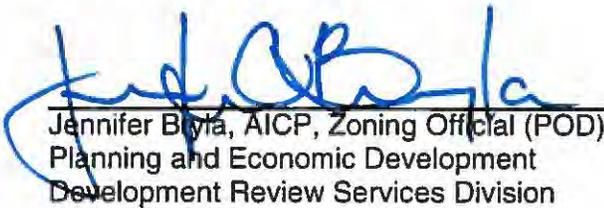
REPORT PREPARED BY:



Corey Malyszka, Urban Design and Development Coordinator

4/23/19
DATE

REPORT APPROVED BY:

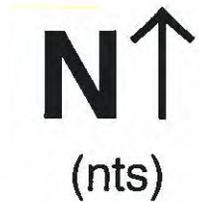


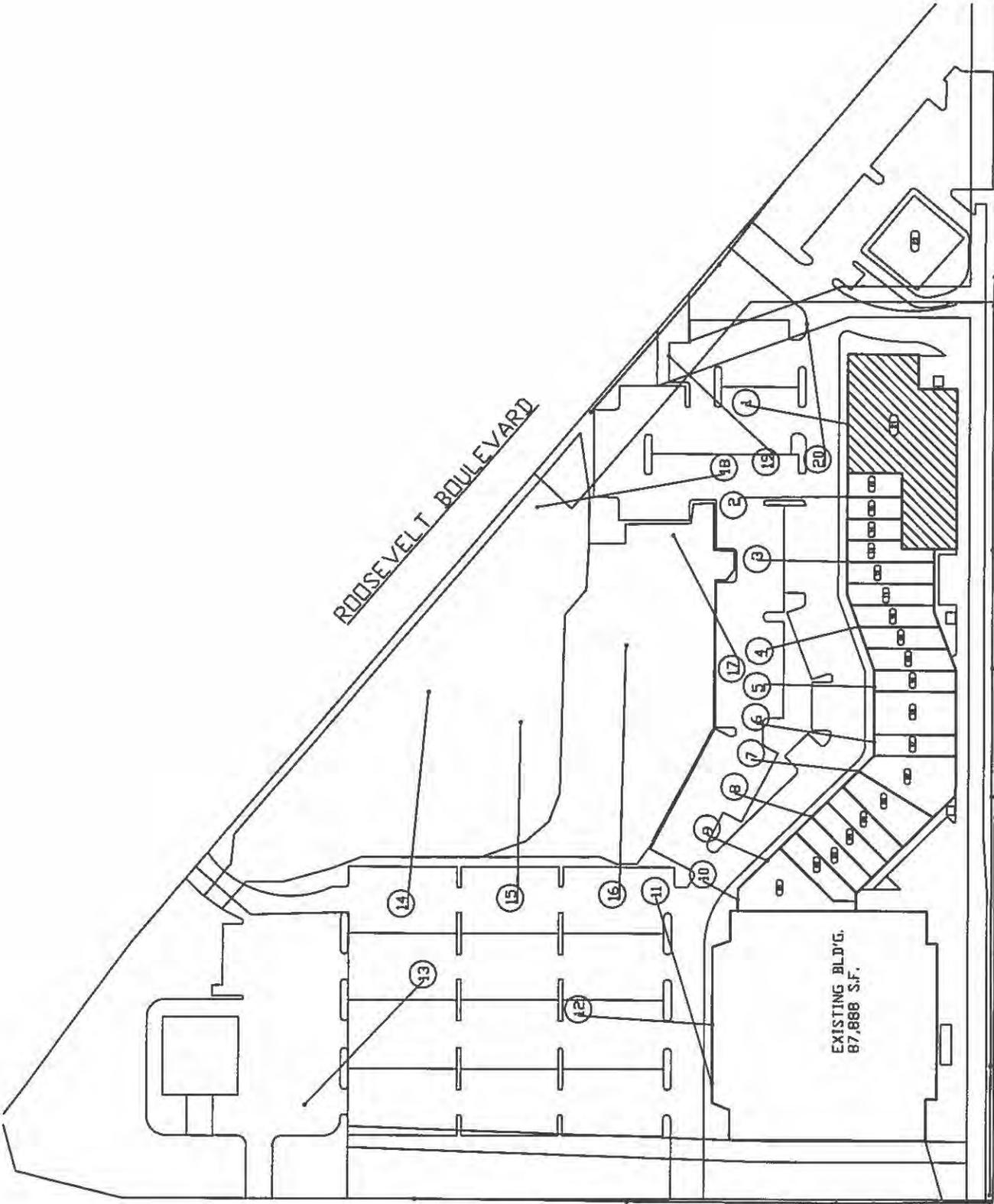
Jennifer Byla, AICP, Zoning Official (POD)
Planning and Economic Development
Development Review Services Division

4.23.19
DATE



Project Location Map
City of St. Petersburg, Florida
Planning and Development Services
Department
Case No.: 19-32000004
Address: 10410 Roosevelt Boulevard North





9TH STREET NORTH

N 08° 13' 07" E 592.50'

PHOTOGRAPH KEY PLAN
SCALE: N.T.S.



PICTURE # 1

RETRO FITNESS, 10410 ROOSEVELT BLVD., ST. PETERSBURG, FL

PROJECT NO. G18-34



PICTURE # 2

RETRO FITNESS, 10410 ROOSEVELT BLVD., ST. PETERSBURG, FL

PROJECT NO. G18-34



PICTURE # 3

RETRO FITNESS, 10410 ROOSEVELT BLVD., ST. PETERSBURG, FL

PROJECT NO. G18-34



PICTURE # 4

RETRO FITNESS, 10410 ROOSEVELT BLVD., ST. PETERSBURG, FL

PROJECT NO. G18-34



PICTURE # 5

RETRO FITNESS, 10410 ROOSEVELT BLVD., ST. PETERSBURG, FL

PROJECT NO. G18-34



PICTURE # 6

RETRO FITNESS, 10410 ROOSEVELT BLVD., ST. PETERSBURG, FL

PROJECT NO. G18-34



PICTURE # 7

RETRO FITNESS, 10410 ROOSEVELT BLVD., ST. PETERSBURG, FL

PROJECT NO. G18-34



PICTURE # 8

RETRO FITNESS, 10410 ROOSEVELT BLVD., ST. PETERSBURG, FL

PROJECT NO. G18-34



PICTURE # 9

RETRO FITNESS, 10410 ROOSEVELT BLVD., ST. PETERSBURG, FL

PROJECT NO. G18-34



PICTURE # 10

RETRO FITNESS, 10410 ROOSEVELT BLVD., ST. PETERSBURG, FL

PROJECT NO. G18-34



PICTURE # 11

RETRO FITNESS, 10410 ROOSEVELT BLVD., ST. PETERSBURG, FL

PROJECT NO. G18-34



PICTURE # 12

RETRO FITNESS, 10410 ROOSEVELT BLVD., ST. PETERSBURG, FL

PROJECT NO. G18-34



PICTURE # 13



PICTURE # 14

RETRO FITNESS, 10410 ROOSEVELT BLVD., ST. PETERSBURG, FL

PROJECT NO. G18-34



PICTURE # 15

RETRO FITNESS, 10410 ROOSEVELT BLVD., ST. PETERSBURG, FL

PROJECT NO. G18-34



PICTURE # 16

RETRO FITNESS, 10410 ROOSEVELT BLVD., ST. PETERSBURG, FL

PROJECT NO. G18-34



PICTURE # 17

RETRO FITNESS, 10410 ROOSEVELT BLVD., ST. PETERSBURG, FL

PROJECT NO. G18-34



PICTURE # 18

RETRO FITNESS, 10410 ROOSEVELT BLVD., ST. PETERSBURG, FL

PROJECT NO. G18-34



PICTURE # 19

RETRO FITNESS, 10410 ROOSEVELT BLVD., ST. PETERSBURG, FL

PROJECT NO. G18-34



PICTURE # 20

RETRO FITNESS, 10410 ROOSEVELT BLVD., ST. PETERSBURG, FL

PROJECT NO. G18-34



7 March 2019

Mr. Corey Malzka, Zoning Official
Planning & Development Services
One 4th Street North
P.O. Box 2842
St. Petersburg, FL 33731-2842

Re: Retro Fitness
10410 Roosevelt Blvd.
St. Petersburg, FL
Project No. G18-34

Dear Mr. Malyska:

Please accept the following "Project Narrative" for the required "Special Exception" application in connection with the above referenced Project.

The Tenant is proposing to occupy an existing 12, 977 sq. ft. vacant facility previously utilized as a Walgreens Pharmacy. The new use will be a Retro Fitness, Health Club. The Facility will incorporate various areas for physical fitness, personal training, cardio exercise, class training, men's and women's locker rooms as well as a customer "Juice Bar". The Project is an interior "fit-out"/Renovation. No work is proposed beyond the demised tenant space.

The existing Main Shopping Center is 87,888 square feet which is occupied by various smaller tenants as well as an Anchor Tenant (Publix).

The Main Structure will not be altered other than this new tenant.

If you have any questions or require any additional information please contact us.

Very truly yours,

ARCHITRAVE GROUP PC

Gerard Spanola, VP

cc: Steve Plattner
file



CITY OF ST. PETERSBURG, FLORIDA
PLANNING & DEVELOPMENT SERVICES DEPT.
DEVELOPMENT REVIEW SERVICES DIVISION

STAFF REPORT
DEVELOPMENT REVIEW COMMISSION
REDEVELOPMENT REQUEST
PUBLIC HEARING

For **Public Hearing** and **Executive Action** on **May 1, 2019** beginning at 2:00 P.M.,
Council Chambers, City Hall, 175 Fifth Street North, St. Petersburg, Florida

According to Planning & Development Services Department records, **no Commission member** resides or has a place of business within 2,000 feet of the subject property. All other possible conflicts should be declared upon the announcement of the item.

CASE NO.: 19-51000001 PLAT SHEET: F-14

REQUEST: Approval of a Redevelopment Plan to allow the construction of a duplex with two (2) dwelling units.

OWNER: Morni Steeplechase, LLC
14502 N Dale Mabry Hwy, Suite 333
Tampa, Florida 33618

AGENT: Igor Savic
2920 Woodlawn Circle West
Saint Petersburg, Florida 33704

ADDRESS: 2265 7th Street North

PARCEL ID NO.: 07-31-17-18936-001-0010

LEGAL DESCRIPTION: On File

ZONING: Neighborhood Traditional Single-Family-2 (NT-2)

SITE AREA TOTAL: 7,728 square feet or 0.18 acres

GROSS FLOOR AREA:

Existing:	4,080 square feet	0.53 F.A.R.
Proposed:	4,512 square feet	0.58 F.A.R. *
Permitted:	5,023 square feet	0.65 F.A.R. **

* Not including the first 300 square feet of garage area or open porches

** The applicant is requesting bonuses to the base floor area ratio standard.

DENSITY:

Existing:	2 dwelling units	(11.3 units per acre)
Permitted:	2 dwelling units*	(15.0 units per acre)
Proposed:	2 dwelling units**	(11.3 units per acre)

* One principal dwelling and one accessory dwelling

** Redevelopment of a portion of the grandfathered density is the subject of this application

BUILDING COVERAGE:

Existing:	3,071 square feet	40% of Site MOL
Proposed:	3,109 square feet	40% of Site MOL

IMPERVIOUS SURFACE:

Existing:	3,663 square feet	47% of Site MOL
Proposed:	3,831 square feet	50% of Site MOL
Permitted:	5,023 square feet	65% of Site MOL

OPEN GREEN SPACE:

Existing:	4,065 square feet	53% of Site MOL
Proposed:	3,767 square feet	49% of Site MOL

PAVING COVERAGE:

Existing:	712 square feet	9% of Site MOL
Proposed:	722 square feet	9% of Site MOL

PARKING:

Existing:	2 spaces, including 0 handicapped spaces
Proposed:	4 spaces, including 0 handicapped space
Required:	4 spaces, including 0 handicapped space

BUILDING HEIGHT:

Existing:	Two (2) Story
Proposed:	30.4 feet
Permitted:	36 feet

APPLICATION REVIEW:

I. **PROCEDURAL REQUIREMENTS:** The applicant has met and complied with the procedural requirements of Section 16.70.040.1.15 of the Municipal Code for site plan review to determine compliance with the criteria for redevelopment.

II. DISCUSSION AND RECOMMENDATIONS:

Background: The subject property is located in the Crescent Heights neighborhood. The lot is approximately 131 feet in depth by 58 feet in width. The existing 3,663 sq. ft. two-story structure and the detached garage were constructed in 1921. The current regulations for the NT-2 zoning district allow one primary dwelling unit and one accessory dwelling unit by right. In this case two dwelling units are considered

grandfathered on the subject lot, based on a Property Card Interpretation from 2018. The attached copy of the Property Card Interpretation confirms that the property has an active business tax certificate for three dwelling units and that the single-family residence was converted into a three-family residence in 1944 with approval from the Board of Adjustment. The Code provides for redevelopment of grandfathered uses, subject to the Commission's approval of a redevelopment plan.

The Request: The applicant seeks approval of a site plan to redevelop the property with two townhomes. The proposed plan does not require approval of variances, but does require FAR bonuses.

Current Proposal: The proposed plan is for two townhomes which share a front porch located on the front of the building. The building is two stories and has been designed to look as if it is one single-family residence. The detached garage is accessed from the alley in the rear and contains two parking spaces for each unit providing a total of four spaces located on-site. Pedestrian access is provided through the front porch located off of 7th Street North.

Redevelopment Criterion: Pursuant to Code Subsection 16.70.040.1.15, an application for redevelopment must be reviewed for compliance with the criterion. An analysis follows, based on the City Code criterion to be considered by the Commission.

1. **Building Type.** *Structures shall be required to match the predominate building type in the block face across the street.*

Structures on the block face include both one-story and two-story single-family residences, a two-story multi-family townhouse with two units exists on the block face directly to the north. There is also a two-story multi-family structure with four units located on north side of the subject block, facing 23rd Avenue North. The proposed minimal traditional design is consistent with the building types in the surrounding neighborhood.

2. **Building Setbacks.** *Structures shall be required to match the predominate building setbacks in the block face across the street.*

The proposed building meets the required setbacks for the NT-2 zoning district, which is consistent with the surrounding development pattern.

3. **Building Scale.** *Structures shall be required to match the predominate building type, setbacks and scale in the block face across the street.*

One- and two-story residential structures are present within the surrounding neighborhood. The proposed two-story structure is consistent with the height and setbacks of the subject block and block face across the street. The building has been designed to break up the scale and massing along the front setback line with variations in roof form and by providing a front porch with a separate roof structure.

- 4. Site Development.** *Structures shall be required to match the predominate development pattern in the block face across the street. If alley access exists on the proposed site, garages and parking areas shall be designed for alley use.*

The proposed structures will match the orientation of existing structures on the block face that have their front doors facing 7th Street North. Alley access exists in the rear and the redevelopment plan includes garages with required parking facing and accessed from the alley.

- 5. Building Mass.** *Building Mass shall be regulated by building setbacks and floor area ratio (FAR). The maximum FAR shall be existing FAR of the property prior to redevelopment or 0.50 FAR, whichever is greater or the FAR plus bonuses allowed in the zoning district.*

The proposed development has a 0.58 FAR, while the existing structure on the property has 0.53 FAR. The City Code allows options for FAR bonuses that can be utilized for redevelopments. This application meets the criteria that would allow for an additional 0.15 FAR bonus to the maximum 0.50 FAR allowed for redevelopments, resulting in a maximum 0.65 FAR allowed for the entire redevelopment with bonuses. This is discussed in additional detail below in the section regarding FAR bonuses.

- 6. Building Height.** *Residential structures for a project less than a city block shall comply with the following building height and roof design requirements: i. The maximum height shall not exceed 24 feet to the eave line and 36 feet to the peak of the roof for primary structures, ii. The maximum height shall not exceed 20 feet to the eave line and 32 feet to the peak of the roof for secondary or accessory structures, iii. The maximum slope of any roof angle shall not exceed 12/12. iv. Dormers shall not exceed 50-percent of any roof surface.*

The proposed structures are in compliance with the applicable building height regulations for single-family home in the NT-2 zoning district and for redevelopment projects as noted above. Roof slopes are appropriate, and no dormers are proposed.

- 7. Development Across Multiple Lots.** *Structures shall be separated by zoning district setbacks, however, if not separated by zoning district setbacks, there shall be a break in the building and roof planes at each original lot line which shall be equal to or greater than the combined side yard setbacks that would be required for each lot.*

This criterion is not applicable to this case.

- 8. Single Corner Lots.** *Structures on single corner lots shall be oriented so that the front entrance of the structure faces the legal front yard.*

This redevelopment project is situated on the corner of 7th Street North and 23rd Avenue North with the legal front yard located along 7th Street North. The proposed primary structure is oriented towards 7th Street North with the front porch and walkway facing and accessed from 7th Street North, the legal front yard.

- 9. Traditional Grid Roadway Network.** *For projects equal to or greater than a city block, extensions of the traditional grid roadway network which 1) abut the perimeter of the project area and 2) would be logically extended through the project area shall be required. Compliance with applicable subdivision and public improvement regulations shall be required.*

This criterion is not applicable to this case.

- 10. Non-Traditional Grid Roadway Network.** *For projects equal to or greater than a city block, roadway and pedestrian networks shall meet the following requirements: i. There should be at least two (2) points of entry into the project, ii. Sidewalk connections shall be made to surrounding streets, homes and businesses, iii. Streets shall be stubbed to property lines to allow for roadway extensions into abutting properties which may be developed or are anticipated to be redeveloped in the future.*

This criterion is not applicable to this case.

- 11. Density and Intensity.** *For mobile home park redevelopment, the maximum number of dwelling units shall be equal to the number of legal mobile home spaces(lots) within the park prior to redevelopment, or 140-percent of the maximum density of the future land use designation assigned to the property, whichever is less.*

This criterion is not applicable to this case.

FAR Bonuses: The criteria for Floor Area Ratio bonuses are set forth under Subsection 16.70.040.1.15.

FAR bonuses shall only be allowed for originally platted lots which have not been joined together. Structures on joined or combined lots (two or more originally platted lots) shall not be allowed FAR bonus and shall be developed following the development across multiple lots criteria indicated in Section 16.70.040.1.15.

In this case, there was only one building containing grandfathered density that was originally developed across one originally platted lot and a portion of another platted lot which does not exceed the requirements allowing for FAR bonuses to be utilized.

-
- a. An FAR bonus of 0.10 shall be granted when structures are located in a traditional neighborhood context and designed in a traditional building style as defined by the City's Neighborhood Design Review Manual or the Land Development Regulations. To qualify for this FAR bonus, the structure shall use the correct proportions, fenestration patterns, details, and materials. Structures that use finishes common to an identified style without proper design, detailing, and fenestration shall not qualify for this FAR bonus.

The proposed townhouse structure is designed in the Minimal Traditional style as outlined in the St. Petersburg's Design Guidelines for Historic Properties. Consistent with the Minimal Traditional style the townhouse provides a low-pitched gabled roof with minimal ornamentation and simplified use of Colonial details in the columns on the front porch. The porch is centered within the front-facing gabled end and features a separate roof structure with recessed entrance doors, one of which cannot be seen from the public right-of-way to give the appearance of a single-family residence. An asphalt shingle roof and standard double hung windows are proposed that are and vertical in proportion, which is common within Minimal Traditional design.

- b. An FAR bonus of 0.05 shall be granted when structures are finished with decorative wall finishes typical of traditional development. This includes clapboard or single products of real wood, "Hardi-Plank" or the equivalent, rough textured or exposed aggregate stucco, tile, brick or stone. Vinyl or aluminum siding and smooth or knock-down stucco shall not qualify for this bonus.

The plans provided show that the townhome will have Hardie Board siding thereby granting the 0.05 FAR bonus for decorative wall finishes typical of traditional development.

The applicant has met the criteria to receive an FAR bonus of 0.15. As a result, the maximum allowable FAR for this redevelopment is 0.65 FAR. The applicant has proposed a 0.58 FAR for this redevelopment.

Public Comments: The subject property is located within the Crescent Heights Neighborhood Association. The Neighborhood Association and all property owners within 200 feet of the subject property were notified of the request. Staff has not received any correspondence in favor, or opposed, to the request.

STAFF RECOMMENDATION: Based on a review of the redevelopment application according to the stringent evaluation criteria contained within the City Code, the Development Services Department Staff recommends **APPROVAL** of the requested redevelopment plan.

CONDITIONS OF COMMISSION ACTION: If the application is approved consistent with the site plan submitted with this application, the Planning and Development Services Department Staff recommends that the approval shall be subject to the following conditions:

1. The plans submitted for permitting shall substantially resemble the plans attached to this report. Significant modifications to the plans shall require a new application and public hearing.
2. The site plan submitted for permitting shall depict all proposed ancillary equipment, such as garbage cans, air conditioning and irrigation equipment. These items shall be provided within interior yards and shall be screened with finished walls and perimeter landscaping.
3. The plans submitted for permitting shall depict all necessary information to demonstrate compliance with the tree preservation requirements set forth under Code Subsection 16.40.060.2.1.3.
4. The plans submitted for permitting shall include all necessary information to demonstrate compliance with the landscaping and irrigation requirements set forth under City Code Sections 16.40.060.2.1.3. and 16.40.060.2.1.4., as applicable.
5. This approval shall be valid through May 1, 2022. Substantial construction shall commence prior to this expiration date. The applicant may request up to two two-year extensions from the POD prior to the expiration. Requests for extension must be filed in writing to the POD prior to the expiration date.

Report Prepared By:

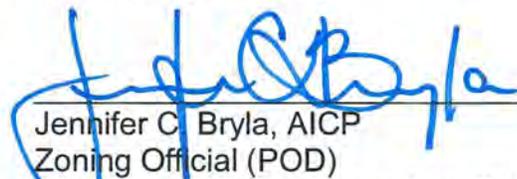


4/23/19

Scot Bolyard, AICP
Deputy Zoning Official
Development Review Services Division
Planning and Development Services Department

Date

Report Prepared For:



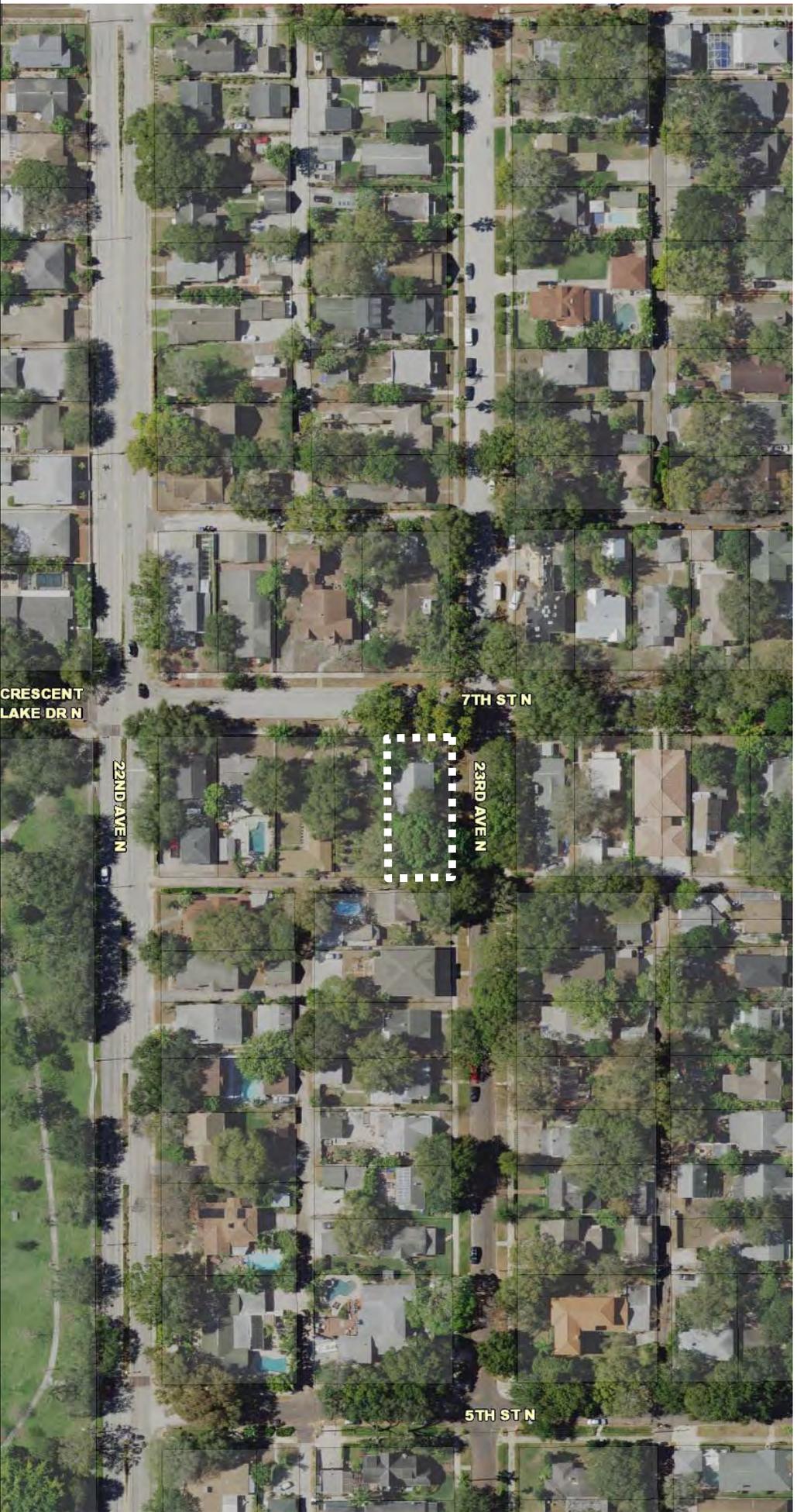
4.23.19

Jennifer C. Bryla, AICP
Zoning Official (POD)
Development Review Services Division
Planning and Development Services Department

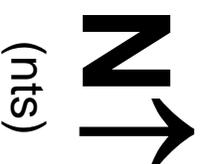
Date

List of Exhibits:

- Exhibit 1: Project Location Map
- Exhibit 2: Photographs
- Exhibit 3: Project Narrative
- Exhibit 4: Redevelopment Plan with site plan, floor plans, and elevations
- Exhibit 5: Property Card Interpretation



Project Location Map
City of St. Petersburg, Florida
Planning and Development Services
Department
Case No.: 19-51000001
Address: 2265 7th Street North















2265



STOP

REDEVELOPMENT

NARRATIVE (PAGE 1)

All applications for redevelopment must provide justification for the requested redevelopment based on the criteria set forth by the City Code. It is recommended that the following responses be typed. Illegible handwritten responses will not be accepted. A separate letter addressing each of the criteria may be provided as a supplement to this form.

ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE	
Street Address: 2265 7TH ST. N.	Case No.:
Detailed Description of Project and Request: TWO NEW CONSTRUCTION TOWNHOMES WITH 2 CAR DETACHED GARAGE	
<p>1. Building Type. Describe how the proposed building type (e.g. single-family homes with garage apartments, duplexes, multi-family uses, etc.) will match the predominate building type in the block face across the street, for projects less than a city block. For projects equal to or greater than one city block, describe how the proposed building type for perimeter structures will match the predominate building type in the block face across the street.</p> <p>TWO NEW TOWNHOMES TO BE CONSTRUCTED. EACH UNIT WILL HAVE TWO CAR DETACHED GARAGE WITH MEY ACCESS. TOWNHOMES WILL MATCH BUILDINGS IN THE AREA. FRONT DOORS WILL BE FACING 7TH ST.</p>	
<p>2. Building Setbacks. Describe how the proposed building setbacks (including both perimeter and interior setbacks) will match the predominate building setbacks in the block face across the street, for projects less than a city block. For projects equal to or greater than one city block, describe how the proposed building setbacks for perimeter structures will match the predominate building setbacks in the block face across the street.</p> <p>BUILDING WILL HAVE 6' SETBACK FROM THE PROPERTY TO THE SOUTH, 12' FROM THE CORNER TO THE 23RD AVE. N. FRONT SETBACK WILL BE 25' TO THE FRONT DOOR.</p>	
<p>3. Building Type. Describe how the proposed building scale (one-story or two-story principle structures) will match the predominate building scale in the block face across the street, for projects less than a city block. For projects equal to or greater than one city block, describe how the proposed building scale for perimeter structures will match the predominate building scale in the block face across the street.</p> <p>BUILDING WILL BE TWO-STORY WITH HEIGHT AND APPEARANCE MATCHING THE BUILDINGS IN THE AREA.</p>	



REDEVELOPMENT

NARRATIVE (PAGE 2)

All applications for redevelopment must provide justification for the requested redevelopment based on the criteria set forth by the City Code. It is recommended that the following responses be typed. Illegible handwritten responses will not be accepted.

ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE	
<p>4. Site Development and Orientation. Describe how the proposed site development and orientation (e.g. location of buildings, front entries, driveways, parking, and utility functions) will match the predominate development pattern in the block face across the street, for projects less than a city block. For projects equal to or greater than one city block, describe how the proposed development pattern for perimeter structures will match the predominate development pattern in the block face across the street. If alley access exists on the proposed site, garages and parking areas shall be designed for alley use.</p>	<p>TOWNHOMES WILL BE FACING 7TH ST. AS ALL OTHER HOMES ON THE STREET. TWO CAR DETACHED GARAGES WILL HAVE ALLEY ACCESS WITH DRIVEWAYS IN THE LEAN.</p>
<p>5. Floor area Ratio Bonuses. FAR bonuses shall only be allowed for originally platted lots which have not been joined together. Structures on joined or combined lots (two or more originally platted lots) shall not be allowed FAR bonuses. If bonuses are required, please complete the following questions:</p> <p>a. <u>FAR Bonus of 0.10</u> – An FAR bonus of 0.10 shall be granted when structures are located in a traditional neighborhood context and designed in a traditional building style as defined by the City's Neighborhood Design Review Manual or the Land Development Regulations. Describe the principle architectural style of the proposed building and explain how it uses the correct proportions, fenestration patterns, details, and materials of the recognized style.</p>	<p>ARCHITECTURE WILL EXHIBIT THE TRADITIONAL NEIGHBORHOOD HOMES. FRONT DOOR FACING THE 7TH STREET AND CONFORMING FRONT PORCH WITH RECESSED FRONT DOORS.</p>
<p>b. <u>FAR Bonus of 0.05</u> – Describe whether the proposed building is finished with decorative wall finishes typical of traditional development. This includes clapboard or single products of real wood "Hardi-Plank" or the equivalent, rough textured or exposed aggregate stucco, tile, brick, or stone. Vinyl or aluminum siding and smooth or knock down stucco shall not qualify for this bonus.</p>	<p>BUILDING WILL BE FINISHED TYPICAL TO TRADITIONAL DEVELOPMENT. EXTERIOR WILL BE FINISHED WITH EXPOSED AGGREGATE STUCCO.</p>

NEW MINIMAL TRADITIONAL STYLE DUPLEX FOR SAVIC

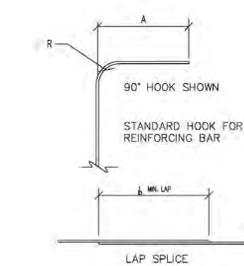
2265 7TH STREET NORTH ST PETERSBURG, FLORIDA
ISSUE DATE: JANUARY 7, 2019

SPECIFICATIONS

- SPECIFICATIONS**
- 1.1. CONSTRUCTION :
- 1.1.1. ACI 318-85 BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
 - 1.1.2. ACI-ASCE 530, 1-85 SPECIFICATIONS FOR MASONRY STRUCTURES
 - 1.1.3. ASTM C270, C476, C270 AND C290 SPECIFICATIONS FOR MASONRY STRUCTURES
 - 1.1.4. NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION 1987 EDITION AND ALL ACCOMPANYING SUPPLEMENTS
 - 1.1.5. THE FLORIDA BUILDING CODE: 2017 SIXTH EDITION
- 1.2. DESIGN :
- 1.2.1. ACI 318-85 BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
 - 1.2.2. ACI-ASCE 530, 1-85 SPECIFICATIONS FOR MASONRY STRUCTURES
 - 1.2.3. ASTM SPECIFICATIONS FOR MASONRY STRUCTURES
 - 1.2.4. NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION 1987 EDITION AND ALL ACCOMPANYING SUPPLEMENTS
 - 1.2.5. PLYWOOD DESIGN SPECIFICATIONS
 - 1.2.6. THE FLORIDA BUILDING CODE: 2017 SIXTH EDITION
- 1.3. GEOMETRIC CONTROL :
- 1.3.1. ELEVATIONS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1988 NAVD SURVEY INFORMATION PROVIDED BY OWNER/CONTRACTOR.
- 1.4. SHOP DRAWINGS :
- 1.4.1. THERE SHALL NOT BE ANY DEVIATIONS FROM THESE DESIGN PLANS BY OTHERS DURING THE PREPARATION OF SHOP DRAWINGS WITHOUT WRITTEN APPROVAL FROM THE ENGINEER OF RECORD.
 - 1.4.2. ALL SHOP DRAWINGS ARE TO BE SUBMITTED TO THE ENGINEER OF RECORD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 - 1.4.3. ALL ROOF AND FLOOR TRUSS SHOP DRAWINGS ARE TO BE SIGNED AND SEALED BY AN ENGINEER REGISTERED IN THE STATE OF FLORIDA AND SHALL INCLUDE: DRAWINGS AND CALCULATIONS, REACTIONS AND BEARING POINTS, BRACING REQUIREMENTS, LIFTING LOCATIONS, AND CONNECTIONS TO SUPPORTING TRUSS MEMBERS.
2. DESIGN LOADS
- 2.1. DEAD LOADS :
- 2.1.1. UNIT WEIGHT OF SOIL, COMPACTED: 130 PSF
 - 2.1.2. UNIT WEIGHT OF REINFORCED CONCRETE: 150 PSF
 - 2.1.3. UNIT WEIGHT OF 8" CMU, BLOCK: 85 PSF
 - 2.1.4. 1ST FLOOR SUPERIMPOSED LOAD: 20 PSF
 - 2.1.5. UNIT WEIGHT OF 24" PARTITION WALLS: 15 PSF
 - 2.1.6. UNIT WEIGHT OF 24" BEARING WALLS: 15 PSF
 - 2.1.7. 2ND FLOOR SELF WEIGHT: 20 PSF
 - 2.1.8. 2ND FLOOR SUPERIMPOSED LOAD: 20 PSF
 - 2.1.9. ROOF SELF WEIGHT: 20 PSF
 - 2.1.10. ROOF SUPERIMPOSED LOAD: 20 PSF
 - 2.1.11. FLOOR TRUSSES: 20 PSF
 - 2.1.12. TOP CHORD MINIMUM: 25 PSF
 - 2.1.13. ROOF TRUSS: 15 PSF
 - 2.1.14. BOTTOM CHORD MINIMUM: 10 PSF
- 2.2. LIVE LOADS :
- 2.2.1. SIDEWALK AND DRIVEWAY LOAD: 200 PSF
 - 2.2.2. GARAGE LOADS: 30 PSF
 - 2.2.3. CORRIDORS AND BATHROOMS: 80 PSF
 - 2.2.4. PARTITIONED ROOMS: 40 PSF
 - 2.2.5. BALCONY AND DECKS: 60 PSF
 - 2.2.6. STAIRWAYS AND LANDINGS: 100 PSF
 - 2.2.7. FLOOR TRUSSES: 30 PSF
 - 2.2.8. TOP CHORD MINIMUM: 40 PSF
 - 2.2.9. ROOF TRUSS: 15 PSF
 - 2.2.10. BOTTOM CHORD MINIMUM: 10 PSF
- 2.3. RAILING LOADS :
- 2.3.1. ALL RAILING AND GUARD RAIL SYSTEMS ARE TO BE DESIGNED TO WITHSTAND A CONCENTRATED LOAD OF 200 POUNDS APPLIED AT ANY POINT AND IN ANY DIRECTION.
- 2.4. WIND LOADS :
- 2.4.1. WIND DESIGN TO BE CONDUCTED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE AND CONDUCTED BASED ON A 145 MPH WIND SPEED, FBC 2014 FIFTH EDITION
 - 2.4.2. UPLIFT VALUES AND/OR REQUIRED UPLIFT CONNECTORS ARE SHOWN ON THE DESIGN DRAWINGS.
- 2.5. THERMAL FORCES :
- 2.5.1. SEASONAL VARIATION FOR DESIGN AND CONSTRUCTION: MEAN TEMPERATURE: 70 F, TEMPERATURE RISE: 25 F, TEMPERATURE FALL: 32 F
 - 2.5.2. MEDIAN RELATIVE HUMIDITY: 75%
- 2.6. CREEP AND SHRINKAGE :
- 2.6.1. ALL LOSSES IN ACCORDANCE WITH ACI 318-85
- 2.7. SEISMIC LOADS :
- 2.7.1. SEISMIC PERFORMANCE CATEGORY "A"
- 2.8. DEFLECTIONS :
- 2.8.1. FLOOR TRUSSES SHALL LIMIT DEFLECTION TO 1/250 TIMES THE SPAN FOR LIVE LOADS AND 1/240 TIMES THE SPAN FOR TOTAL LOAD.

3. DESIGN METHOD
- 3.1. LOAD FACTOR DESIGN :
- 3.1.1. THE LOAD FACTOR DESIGN METHOD WAS USED TO DESIGN CAST-IN-PLACE CONCRETE SLABS AND FOOTINGS
- 3.2. SERVICE LOAD DESIGN :
- 3.2.1. THE SERVICE LOAD DESIGN METHOD WAS USED TO DESIGN INTERIOR AND EXTERIOR WOOD FRAMING AND SHEATHING STAIRS AND FLOOR FRAMING, ROOF FRAMING, SHEATHING AND UP LIFT
- 3.3. LOAD FACTORS AND COMBINATIONS :
- 3.3.1. THE FOLLOWING LOAD COMBINATIONS WERE DESIGNED FOR: TOTAL DL + FLOOR LL + ROOF LL, TOTAL DL + FLOOR LL + WL, TOTAL DL + WL
 - 3.3.2. IN THE CASE OF WIND LOADS, AN ALLOWABLE OVER STRESS OF 120% CAN BE CONSIDERED
 - 3.3.3. ALL ROOF AND FLOOR TRUSSES SHALL BE DESIGNED TO RESIST THE WORST LOAD COMBINATION RESULTING IN THE MAXIMUM STRESSES PLACED ON THAT COMPONENT, PARTIAL, FULL AND ALTERNATING SPAN LOADS ARE TO BE CONSIDERED
- 3.4. DESIGN ASSUMPTIONS :
- 3.4.1. FOUNDATIONS ARE DESIGNED BASED ON A PRESUMPTIVE BEARING CAPACITY OF 2000 PSF ON UNDISTURBED SOIL OR ROCK. A REGISTERED GEOTECHNICAL ENGINEER SHALL VERIFY ACTUAL CONDITIONS PRIOR TO PLACEMENT OF THE FOOTINGS. IF THE FOUNDATION IS ON PREPARED FILL, THE REGISTERED GEOTECHNICAL ENGINEER SHALL VERIFY SUITABILITY OF FILL FOR USE AND ITS FOUNDATION BEARING CAPACITY.
 - 3.4.2. ALL FOUNDATIONS ARE CENTERED UNDER SUPPORTED COLUMNS AND WALLS UNLESS SHOWN OTHERWISE IN THE DESIGN PLANS.
4. MATERIALS
- 4.1. REINFORCING STEEL :
- 4.1.1. REINFORCING STEEL SHALL BE ASTM A615 GRADE 60, $F_y = 60$ KSI UNLESS OTHERWISE NOTED.
 - 4.1.2. REINFORCING LAP SPLICES SHALL BE 48 BAR DIAMETERS IN LENGTH UNLESS OTHERWISE NOTED.
 - 4.1.3. ALL DIMENSIONS PERTAINING TO THE LOCATION OF REINFORCING ARE TO THE CENTERLINE OF EACH BAR EXCEPT WHERE THE COVER DIMENSION IS SHOWN TO THE FACE OF THE CONCRETE.
 - 4.1.4. REINFORCING DETAIL DIMENSIONS ARE OUT TO OUT OF BARS.
 - 4.1.5. REINFORCING MECHANICAL COUPLERS ARE TO DEVELOP 125% OF THE REQUIRED YIELD STRENGTH OF THE BAR AND ARE TO BE APPROVED BY THE ENGINEER OF RECORD.
 - 4.1.6. DESIGN COVER REQUIREMENTS:
 - C-I-P CONCRETE FORMED AGAINST EARTH: 3"
 - C-I-P CONCRETE EXPOSED TO EXTERIOR: 2"
 - C-I-P CONCRETE NOT EXPOSED: 1 1/2"
 - GROUT FILLED MASONRY: 3/4"
 - PRE-STRESSED CONCRETE TENDONS: 1 1/2"
 - PRE CAST GROUT FILLED UNITS: 1 1/2"
- 4.2. CONCRETE :
- | MIN. 28 DAY DESIGN (F) | MODULUS OF ELASTICITY DESIGN (E) |
|-----------------------------|----------------------------------|
| C-I-P CONCRETE | 3,000 Psi / 2,000 Ksi |
| PRE CAST CONCRETE UNITS | 3,000 Psi / 2,000 Ksi |
| PRE STRESSED CONCRETE UNITS | 3,000 Psi / 2,000 Ksi |
- 4.2.1. CONCRETE SHALL BE 40 MPA (5800 PSI) STRENGTH CONCRETE WITH SLUMP BETWEEN 8" AND 10" AT TIME OF PLACEMENT. SEE ACI SPECIFICATIONS FOR ADDITIONAL CRITERIA.
- 4.2.2. GROUT SHALL CONSIST OF 80% ROCK (5% MAXIMUM AGGREGATE) CONCRETE MIX WITH SLUMP BETWEEN 8" AND 10" AT TIME OF PLACEMENT. SEE ACI SPECIFICATIONS FOR ADDITIONAL CRITERIA.
- 4.2.3. CONSTRUCTION JOINTS ARE TO BE PROVIDED IN ACCORDANCE WITH THE DESIGN CODES AND GUIDELINES AT THE ENGINEER'S DIRECTION.
- 4.2.4. METHOD OF CONCRETE FORMING, PLACEMENT AND CURING SHALL BE CONDUCTED IN ACCORDANCE WITH THE ACI ASTM SPECIFICATIONS AS STATED.
- 4.3. CONCRETE MASONRY :
- | MIN. 28 DAY DESIGN (F) | TYPE |
|------------------------|------|
| $F_m = 1,900$ Psi | II |
| $F_m = 2,000$ Psi | S |
- 4.3.1. LOAD BEARING CONCRETE MASONRY BLOCK MORTAR: ASTM C270
- 4.3.2. LOAD BEARING CONCRETE MASONRY BLOCK SHALL BE ASTM C90, TYPE II NON-MOISTURE CONTROLLED.
- 4.3.3. ADVERTURES ARE NOT TO BE ADDED TO THE MORTAR WITHOUT WRITTEN APPROVAL FROM THE ENGINEER OF RECORD.
- 4.3.4. THE AGGREGATE STRENGTH OF THE BLOCK AND MORTAR SHALL BE $F_m = 1,900$ PSI MINIMUM.
- 4.3.5. METHOD OF CONCRETE MASONRY PLACEMENT AND CONSTRUCTION SHALL BE CONDUCTED IN ACCORDANCE WITH THE SPECIFICATIONS AS STATED.
- 4.3.6. JOINT REINFORCING SHALL CONSIST OF "LAP-BR-TYPE" BY DUNE-WALL OR EQUAL WITH ASTM A641, CLASS 1 GALVANIZED COATING, PLACED AT 18" O.C. VERTICALLY, FULLY EMBEDDED IN MORTAR JOINT. LAP OF MINIMUM 4" AT MASONRY WALL CORNERS AND INTERSECTIONS. PROVIDE FABRICATED ELKS, TEES OR BENDS OF DISCONTINUOUS WIRES TO PROVIDE 3" HOOK AT OUTSIDE OF CORNERS. EXTERIOR REINFORCING OF MINIMUM INTO THE COLUMNS AT CORNERS AND END OF WALLS. CONTINUE REINFORCING THROUGH THE COLUMNS AWAY FROM WALL ENDS.

- 4.4. STRUCTURAL LUMBER :
- | | MAXIMUM DESIGN VALUES | MODULUS OF ELASTICITY (E) | | |
|------------------------------|---------------------------|---------------------------|-------------------------|-----------|
| | BENDING (F _b) | TENSION (F _t) | SHEAR (F _v) | |
| INTERIOR FRAMING 2x(4) | 1,500 Psi | 825 Psi | 90 Pci | 1,600 Ksi |
| EXTERIOR FRAMING 2x(6 AND 8) | 1,200 Psi | 660 Pci | 90 Pci | 1,600 Ksi |
| FLOOR FRAMING 2x(6 AND 10) | 1,300 Pci | 725 Pci | 90 Pci | 1,700 Ksi |
- 4.4.1. TABLE VALUES ARE MINIMUMS AND ARE BASED ON SOUTHERN PINE No. 2 GRADE.
- 4.4.2. ALL PLYWOOD USED FOR EXTERIOR APPLICATIONS SHALL CONFORM TO VOLUNTARY PRODUCT STANDARD PS 1-83 AND SHALL BE APA RATED SHEATHING EXP 2.
- 4.4.3. ALL PLYWOOD USED FOR INTERIOR APPLICATIONS SUCH AS SUB FLOORING AND SHEAR WALLS SHALL CONFORM TO VOLUNTARY PRODUCT STANDARDS PS 1-83 AND SHALL BE PA RATED SHEATHING EXP 1 OR 2.
- 4.4.4. IF OSB BOARD IS TO BE USED IN PLACE OF PLYWOOD IT IS TO HAVE SIMILAR SECTION PROPERTIES.
- 4.4.5. ONLY STRUCTURAL LUMBER TO BE USED FOR AN EXTERIOR APPLICATION AND IN CONTACT WITH CONCRETE IS TO RECEIVE A STANDARD GRADE PRESSURE TREATING.
- 4.4.6. PRESSURE TREATED STRUCTURAL LUMBER IS NOT TO BE USED FOR ANY INTERIOR FRAMING.
- 4.4.7. WHEN PRE ENGINEERED TRUSSES AND JOISTS ARE CALLED FOR ON THE PLANS THE MANUFACTURER IS TO SUBMIT SHOP DRAWINGS TO THE ENGINEER OF RECORD.
- 4.5. FASTENERS AND TIE DOWNS :
- 4.5.1. FASTENERS AND TIE DOWNS SHALL CONSIST OF BUT ARE NOT LIMITED TO:
 - SHAPES, ANGLES, CHANNELS: ASTM A36 $F_y = 36$ KSI
 - ROUND METAL PIPE: ASTM A500 GRADE B $F_y = 35$ KSI
 - SQUARE METAL TUBING: ASTM A500 GRADE B $F_y = 48$ KSI
 - HIGH STRENGTH BOLTS: ASTM A325
 - MACHINE BOLTS: GALVANIZED ASTM A307
 - 4.5.2. SHEET METAL ACCESSORIES SHALL CONFORM TO: ASTM A446 OR ASTM A526 $F_y = 33$ KSI WITH GRC GALVANIZED COATING IN ACCORDANCE WITH ASTM A505.
 - 4.5.3. NAILS SHALL CONSIST OF: COMMON WIRE NAILS WITH MINIMUM DIAMETER AS FOLLOWS: 6d = 0.131", 8d = 0.131", 10d = 0.148", 16d = 0.162".
 - 4.5.4. ALL FASTENERS AND TIE DOWNS EMBEDDED IN CONCRETE OR USED IN AN EXTERIOR APPLICATION ARE TO RECEIVE AN ANTI-CORROSION COATING PRIOR TO INSTALLATION.
 - 4.5.5. ALL FASTENERS AND TIE DOWNS ARE TO PROVIDE THE UPLIFT CAPACITY CALLED FOR IN THE PLANS AS A MINIMUM.
 - 4.5.6. ALL FASTENER TIE DOWNS, BEAM HANGERS, JOIST HANGERS, AND FLOOR TRUSS STRAPPING ARE TO BE INSTALLED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
 - 4.5.7. CONCRETE EMBEDDED 1/2" BOLTS USED FOR TRUSS AND WALL UPLIFT ARE TO BE PLACED AROUND EMBEDDED REINFORCING PRIOR TO PLACING GROUT.
 - 4.5.8. CONCRETE EMBEDDED TIE DOWNS USED FOR TRUSS AND WALL UPLIFT ARE TO BE PLACED AROUND EMBEDDED REINFORCING PRIOR TO PLACING GROUT.



RECOMMENDED END HOOKS AND LAP LENGTHS

BAR SIZE	180° HOOK A	90° HOOK B	HOOK C	LAP
#3	5"	6"	1"	18"
#4	6"	8"	1-1/2"	24"
#5	7"	10"	2"	30"
#6	8"	12"	2-1/4"	36"
#7	10"	14"	2-1/2"	42"
#8	11"	16"	3"	48"
#9	13"	18"	4-3/4"	54"
#10	17"	22"	5-1/2"	61"

STEEL LAP AND BEND
NTS

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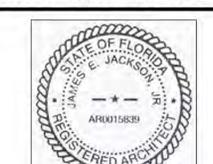
ELECTRICAL NOTES

- ELECTRICAL OUTLET HEIGHTS AS MEASURED FROM FINISHED FLOOR TO CENTERLINE OF BOX ARE AS FOLLOWS:
 - KITCHEN 42"
 - BATHROOM 39"
 - LAUNDRY ROOM 36"
 - EXTERIOR WATERPROOFED 12" GARAGE 42"
 - RANGE 2"
 - GENERAL OUTLETS 12"
- ELECTRICAL SWITCHES ARE 42" AFF. TO CENTERLINE.
- ELECTRICAL PLAN IS INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NEC, LATEST EDITION, BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION AND SIZING OF ALL ELECTRICAL WIRING AND ACCESSORIES.
- ALL TRIM PLATES AND DEVICES TO BE GANGED WHERE POSSIBLE.
- PROVIDE ARC FAULT CIRCUITS FOR ALL BEDROOMS.
- SMOKE DETECTORS - PROVIDE MIN. SMOKE DETECTORS AS SHOWN ON BATTERY BACKUP. ALL DETECTORS SHALL BE IN SERIES AND WIRED WITH 4 WIRE REXEM CABLE.
- EXHAUST FAN
- CARBON MONOXIDE DETECTOR

COMPONENT AND CLADDING NOTE

EXPOSURE CATEGORY - B
IMPORTANCE FACTOR - 1.0
APP. INTERNAL PRESSURE COEF. = .18
COMPONENTS AND CLADDING: 32.2 PSF / -35.3 PSF
OVERHANG: .580 PSF PER 20 SF
MUWB = 26 PSF
BUILDING CATEGORY II
THE BUILDING IS DEEMED ENCLOSED

ARCHITECT SEAL

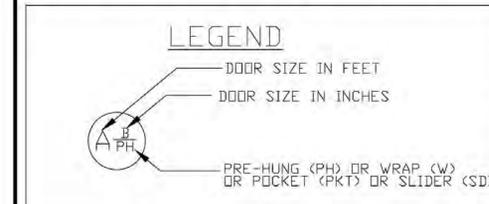


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INDEX

- A-0 COVER SHEET
- A-1 SITE PLAN
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- A-7 WALL SECTION
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WINDOW AND DOOR SIZE INFORMATION



DOOR SCHEDULE

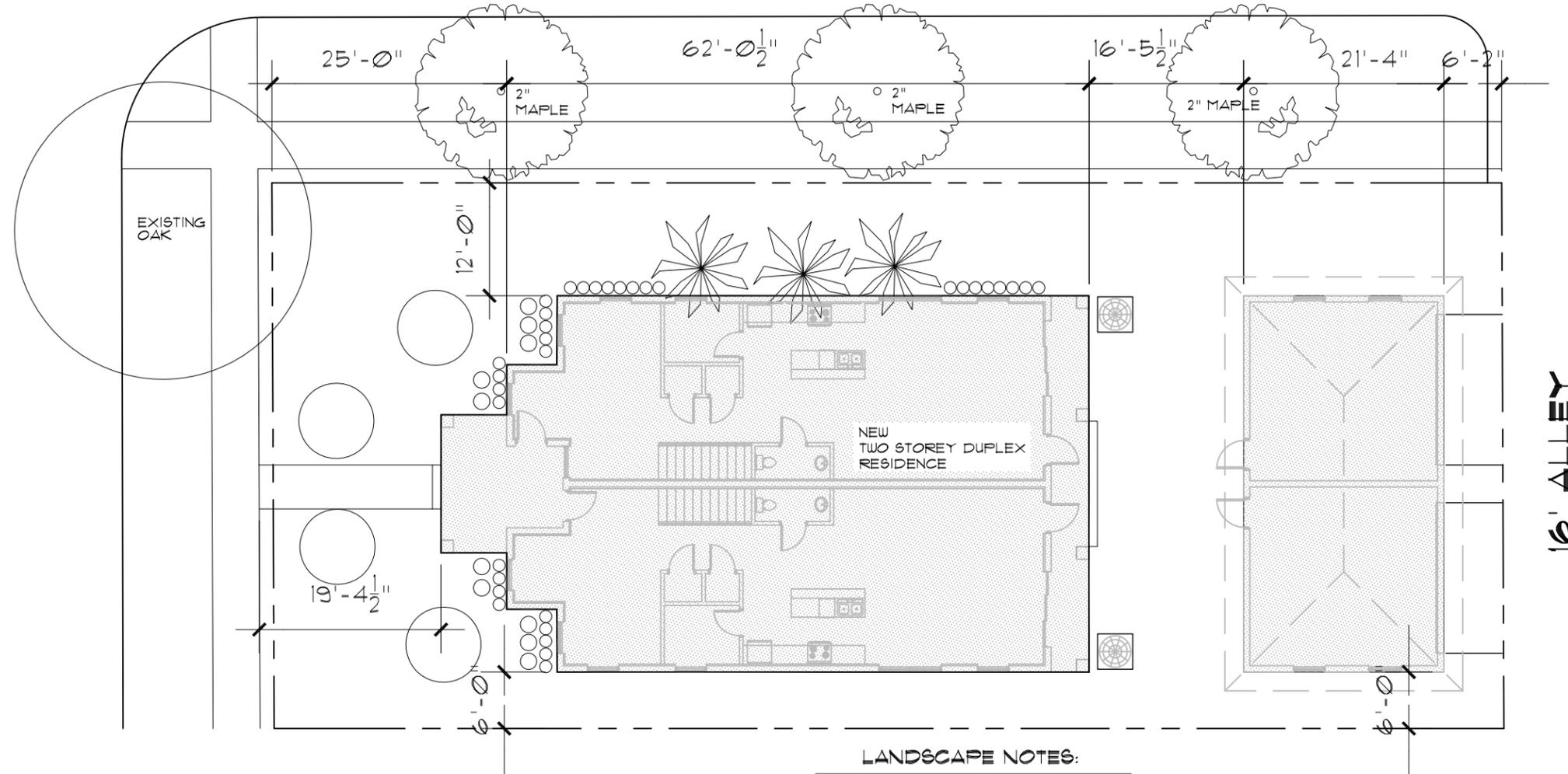
MK	DOOR SIZE	DOOR DESCRIPTION	REMARK
3-0	3'-0" X 6'-8" X 1 3/8"	BI FOLD DOOR	
3-0	3'-0" X 6'-8" X 1 3/8"	METAL EXTERIOR DOOR	
3-0	3'-0" X 8'-0" X 1 3/8"	METAL EXTERIOR DOOR	WITH SIDE GLASS
3-0	3'-0" X 6'-8" X 1 3/8"	WD HOLLOW CORE	
2-6	2'-6" X 6'-8" X 1 3/8"	WD HOLLOW CORE	PD FOR POCKET DOOR SEE PLAN
2-6	2'-6" X 6'-8" X 1 3/8"	BI-FOLD DOOR	
1-6	1'-6" X 6'-8" X 1 3/8"	BI-FOLD DOOR	
PLAN	PLAN X 8'-0" X 1 3/8"	GLASS SLIDING DOOR	SEE PLAN FOR LOCATION
2-0	2'-0" X 6'-8" X 1 3/8"	WD HOLLOW CORE	

WINDOW ROUGH OPENING CHART

WINDOW CODE	BLOCK CONSTRUCTION		WOOD FRAME CONSTRUCTION	
	WIDTH	HEIGHT	WIDTH	HEIGHT
12 SH	19 7/8"	X	26"	19 1/4"
13 SH	X	X	38 3/8"	X
14 SH	X	X	50 5/8"	X
15 SH	X	X	63"	X
16 SH	X	X	74 1/4"	X
H32 SH	27 1/4"	X	26"	26 5/8"
H33 SH	X	X	38 3/8"	X
H34 SH	X	X	50 5/8"	X
H34S SH	X	X	63"	X
H35 SH	X	X	63"	X
H36 SH	X	X	74 1/4"	X
22 SH	37 3/4"	X	26"	37 1/8"
23 SH	X	X	38 3/8"	X
24 SH	X	X	50 5/8"	X
25E SH	X	X	63"	X
25 SH	X	X	63"	X
H32 SH	X	X	74 1/4"	X
32 SH	53 7/8"	X	26"	53 1/4"
32 SH	X	X	38 3/8"	X
34 SH	X	X	50 5/8"	X
35E SH	X	X	63"	X
35 SH	X	X	63"	X
36 SH	X	X	74 1/4"	X

23RD AVENUE NORTH

71ST STREET NORTH



LANDSCAPE NOTES:

IRRIGATION:
SHALL BE 100% COVERAGE
PER 16.40.0602 LANDSCAPE
AND IRRIGATION CODE OF THE
CITY OF ST PETERSBURG

ACCENT LANDSCAPING:

20-30 SWEET VIBURNUM (EA. SIDE)
4 CRAPE MYRTLES
6 BIRDS OF PARADISE
ASIATIC GROUND COVER

SOD:
BAHIA

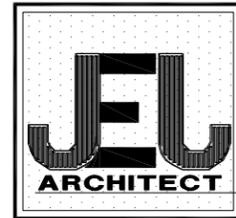
LEGAL DESCRIPTION:

LOT 1 AND THE NORTH 4 FEET OF LOT 2, BLOCK A,
CRESCENT PARK HEIGHTS, AS RECORDED IN
PLAT BOOK 5, PAGE 15 OF THE PUBLIC RECORDS
OF PINELLAS COUNTY, FLORIDA.



SITE PLAN

SCALE: 1" = 10'



JOB NUMBER

ISSUE DATE

DRAWN BY

REVISIONS

△	
△	
△	

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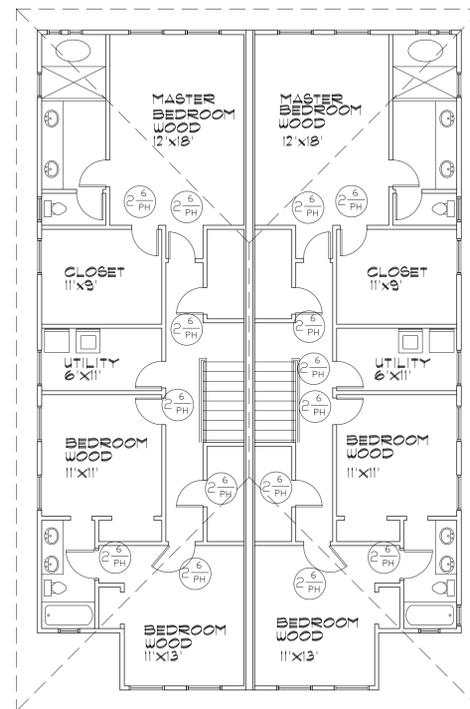
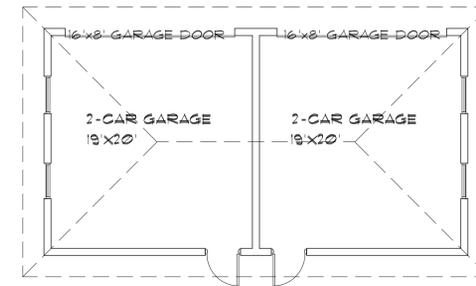
NEW DUPLEX FOR
SAVIC
2265 7TH STREET NORTH
ST PETERSBURG, FLORIDA

ARCHITECTURAL
SITE PLAN

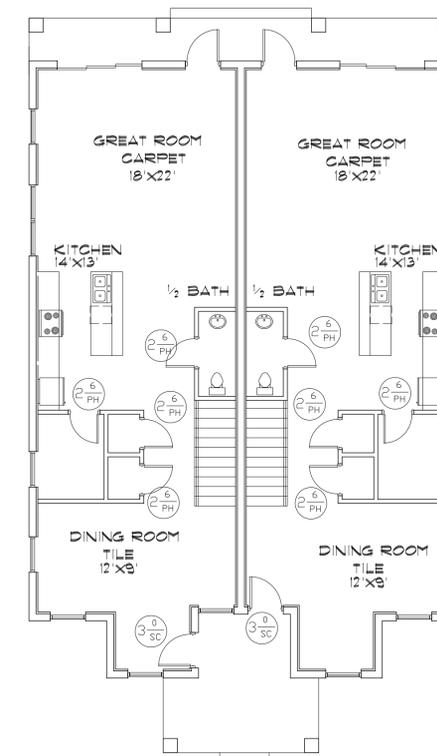
SHEET NUMBER

A-0

OF



2nd FLOOR PLAN
SCALE: 1/8" = 1'-0"

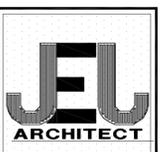


1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"

INTERIOR PARTITIONS
ALL INTERIOR PARTITIONS ARE 2 x 4 WOOD STUDS W/ 1/2" GYPSUM BD. EACH SIDE. PROVIDE MR. GYP. BD. IN ALL WET AREAS.

SQUARE FOOTAGE:
5,525 SF. TOTAL UNDER ROOF
2,256 SF. LIVING AREA 1st FLR UNIT 1 & 2
2,416 SF. LIVING AREA 2ND FLR UNIT 1 & 2
893 SF. GARAGE AREA UNIT 1 & 2
2,336 SF. TOTAL EACH UNIT LIVING AREA

SCALE: 1/8" = 1'-0"
0 1' 5' 10'



JOB NUMBER _____

ISSUE DATE _____

DRAWN BY _____

REVISIONS

▲
J.E.J.
▲

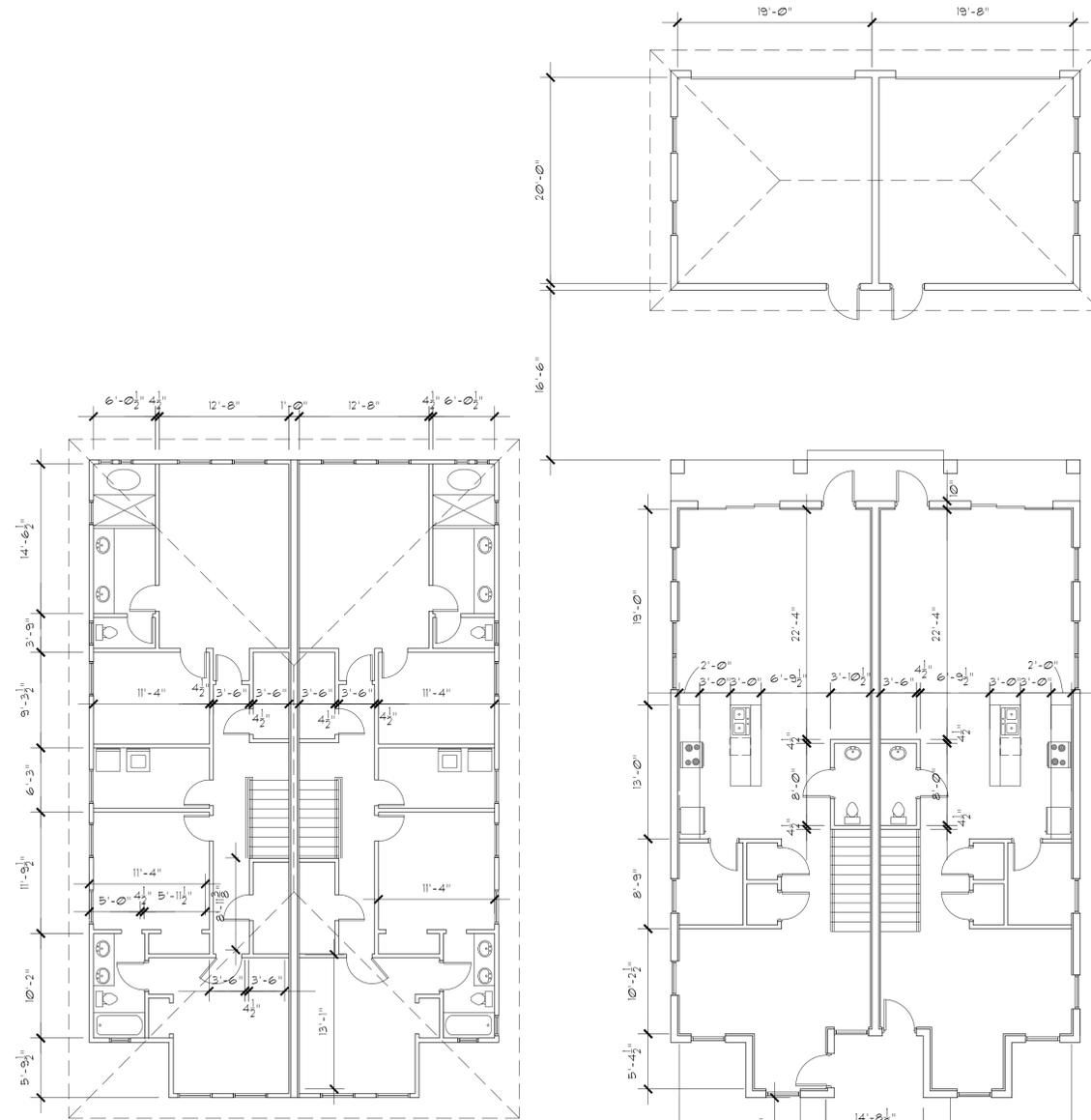
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NEW DUPLEX FOR
SAVIC
2265 17th STREET NORTH
ST PETERSBURG, FLORIDA

**INFORMATION
FLOOR PLAN
SCHEDULES/NOTES**

SHEET NUMBER
A-1
OF _____



2nd FLOOR PLAN
SCALE: 1/8" = 1'-0"

1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE "FLORIDA BUILDING CODE", 2017 6TH EDITION.
2. THESE NOTES SHALL APPLY EXCEPT WHERE OTHERWISE INDICATED BY THE DRAWINGS.
3. WHERE A SECTION, NOTE, OR DETAIL IS SHOWN FOR ONE CONDITION, IT SHALL APPLY AT ALL LIKE OR SIMILAR CONDITIONS.
4. ALL EARTH, CONCRETE, STEEL, MASONRY, TIMBER, FORM AND TEMPORARY WORK SHALL BE BRACED AND/OR GUYED TO RESIST GRAVITY, EARTH, WIND AND CONSTRUCTION LOADS DURING THE CONSTRUCTION PERIOD.
5. CONSTRUCTION JOINTS SHALL BE MADE ONLY AT LOCATIONS SHOWN BY THE DRAWINGS OR APPROVED BY THE ENGINEER.
6. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL DESIGN AND VENDOR DRAWINGS - ARCHITECTURAL, MECHANICAL, ELECTRICAL, CIVIL, AND STRUCTURAL.
7. VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS BEFORE STARTING TO WORK. NOTIFY ARCHITECT OF ANY DISCREPANCY.
8. NOTIFY THE ARCHITECT IN WRITING OF CONDITIONS ENCOUNTERED IN THE FIELD CONTRADICTORY TO THOSE SHOWN ON THE STRUCTURAL DRAWINGS.
9. THE DESIGN, ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC., IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. COORDINATE THE STRUCTURAL CONTRACT DOCUMENTS WITH THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND CIVIL DOCUMENTS. NOTIFY THE ARCHITECT OF ANY CONFLICT AND/OR OMISSION.
11. COORDINATE AND VERIFY FLOOR, ROOF AND WALL OPENING SIZES AND LOCATIONS WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS. FOR ADDITIONAL OPENINGS NOT SHOWN ON THE STRUCTURAL DRAWINGS, SEE ARCHITECTURAL AND MECHANICAL DRAWINGS.
12. FOR DIMENSIONS NOT SHOWN ON THE STRUCTURAL DRAWING, SEE THE ARCHITECTURAL DRAWINGS.
13. REVIEW OF SUBMITTALS AND/OR SHOP DRAWINGS BY THE ARCHITECT DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO REVIEW AND CHECK SHOP DRAWINGS BEFORE SUBMITTAL TO THE ARCHITECT. THE CONTRACTOR REMAINS SOLELY RESPONSIBLE FOR ERRORS AND OMISSIONS RELATED TO THE PREPARATION OF SHOP DRAWINGS AS THEY PERTAIN TO MEMBER SIZES, DETAILS AND DIMENSIONS SPECIFIED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION.
14. STRUCTURAL DESIGN DRAWINGS SHALL NOT BE REPRODUCED AS SHOP DRAWINGS. CONTRACTOR AND HIS SUBCONTRACTORS SHALL PREPARE THEIR OWN SHOP DRAWINGS.
15. CONTRACTOR SHALL CHECK AND STAMP ALL SHOP DRAWINGS BEFORE SUBMITTAL FOR REVIEW. ANY PROPOSED FABRICATION CHANGES FROM THE DESIGN DRAWINGS SHALL BE NOTED ON THE SHOP DRAWINGS. ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL AND STRUCTURAL DRAWINGS SHALL BE NOTED ON THE SHOP DRAWINGS "TO BE VERIFIED".
16. THE STRUCTURAL SYSTEM DEPICTED BY THESE DRAWINGS IS STRUCTURALLY STABLE ONLY IN ITS COMPLETED FORM. THEREFORE THE CONTRACTOR MUST BRACE ALL WORK TO RESIST GRAVITY, EARTH, WIND AND CONSTRUCTION LOADS DURING THE CONSTRUCTION PERIOD.

SWS - SHEAR WALL SEGMENT

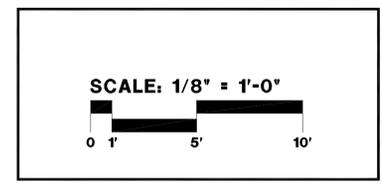
SHEAR WALL REQUIREMENTS WOOD WALLS:

1. PLYWOOD SHALL BE INSTALLED WITH FACE GRAIN PARALLEL TO STUDS.
2. ALL HORIZONTAL JOINTS WILL OCCUR OVER FRAMING.
3. FLATWISE BLOCKING SHALL BE USED AT ALL HORIZONTAL PANEL JOINTS.
4. PANELS SHALL BE ATTACHED TO BOTTOM AND TOP TIE PLATE.
5. USE 6d NAILS SPACED 6" O.C. AT EDGE, DOUBLE ROW AT PLATES, AND 12" O.C. AT INTERMEDIATE FRAMING.



JOB NUMBER	_____
ISSUE DATE	_____
DRAWN BY	_____
REVISIONS	_____
J.E.J.	_____
_____	_____

JAMES E. JACKSON, JR.
ARCHITECT
LICENSE #: AR0015839



JAMES E. JACKSON, JR., A.I.A.
SAINT PETERSBURG FLORIDA
LICENSE #: AR0015839
ph: 813.679.4654 e: jakfam6@man.com e2: jamesjacksonjralanoma@gmail.com
member: American Institute of Architects National Organization of Minority Architects

NEW DUPLEX FOR SAVIC
2265 1TH STREET NORTH
ST PETERSBURG, FLORIDA

DIMENSIONAL FLOOR PLAN

SHEET NUMBER
A-1.1
OF _____



FRONT ELEVATION



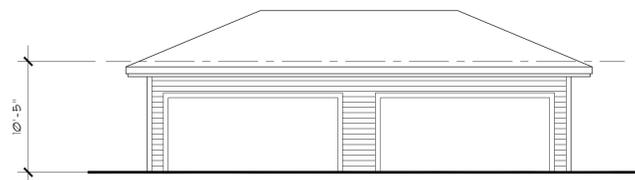
RIGHT ELEVATION



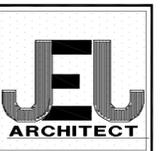
REAR ELEVATION



LEFT ELEVATION



REAR ELEVATION (GARAGE)



JOB NUMBER _____

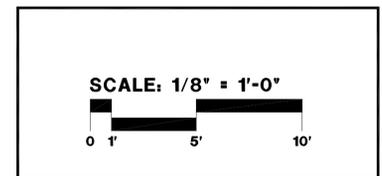
ISSUE DATE _____

DRAWN BY _____

REVISIONS

▲	_____
▲	_____
▲	_____

JAMES E. JACKSON, JR.
ARCHITECT
LICENSE #: AR0015839



JAMES E. JACKSON, JR., A.I.A.
SAINT PETERSBURG FLORIDA
LICENSE #: AR0015839
ph: 813.679.4654 e: jakfam6@man.com e2: jamesjacksonjralanoma@gmail.com
member: American Institute of Architects National Organization of Minority Architects

NEW DUPLEX FOR
SAVIC
2265 1TH STREET NORTH
ST PETERSBURG, FLORIDA

EXTERIOR ELEVATIONS

SHEET NUMBER
A-3
OF _____



December 12, 2018

REEB, W TERRILL JR
3111 22ND AVE N
SAINT PETERSBURG, FL, 33713-3701

RE: PROPERTY CARD INTERPRETATION: 18-41000012

Property Generally Located At: 2265 7TH ST N
Legally Described As: 07/31/17/18936/001/0010/

Dear REEB, W TERRILL JR,

A Property Card Interpretation letter has been completed for the above-referenced property. The following findings have been made:

LEGAL NUMBER OF DWELLING UNITS

1. The property is zoned NT-2, which allows one single-family home on the subject property and a second dwelling unit in compliance with the land development regulations. The City will recognize more than one (1) dwelling unit on the property if the units were legally constructed.
2. According to the City's property card records, a single-family home and a three (3) car garage were permitted on the subject property before 1944. The single-family residence was converted into a three (3) family residence in 1944 with approval of the Board of Adjustments on August 28th, 1944.
3. Accordingly, the interpretation can be made that **three (3) dwelling units were legally constructed on the property.**

LEGAL STATUS OF DWELLING UNITS

1. When there are more units on the property than permitted by the current zoning, the additional units are considered grandfathered dwelling units. In this case, there are two (2) grandfathered units.
2. Dwelling units may lose their grandfathered status and become abandoned for the following reasons:
 - (a) Not occupied due to violations of building, nuisance, or other public health, welfare, and safety codes for a continuous period of one year or for intermittent periods amounting to one year or more within any two year period.



P.O. Box 2842
St. Petersburg, FL 33731-2842
T: 727-893-7111

- (b) Not occupied for a continuous period of two years. For residential units and uses, such occupancy must be as a tenant or owner and may not be incidental to the occupant's employment as caretaker or security person for the property.
 - (c) No business tax certificate issued for the property or the units that are subject to abandonment for a continuous period of two years or for intermittent periods amounting to two years or more within any three-year period.
3. For the subject property, there have been two active business tax certificates for the rental of three (3) units on the property since 2004.
 4. Therefore, **two (2) of the dwelling units currently retain their grandfathered status.**

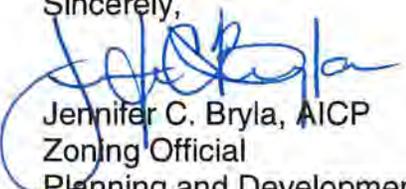
Appeal

If you have evidence that the findings of this interpretation are incorrect, you may submit a reconsideration request within 15 days of the receipt of this letter. An appeal must be filed within 10 days following delivery of the subsequent reconsideration. Appeals are heard before the Development Review Commission. An appeal is a statement on your part that you do not believe that the findings of this determination are correct and that you have evidence to refute the finding. For a reconsideration or appeal, you must submit a cover letter and whatever evidence is referenced in your letter.

This determination is effective as of the date of this letter and is subject to change upon any future amendment to the Land Development Regulations. Future development on the subject parcel shall be subject to all applicable codes at time of permitting; including, but not limited to, Land Development Regulations and Building and Life Safety Codes.

If you have questions about the appeal, reinstatement application, or the Development Review Commission, please feel free to contact the Clerk at (727) 892-5498.

Sincerely,



Jennifer C. Bryla, AICP
Zoning Official
Planning and Development Services

SUBDIVISION

PERMIT NO.	DATE	ELECTRICAL PER. No. 4305	DATE 3/25	PLUMBING PER. No. 22488	DATE 1-4-44
LOCATION 2265- 7th St. N o		OWNER A.T. Anderson		OWNER A.T. Anderson	7-31-77
OWNER CARD #1		CONTRACTOR Sorrells		CONTRACTOR C.J. Godsey, Inc.	
CONTRACTOR		OPENINGS 4-centers 2-brackets		FIXTURES- C.29.L.Sh.	
ARCHITECT RS-75		3-switches 2-plugs		12723 9-22-38 C.P. Anderson	
KIND BLDG.	ROOMS	29298 9-27-38 A.T. Anderson		1 Clo. 1 Lav. 1 Sk. 1 Da.	
SIZE		Rainbow 1 Ctrs. 2 Swts.		O.K. 9-23-38	
CU. FT.	RATE PER CU. FT.	2 Plgs. 1 3 Wr. Serv. O.K.		O.K. DATE	
COST		10-6-38 Crt. 4237		322488-A.T. Anderson. 11-4-44	
OCCUPANCY		FIXTURE PER. No.	DATE	C.J. Godsey, inc. C.L.29.Sh. B.	
FOUNDATION	ROOF	OWNER		#15381 - 1/29/51 - Anderson	
FLOORS	PARTITIONS	CONTRACTOR		J. Ray - ewh	
#16673 (\$1000)	9-25-25	CERTIFICATE No.	DATE		
A.T. Anderson		ISSUED TO-			
1-st/1-rm. fr. addn.		5161 11-27-44 Camfield			
#11941 (\$900)	8/21/24	M.J. Bennett 12-c 12-s .12-p			
3-car cem. blk. garage		3ws 2mtrs			
41026- 9-15-38 A.T. Anderson		GAS PERMIT No.	DATE	SEWER PER. No. 7907	DATE 8/6/41
Owner \$250.00 1 Ba. Rm. Addn.		OWNER		OWNER A.T. Anderson	
5X6		CONTRACTOR		CONTRACTOR Insp. only. \$1,	
#53088. 9/21/44. \$300.00		FIXTURES-		O.K. DATE	
A.T. Anderson. Convert single					
family res. into 3 family res.					
of A.-Aug. 28. 44.					
(OVER OVER)					
SIGN PERMIT No.	DATE	CERTIFICATE No.	DATE	SEPTIC TANK PER. No.	DATE
		ISSUED TO-		OWNER	
				CONTRACTOR	
				O.K. DATE	

...hall of main residence.

James J. Sommers, Contractor

#25581A-D - 10/17/56 - \$300

Owner Mrs. A. T. Anderson -

Reroof

#50551A-D - 5/29/59 - \$300

Owner A. T. Anderson - Replace

outside stairs on garage apt.

with concrete. Set-A-Step, Contr.

#B2999A-R3- 4/8/69- \$200

Owner Raymond Pearl- Reroof 50%

of residence (apts.) with Class

B (over 2) 6/12 pitch. (Type VI)

By owner.

#73449-RS75- 9/9/80- \$540

Owner Mrs M Cramer- Nail down 3

tab self sealing asphalt shingles

on north side of roof on upper

level of roof on res (Type VI)

White's Roofing Co, Contractor

#R708388-RS75- 6/19/87-\$865

Owner Ralph Di tiancisco -Roll

roof (Type VI) Charles Roofing Inc,

Contractor

B.ofA. Granted 8/26/44.

SUBDIVISION CRESCENT PARK HEIGHTS

LOT 1 & N 4' of Lot 2

BLOCK A

CARD # 2

FL. ZONE:

FILM BOX #

ZONE RS75

SEC. 7 TWN. 31 RGE. 17

PLAT PAGE: F-14

BUILDING

BUILDING

BUILDING

LOCATION: 2265- 7 Street North
#R804426-RS75- 3/16/88- \$1600
Owner J Khingle- Reroof; install
Class "A" fiberglass shingle over
new 15# felt new metal drip edge
& flashing (Type VI) Calvin D
Johnson Co Inc, Contr (BLC/tmm)

PLUMBING (SEWER/SEPTIC/GAS)	ELECTRIC	MECHANICAL (INSTALLATION)

Dec 12, 2018 2:34:08 PM EST

File Edit Commands Help

NAVIGATOR PUBLIC SECTOR

Navitline

- Application 93-061730
- Bonds
- Contractor escrow
- Fees
- Global balance due
- Inspection history
- Miscellaneous info
- Names
- Permits
- Plan tracking
- Receipts
- Square footage cal
- Structures
- Valuation calculat

Property Information

Address: 2265 7TH ST N
SAINT PETERSBURG, FL

Location ID: 167817

Owner name: REEB, W TERRILL JR

Parcel Identification Nbr: 07/31/17/18936/001/00

Old account number: 88003030

Zoning:

Application Information

Application status: COMPLETED

Status Date: 7/02/1995

Application type: PERMIT FROM THE CSTONE

Application date: 6/17/1993

Valuation: 1000

Square footage: 0

Public building: NO

Contractor Information

Contractor Name: * OWNER *

Contractor Number:

Type:

Status:

Contractor Requirements Doc Number

PCCRB CERTIFICATE/REGISTRATION

Outstanding Inspections

Type	Insp ID	Schedule Date	Confirmation Number
No outstanding inspections exist			

Work Description

Code	Freeform information	Date	Print flag	Permit display	Inspect
ENOT	CRESCENT PARK HEIGHTS				
ENOT	RES1				
ENOT	BLOCK: A LOT *				
DESC	REFRAME 2 GARAGE DOOR OPENING W/STUCCO 0				
DESC	TAL 2 GARAGE DOORS-FRAME DIVIDER WALL 7				
ENOT	TIP DUE NA				
ENOT	B OF A N				
ENOT	EDC N				
ENOT	CRA N				
ENOT	UTIL CON NA				
ENOT	UTIL DEP NA				
ENOT	USER: PVR DATE 19930617 TIME 092				

CO information

Two business licences active for a total of ~~three~~ three dwelling units.

F-14

NT-2



PROPERTY CARD INTERPRETATION (PCI)

RECEIVED
 NOV 30 2018
 DEVELOPMENT REVIEW SERVICES

Application No. _____

A Property Card Interpretation (PCI) will identify lawful uses of property. All applications are to be filled out completely and correctly. Applications are submitted to the City of St. Petersburg's Development Review Services Division, located on the 1st floor of the Municipal Services Building, One Fourth Street North.

GENERAL INFORMATION	
NAME of APPLICANT (Property Owner): ZK Homes, LLC	
Street Address: 2810 Coffee Pot Blvd NE	
City, State, Zip: St. Pete, FL 33704	
Telephone No: 727.742.0261	Email Address: zehnder.zach@gmail.com
NAME of AGENT or REPRESENTATIVE: Zach Zehnder	
Street Address: 2810 Coffee Pot Blvd NE	
City, State, Zip: St. Pete, FL, 33704	
Telephone No: 727.742.0261	Email Address: zehnder.zach@gmail.com
PROPERTY INFORMATION:	
Street Address or General Location: 2265 7 th St N, St. Pete, FL 33704	
Parcel ID#(s): 07-31-17-18936-001-0010	
Legal Description (may be attached): Crescent Heights Crescent Park Heights Blk A, Lot 1 & N 4ft of Lot 2	

FEE SCHEDULE

The fee for a property card interpretation application: \$60.00 (1st hour of research, plus \$50.00 per hour thereafter)
Cash, credit, checks made payable to "City of St. Petersburg"

AUTHORIZATION

As owner of the subject property, I understand that a property card interpretation may have serious implications addressing the legality of my property. If my opinion differs from that of the PCI, I also understand that I have 15-days upon receipt of the PCI to request reconsideration, and 10-days upon receipt of the subsequent reconsideration to submit an appeal of the decision, which will be heard before the Development Review Commission. If the PCI indicates abandoned grandfathered dwelling units, then I may apply for reinstatement.

Signature of Owner / Agent*: _____ Date: 11/30/18
*Affidavit to Authorize Agent required, if signed by Agent. UPDATED 09-30-16



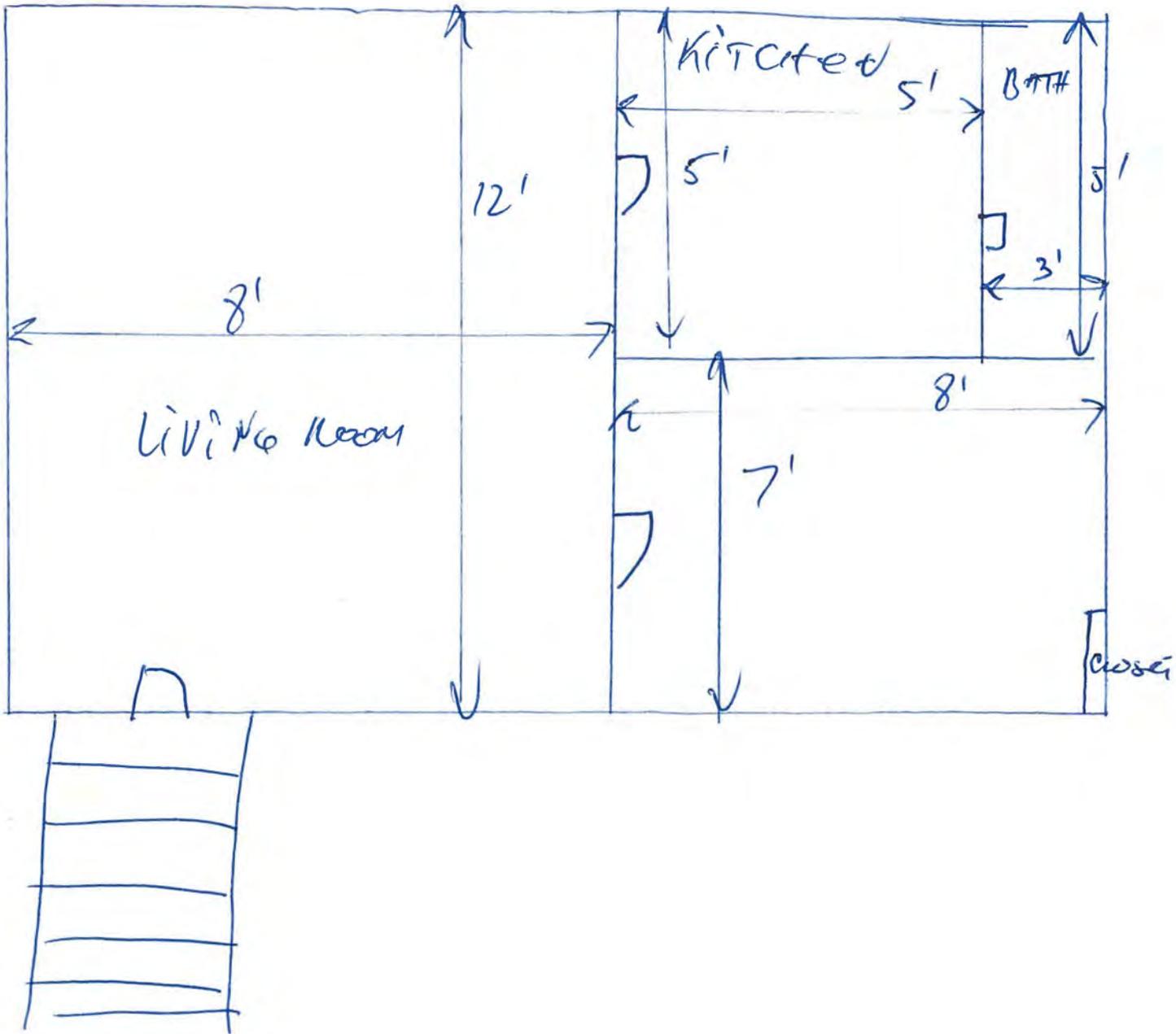
PROPERTY CARD INTERPRETATION (PCI) *NARRATIVE and CHECKLIST*

ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

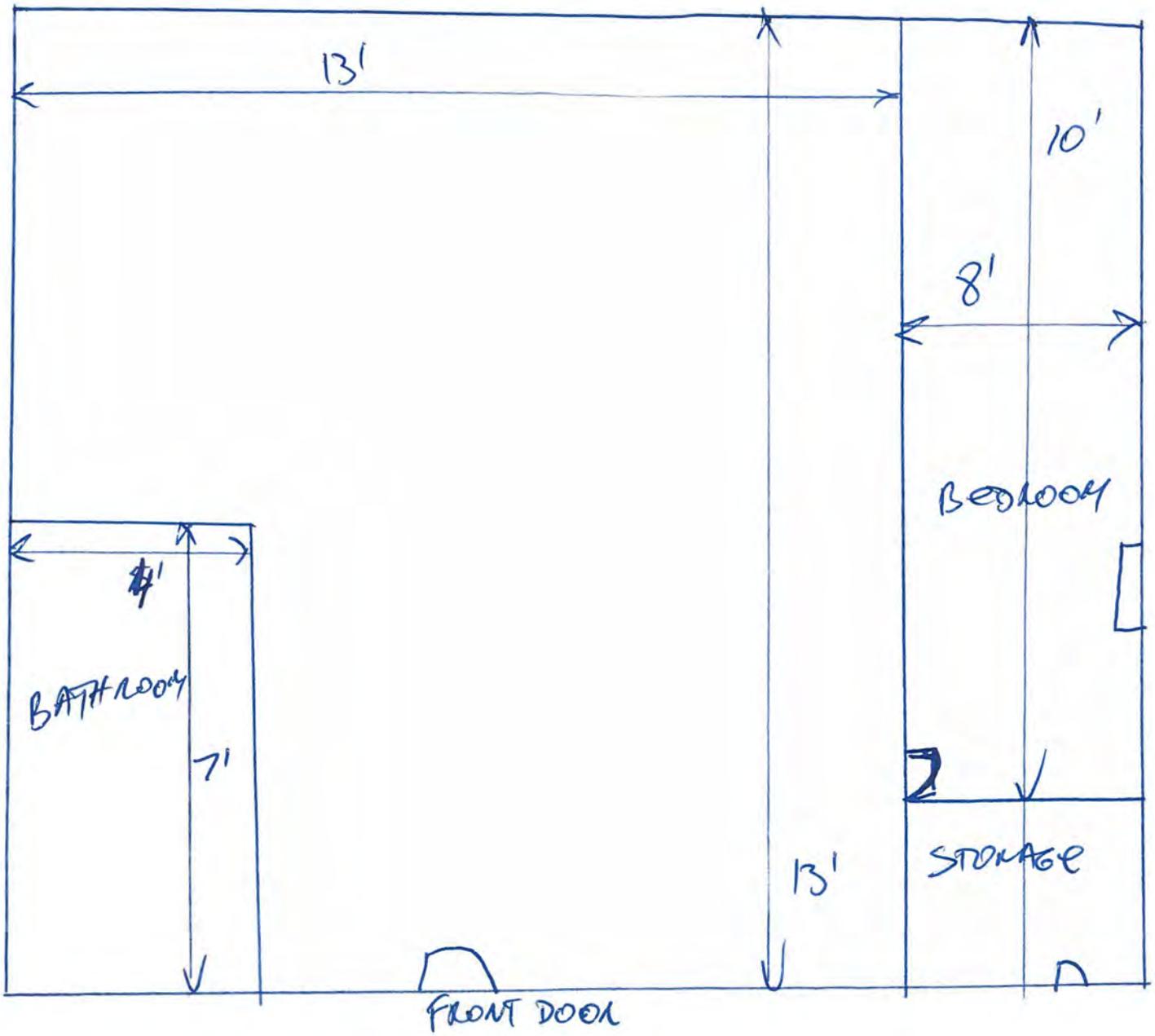
APPLICANT NARRATIVE	
<p>A property Card Interpretation will research the grandfathered status of land use types at the subject property and may determine how many legal dwelling units may exist on the subject property.</p>	
1. What is the current use of the property?	4 unit apartment complex
2. How many dwelling units exist at the property?	4
3. How many rooming units exist at the property?	4
4. Does the owner occupy the property as his or her permanent residence?	No
5. When was the last time the property was owner-occupied? MONTH _____ YEAR _____	Never
6. Are the dwelling units or rooming units currently occupied?	No
a. If yes, how many units are currently occupied?	0
b. If yes, where are the units located within the structure(s)?	Throughout
7. On what date did you purchase the property?	11/12/18
CHECKLIST	
<input type="checkbox"/> Completed PCI application form;	
<input type="checkbox"/> Application fee;	
<input type="checkbox"/> Affidavit to authorize agent, if agent signs;	
<input checked="" type="checkbox"/> A floor plan for each dwelling nit or rooming unit drawn to scale with dimensions;	
<input checked="" type="checkbox"/> Scaled, site plan of the entire property;	
<input type="checkbox"/> Dimensions of the lot; 58x131	
<input type="checkbox"/> Dimensions and locations of all buildings and other structures;	
<input checked="" type="checkbox"/> Parking spaces; 5	
<input type="checkbox"/> Ingress / egress points.	

Notice: A request for reconsideration must be filed within 15-days following delivery of the PCI to the property owner. An appeal must be filed by the property owner within 10-days following delivery of the subsequent reconsideration. Appeals are heard before the Development Review Commission. If the PCI indicates abandoned grandfathered dwelling units, then the property owner may apply for reinstatement.

#4 1/2 Second Floor

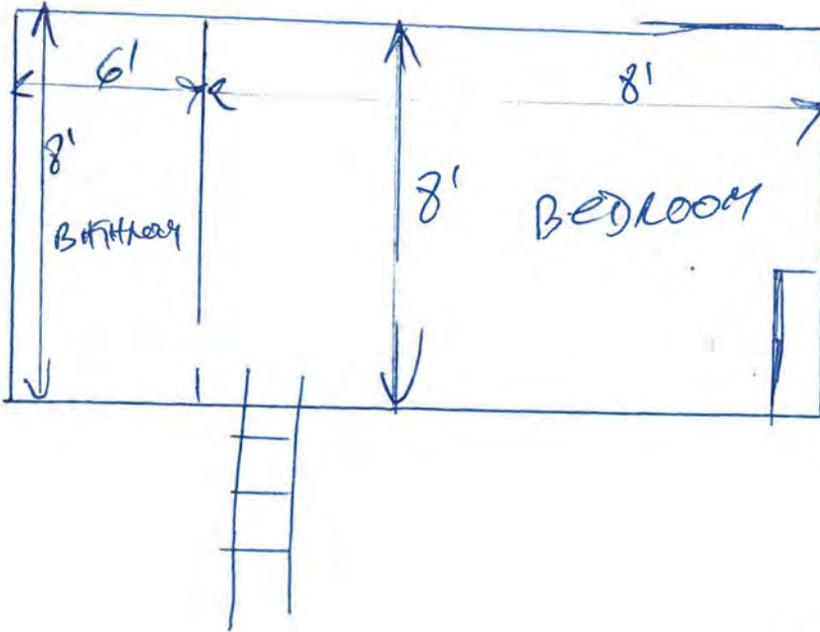
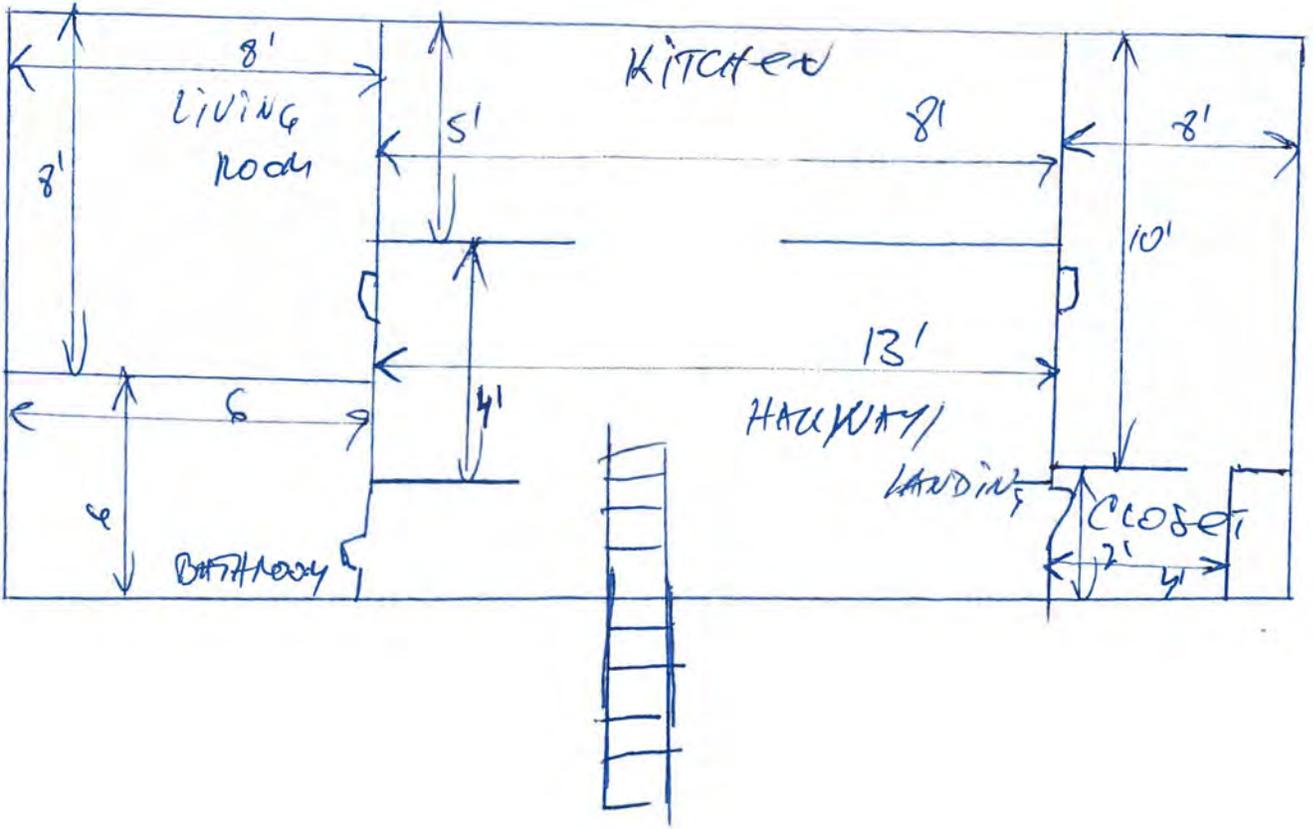


UNIT #3 111

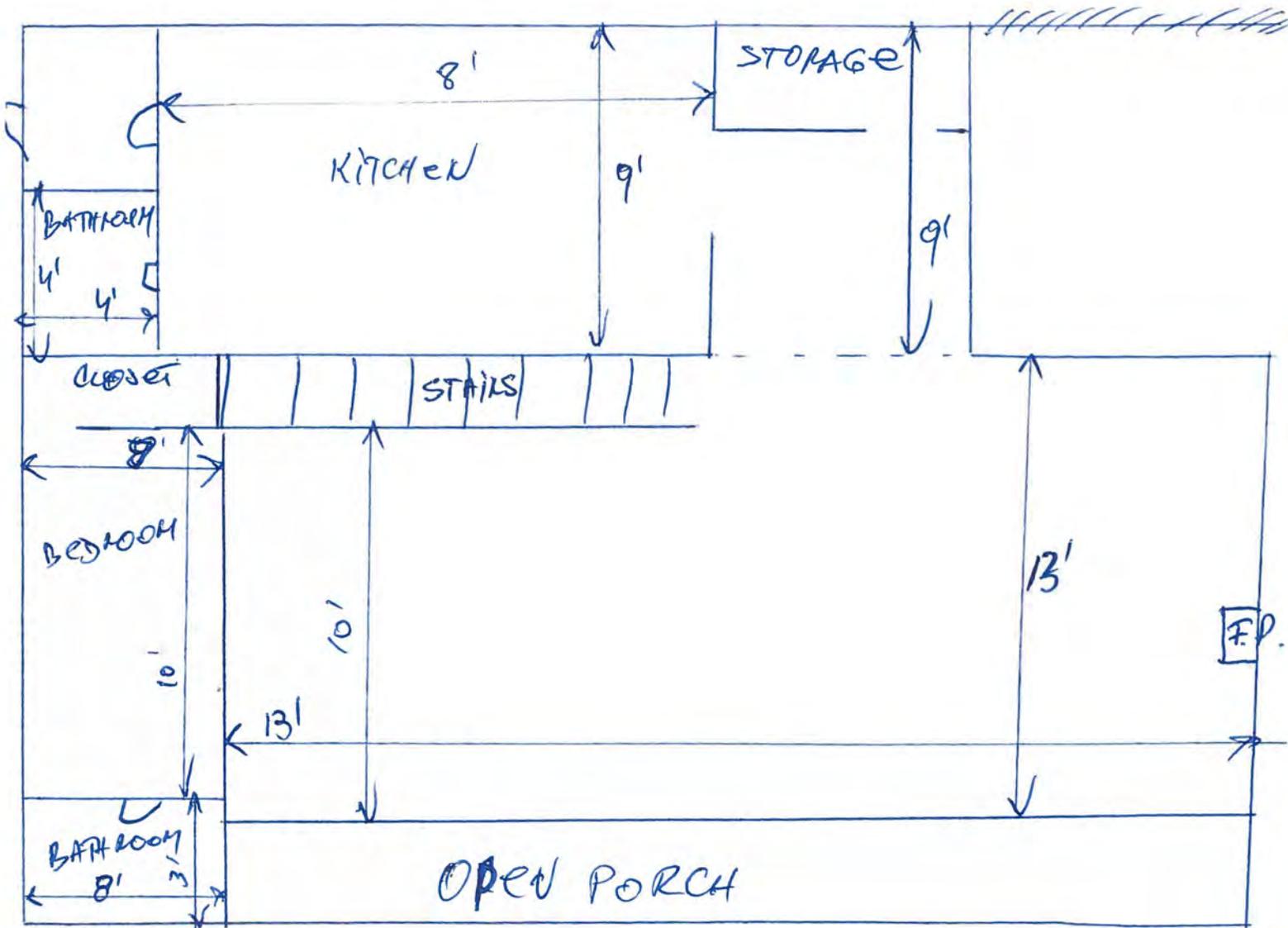


UNIT #2

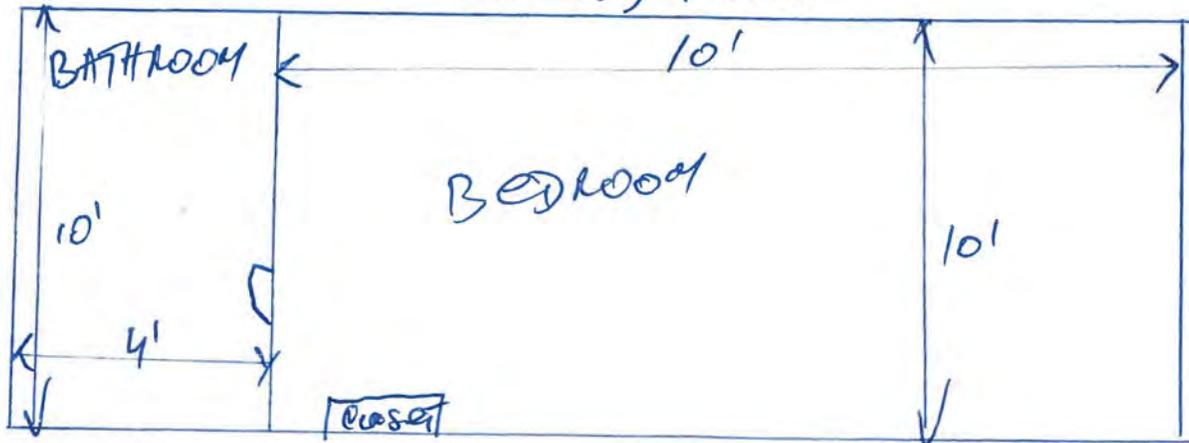
2 FLOORS UNIT



UNIT #1 2/2 2 FLOORS
 FRONT UNIT 7TH STREET

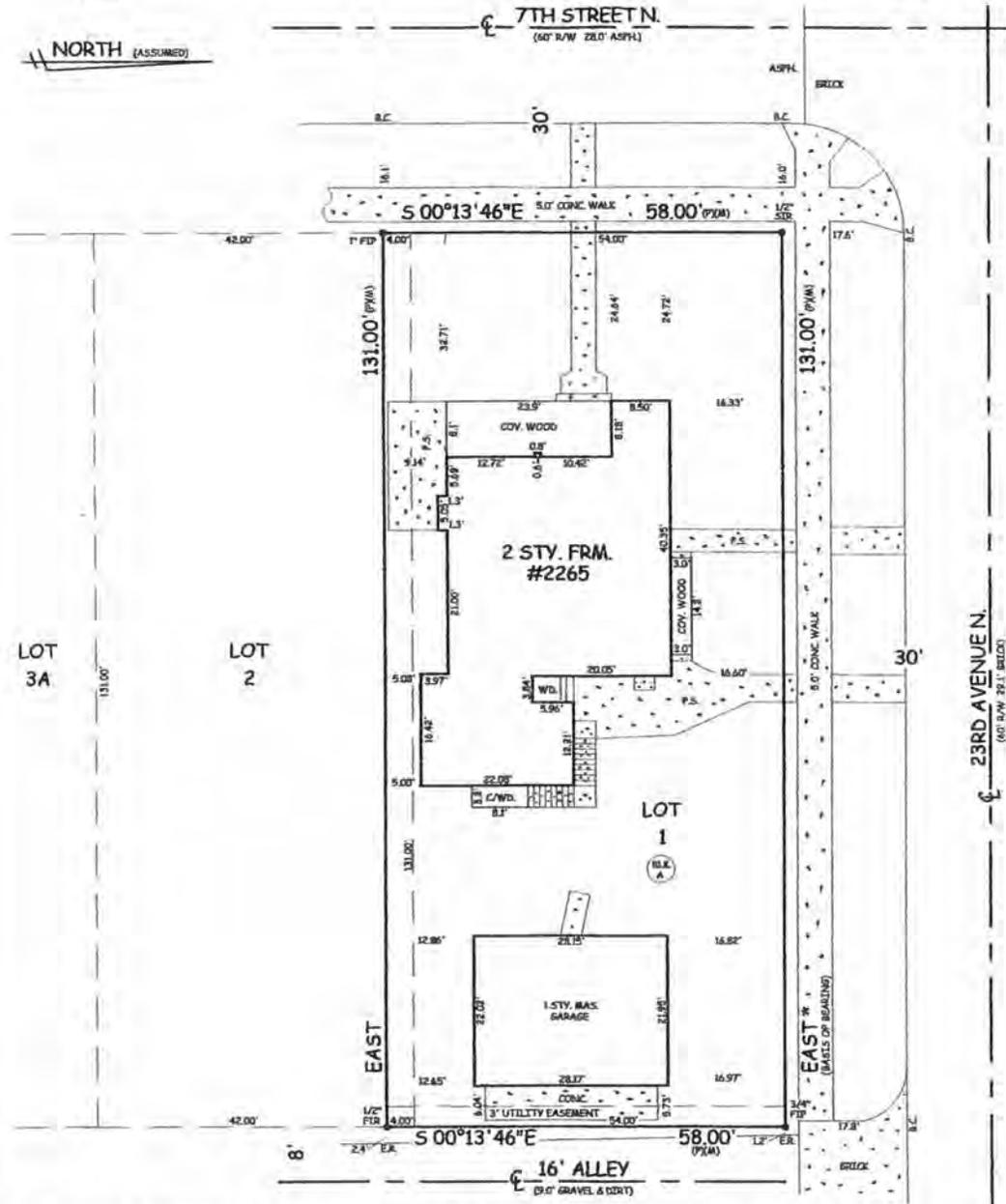


SECOND FLOOR



JOB NO.: 182056	MURPHY'S LAND SURVEYING, INC. PROFESSIONAL LAND SURVEYORS 5760 11TH AVENUE NORTH ST. PETERSBURG, FLORIDA 33710 WWW.MURPHYSLANDSURVEYING.COM	L.B. #7410	
DRAWN BY: MCM		CHECKED BY: EDM	PH. (727) 347-8740
DATE OF FIELD WORK: 11/27/18		FAX (727) 344-4640	
CERTIFIED TO: Morney Steeplechase			

SCALE: 1" = 20' Survey not valid for more than one (1) year from date of field work. SEC. 07 TWP. 31 S. RGE. 17 E.



A BOUNDARY SURVEY OF: Lot 1 and the North 4.00 feet of Lot 2, Block A, CRESCENT PARK HEIGHTS, as recorded in Plat Book 5, Page 75 of the Public Records of Pinellas County, Florida.

According to the maps prepared by the U.S. Department of Homeland Security, this property appears to be located in Flood zone: X Comm. Panel No. : 125148 0217 G Map Date : 9/03/03 Base Flood Elev : NA

FOR THE EXCLUSIVE USE OF THE HEREIN PARTY(IES), I HEREBY CERTIFY TO ITS ACCURACY (EXCEPT SUCH EASEMENTS, IF ANY, THAT MAY BE LOCATED BELOW THE SURFACE OF THE LANDS OR ON THE SURFACE OF THE LANDS AND NOT VISIBLE), AND THAT THE SURVEY REPRESENTED HEREON MEETS THE MINIMUM REQUIREMENTS OF CHAPTER 54-17, FLORIDA ADMINISTRATIVE CODE TO THE BEST OF MY KNOWLEDGE AND BELIEF. UNDERGROUND FOUNDATIONS, UTILITY LINES, AND OTHER RESTRICTIONS AFFECTING THIS PROPERTY MAY EXIST IN THE PUBLIC RECORDS OF THIS COUNTY (THIS SURVEY HAS BEEN DONE WITHOUT THE BENEFIT OF REVIEWING A CURRENT TITLE SEARCH). SURVEY NOT VALID FOR MORE THAN ONE YEAR FROM DATE OF FIELD WORK UNLESS OTHERWISE NOTED BY SURVEYORS. BEARINGS SHOWN ARE ASSUMED UNLESS OTHERWISE NOTED.

★ BEARINGS SHOWN ARE ASSUMED

LEGEND:
 F.I.P. - FOUND IRON PIPE
 F.C.M. - FOUND CONCRETE MONUMENT
 F.I.P.
 F.C.M.
 F.I.P.
 F.C.M.
 F.I.P.
 F.C.M.

FD - FOUND
 P.O.L. - POINT ON LINE

R. - RADIOS
 A. - ARC

ALUM. - ALUMINUM
 W.H. - WATER HEATER

W.V. -
 C. - CENTER MARK
 M.C. - MEASUREMENT

S.L. -
 S.L.

WOOD
 CONCRETE
 IRON PIPE
 MONUMENT



CITY OF ST. PETERSBURG, FLORIDA
PLANNING & DEVELOPMENT SERVICES DEPT.
DEVELOPMENT REVIEW SERVICES DIVISION

STAFF REPORT

DEVELOPMENT REVIEW COMMISSION - VARIANCE REQUEST PUBLIC HEARING

For **Public Hearing** and **Executive Action** on **May 1, 2019** beginning at 2:00 P.M.,
Council Chambers, City Hall, 175 Fifth Street North, St. Petersburg, Florida

According to Planning & Development Services Department records, **no Commission member** resides or has a place of business within 2,000 feet of the subject property. All other possible conflicts should be declared upon the announcement of the item.

CASE NO.: 18-54000103 PLAT SHEET: H-36

REQUEST: Approval of variances to allow for the unenclosed parking of domestic equipment in a street side yard and to allow a 6-foot fence on a street side yard abutting a neighboring front yard.

OWNER: Allison Cox
6995 17th Way North
Saint Petersburg, Florida 33702

ADDRESS: 6995 17th Way North

PARCEL ID NO.: 25-30-16-56772-050-0300

LEGAL DESCRIPTON: On File

ZONING: Neighborhood Suburban Single-Family-1 (NS-1)

BACKGROUND: The subject property is zoned NS-1 (Neighborhood Suburban Single-Family) and is located in the Meadowland Neighborhood, at the southeast corner of the intersection of 70th Avenue North and 17th Way North, see attached Aerial Map. The existing single-family residence was permitted in 1958, according to property card records.

On November 6, 2018, the subject property received a code citation for the parking of unenclosed domestic equipment (a personal watercraft and trailer) during non-permitted days and time in a front yard. Section 16.40.100.5 of the Land Development Regulations permits "On the following days and times, domestic equipment may be temporarily parked or placed to the front of the

principal structure or outside of any required shielding on private property, provided the equipment does not impede visibility for motorists and does not block any portion of the public sidewalk or roadway:

1. From Monday 8:00 a.m. through Thursday 4:00 p.m. for no more than four consecutive hours, and
2. From Thursday, 4:00 p.m. until Monday 8:00 a.m.

Additionally, the section outlines a series of conditions for which domestic equipment may otherwise remain on neighborhood properties, for example requiring a six-foot solid fence and regulating equipment location as means of visual mitigation. Current regulations allow a four-foot fence along a common street side yard property line shared by a neighbor who utilizes the street side yard as front yard and a six-foot fence complying with the zoning district's required 12-foot setback from the same shared property line. Regulations also limit the size and location of equipment to interior side yards and rear yards to reduce the overall visual impact of forms of such equipment regardless of size.

The residence of the subject property was constructed diagonally on the property, in a manner in which the front door runs more parallel to the abutting intersection than traditional homes. Several residences along 70th Avenue North between 16th Street North and 18th Street North were constructed in a similar manner and are also zoned NS-1.

This application seeks to allow domestic equipment (a personal watercraft and trailer) to be parked, placed, and stored in the street side yard, which would require shielding by a six-foot fence abutting a neighboring front yard.

Based on review of the application, staff has determined that the application requires review by the Commission.

CONSISTENCY REVIEW COMMENTS: The Planning & Development Services Department staff reviewed this application in the context of the following criteria excerpted from the City Code and found that the requested variance is **inconsistent** with these standards. Per City Code Section 16.70.040.1.6 Variances, Generally, the DRC's decision shall be guided by the following factors:

1. *Special conditions exist which are peculiar to the land, building, or other structures for which the variance is sought and which do not apply generally to lands, buildings, or other structures in the same district. Special conditions to be considered shall include, but not be limited to, the following circumstances:*
 - a. *Redevelopment. If the site involves the redevelopment or utilization of an existing developed or partially developed site.*

This criterion is applicable as the applicant placed a six-foot fence and continues to maintain forms of domestic equipment within the required street side yard of a residential property which was developed with the existing residence.

The site involves the utilization of lands developed in the late 1950's for a principal single-family dwelling. The property in its existing condition has been continually improved with a circular driveway, rear paver patio cover, detached accessory shed located at the southwest corner of the property, and a six-foot fence along both the southern and eastern property boundary lines.

- b. *Substandard Lot(s). If the site involves the utilization of an existing legal nonconforming lot(s) which is smaller in width, length or area from the minimum lot requirements of the district.*

The subject property is zoned NS-1 (Neighborhood Suburban Single Family) and is composed of one platted lot. The property currently conforms to the zoning district's required minimum lot area of 5,800 square feet, however it is deficient to the zoning district's required of minimum lot width of 75-feet, by six-feet.

- c. *Preservation district. If the site contains a designated preservation district.*

This criterion does not apply.

- d. *Historic Resources. If the site contains historical significance.*

This criterion does not apply as the property contains no historic resources.

- e. *Significant vegetation or natural features. If the site contains significant vegetation or other natural features.*

The property currently has a variety of palm trees situated along the southern and eastern boundary lines towards the rear of the property. One Laurel Oak and one Grand Live Oak, both of which are displayed in the northwestern corner of the property. Evaluation of the existing Laurel Oak tree does show signs of slight decline and potential nutrient deficiency due to an existing strangler fig. Upon future consideration, the Laurel Oak could be eligible for future tree removal.

- f. *Neighborhood Character. If the proposed project promotes the established historic or traditional development pattern of a block face, including setbacks, building height, and other dimensional requirements.*

The proposed fencing request does not promote the development pattern of existing fence lines as the neighborhood possesses several homes with street side yards facing 70th Avenue North containing six-foot fencing. Among these properties, some have residences which were constructed with primary entrances along street side yards, few similarly oriented like the subject property were constructed diagonally and others have existing fences which project out into the street side yards in a manner similar to the request.

Of the sixteen properties, all of which being corner properties with street side yards fronting 70th Avenue North, 56% of corner property fencing comply with current regulations, 31% do not comply with current regulations and 12% do not contain street side yard fencing at all. Approximately 25% of the 31% of properties with non-conforming fencing were constructed comparable to the request.

Of the sixteen homes lining 70th Avenue North, several have been reported to have forms of domestic equipment within their street side yards, however staff has observed only three properties with domestic equipment within their street side yards.

- g. *Public Facilities. If the proposed project involves the development of public parks, public facilities, schools, public utilities or hospitals.*

This criterion does not apply.

2. *The special conditions existing are not the result of the actions of the applicant;*

The existing special conditions of the property are not the result of the applicant, as the existing single-family residence was constructed in 1958. The residence was constructed in a manner which rendered all exterior walls to be skewed to all abutting property lines. Having been angularly placed, the residence's slanted orientation does not avail the property of traditional rectangular interior side or rear yard areas as intended by code. Due to the footprint and placement of the residence, the proposal to accommodate the domestic equipment in the street side yard does require an additional variance to provide a code required six-foot fence for visual buffering. The existing abutting right-of-way which encompasses 70th Avenue North is considered to be somewhat excessive in width, measuring approximately 100-feet in width, which would assist visual mitigation efforts with the required fence.

3. *Owing to the special conditions, a literal enforcement of this Chapter would result in unnecessary hardship;*

Literal enforcement of the provisions of this chapter do not result in unnecessary hardship as accessory site improvements such as domestic equipment and fencing do not inhibit and are not required to continue the existing permitted single-family use. Code Section 16.40.100.5. states the following:

1. The equipment is parked, placed or stored in the rear yard, in the interior side yard, or in the allowable buildable area for a principal or accessory structure; however, it shall not be parked, placed or stored in the front yard, in the street side yard, or in the buildable area to the front of the principal structure.

2. When parked, placed or stored within any buildable area between the street side yard and the side of the principal structure, or within 50 feet of any street right-of-way, measured from the edge of the traveled road bed, equipment must be shielded from view from the street right-of-way by a solid six-foot high fence. Any portion of the required six-foot high shielding may also be accomplished with maintained vegetation forming a solid hedge. Any gate used to comply with this shielding requirement must also be solid, six feet high, and be kept closed whenever the equipment is not being moved through the gate. When any shielding is required, it must be located on the property where the equipment is stored, and the location, height and construction of the shielding must comply with all applicable ordinances and laws.

5. Equipment cannot obstruct any door, window or other opening of a dwelling which provides light, air, entrance to or exit from a dwelling.

6. Equipment must be in sound condition, good repair and free of deterioration or damage.

Although, the property can provide some area within the required street side yard to store the proposed unenclosed domestic equipment, the application proports to allow the storage for

personal repairs and additionally would result in the blocking of existing street side yards facing windows provided the boat is parked parallel to the residence.

4. *Strict application of the provisions of this chapter would provide the applicant with no means for reasonable use of the land, buildings, or other structures;*

The applicant has the ability to continue the existing single-family use without either of the variances requested. Section 16.40.100.5 contains conditional provisions for the parking of domestic equipment in required front yards for intermittent periods of time during specified days and hours. Additionally, Section 16.40.040. permits conforming fence enclosures in street side yards to be no taller than four-feet for fencing and hedging to be no taller five-feet, on street side yard property lines when street side yards abut neighboring properties front yards. Current regulations allow a six-foot fence to be installed in a street side yard's abutting neighboring front yards when the fence conforms districts required street side yard setback.

5. *The variance requested is the minimum variance that will make possible the reasonable use of the land, building, or other structure;*

Given the following, although the existing conditions are not the direct result of the applicant's self-imposed actions, the request itself is self-imposed. The requested variances are the most minimally required to utilize the existing street side yard, however they are not necessary for the property to continue its existing single-family use.

6. *The granting of the variance will be in harmony with the general purpose and intent of this chapter;*

The request is to some extent consistent with the purpose and intent of the Comprehensive Plan to accommodate reasonable use of the property, however is not in harmony with the intent nor letter of the Code.

7. *The granting of the variance will not be injurious to neighboring properties or otherwise detrimental to the public welfare; and,*

The granting of these variances requested are not detrimental to public welfare, nor are they injurious to abutting properties. However, the granting of these requests could set a precedent allowing taller fences in street side yards to accommodate forms of domestic equipment for neighborhood properties.

8. *The reasons set forth in the application justify the granting of a variance;*

Given the unique location of the residence and the large right-of-way, the reasons set forth by this application could justify the granting of the requested variances.

9. *No nonconforming use of neighboring lands, buildings, or other structures, legal or illegal, in the same district, and no permitted use of lands, buildings, or other structures in adjacent districts shall be considered as grounds for issuance of a variance permitting similar uses.*

This criterion does not apply.

PUBLIC COMMENTS: The subject property is within the boundaries of the Meadowlawn Neighborhood Association. No public comments have been received regarding this request. Signatures of support have been provided with the application. The most directly affected property owner for the property located at 1700 70th Avenue North has signed the application's worksheet in support of this application.

STAFF RECOMMENDATION: Based on a review of the application according to the stringent evaluation criteria contained within the City Code, the Planning and Development Services Department Staff recommends **DENIAL** of the requested variance.

CONDITIONS OF APPROVAL: If the variance is approved consistent with the site plan submitted with this application, the Planning and Development Services Department Staff recommends that the approval shall be subject to the following:

1. All forms of unenclosed domestic equipment shall be stored behind the residences front façade and shall remain shielded by a solid six-foot fence.
2. All fencing to achieve the proposed shall be placed on and may not extend beyond private property boundary lines, without the granting of a minor easement from the City's Engineering Department prior to installation.
3. Prior to the installation the proposed six-foot fence, as illustrate in the site plan provided, a revised to depict the location of the proposed fencing and the proposed parking orientation of domestic equipment.
4. This variance approval shall be valid through May 1, 2022. Substantial construction shall commence prior to this expiration date. A request for extension must be filed in writing prior to the expiration date.
5. Approval of this variance does not grant or imply other variances from the City Code or other applicable regulations.

ATTACHMENTS: Aerial Map, Boundary Survey, Photographs, Site Plans, Applicant's Narrative, Signatures of Support, Codes Compliance Report, Property Card, Building Permit History, City Code Section 16.40.100.5. - Domestic equipment parked, placed, or stored on neighborhood zoned property, Fence, Wall, and Hedge Regulations Handout.

Report Prepared By:

Shervon Chambliss / ~~Quinn~~ → 4/24/19
Shervon Chambliss, Planner I Date
Development Review Services Division
Planning & Development Services Department

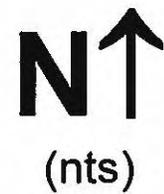
Report Approved By:

J. C. Bryla 4.24.19
Jennifer C. Bryla, AICP, Zoning Official (POD) Date
Development Review Services Division
Planning & Development Services Department

JCB/SAC:iw



Project Location Map
City of St. Petersburg, Florida
Planning and Development Services
Department
Case No.: 18-54000103
Address: 6995 37th Street South



Boundary Survey



SCALE 1"=30'



ADDRESS
6995 17TH WAY N.
ST. PETERSBURG, FLORIDA 33702

LEGEND

- = Iron Pipe & Cap (IP)
- ⊙ = Iron Rod & Cap (IR)
- ⊗ = Nail & Disk (N&D)
- = Concrete Monument (CM)
- OR = Official Record
- PB = Plat Book
- Pg = Page
- CONC. = Concrete
- LB = Licensed Business
- LS = Licensed Surveyor
- FND = Found
- ID = Identification
- (C) = Calculated Distance
- (F) = Field Measurement
- (D) = Dead Dimension
- (P) = Plat Measurement
- TYP = Typical
- ON/OFF = Onsite/Offsite
- D = Central Angle
- L = Arc Length
- R = Radius
- CB = Chord Bearing
- CH = Chord Length
- Cable TV Riser
- Power Pole
- Water Meter
- Telephone Riser
- Electric Box
- Light Pole

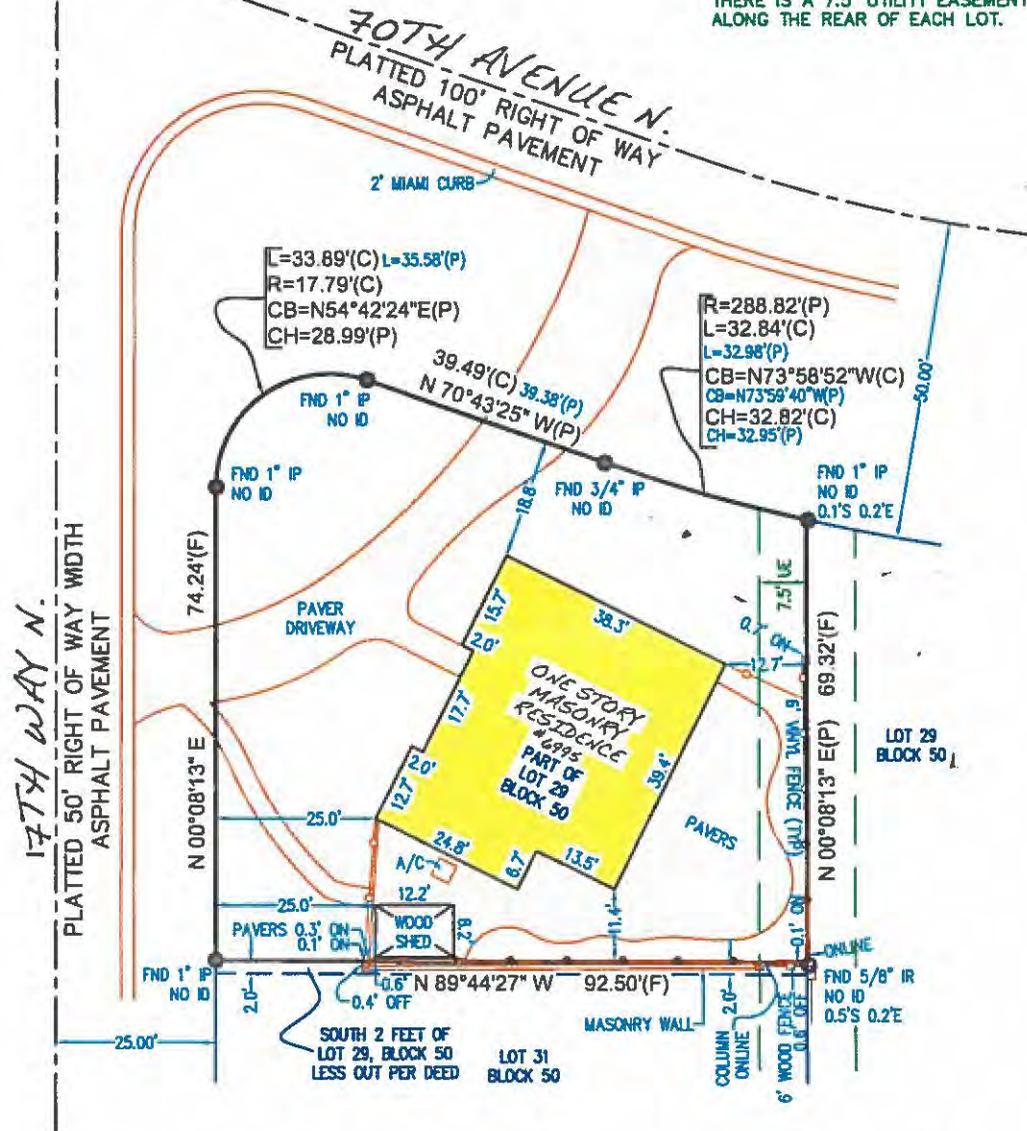
JOB #:	VLSR17-23377
CLIENT #:	FTPA17-47438
FIELD DATE:	10/19/17
CREW:	RZ/CA
DRAFTER:	AWM
APPROVED:	JEW
SCALE:	1" = 30'

COPYRIGHT 2011

X Borrower's Acknowledgment and Acceptance



EASEMENT NOTE:
THERE IS A 7.5' UTILITY EASEMENT (UE)
ALONG THE REAR OF EACH LOT.



CERTIFIED TO: (AS FURNISHED)
Allison Cox and Anne Grace Cox
HomeBridge Financial Services, Inc., ISAQA / ATIMA
Fidelity National Title of Florida, Inc.
Fidelity National Title Insurance Company

FLOOD ZONE
SUBJECT PROPERTY SHOWN HEREON APPEARS TO BE LOCATED IN FLOOD ZONE "AE". AREAS DETERMINED TO BE INSIDE THE 100-YEAR FLOODPLAIN, PER F.I.R.M. PANEL NUMBER 12103C0208G. LAST REVISION DATE 8/18/2009. (PER MAPWISE WEBSITE). THIS SURVEYOR MAKES NO GUARANTEES AS TO THE ACCURACY OF THE ABOVE INFORMATION. THE LOCAL F.E.M.A. AGENT SHOULD BE CONTACTED FOR VERIFICATION.

LIST OF POSSIBLE ENCROACHMENTS:
OWNERSHIP OF FENCES AND WALL NOT DETERMINED.
PAVERS LIE PARTIALLY WITHIN THE EASEMENT AREA.

BASIS OF BEARING
BEARINGS ARE BASED ON THE EAST RIGHT OF WAY LINE OF 17TH WAY N., WHICH HAS A BEARING OF N 00°08'13" E PER PLAT.

- NOTES**
- Underground utility installations, underground improvements, foundations and/or other underground structures were not located by this survey.
 - The purpose of this survey is for use in obtaining title insurance and financing and should not be used for construction purposes.
 - Additions or deletions to this survey by anyone other than the signing party or parties is prohibited without the written consent of the signing party or parties.
 - The property shown hereon is subject to all easements, restrictions and reservations which may be shown or noted on the record plat and within the public records of the county the subject property is located. This survey only depicts survey related information such as easements and setbacks that are shown on a record plat or have been furnished to the Surveyor.
 - Building ties and dimensions for improvements should not be used to reconstruct boundary lines.

THIS SURVEY IS PREPARED FOR THE EXCLUSIVE USE AND BENEFIT OF THE PARTIES LISTED HEREON. LIABILITY TO THIRD PARTIES MAY NOT BE TRANSFERRED OR ASSIGNED.

LB 7788



941 S Pennsylvania Ave, Winter Park, FL 32789 | (888) 399-8474

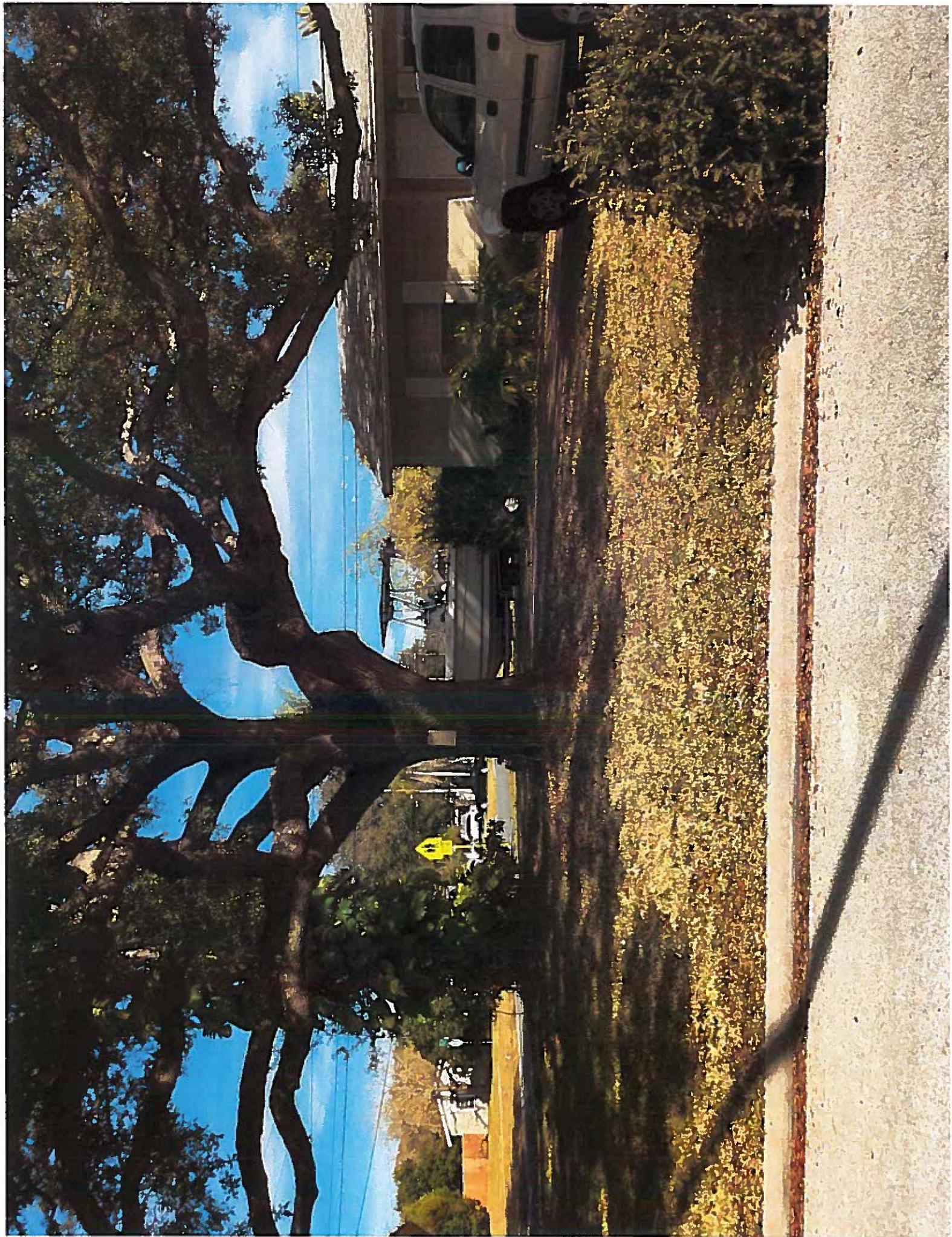
SURVEYOR'S CERTIFICATE
I HEREBY CERTIFY THAT THIS SURVEY IS MADE AND ACCURATE REPRESENTATION OF A SURVEY MADE IN MY DIRECTION.



Joseph E. Williams, PLS
PROFESSIONAL LAND SURVEYOR
FLORIDA REGISTRATION #6573
NOT VALID WITHOUT THE ELECTRONIC SIGNATURE AND/OR ORIGINAL RAISED SEAL OF THE LISTED FLORIDA LICENSED SURVEYOR AND MAPPER

DATE	REVISION	DATE	REVISION

Legal Description (per OR Book 14241, Page 1533)
Lot 30, less the South 2 feet thereof, Block 50, MEADOW LAWN NINTH ADDITION, according to the plat thereof as recorded in Plat Book 44, Page(s) 2 through 4, Public Records of Pinellas County, Florida.















Fence Proposal/Contract

(813) 326-7426

marc.fenceservices@gmail.com
3136 Phoenix Ave., Oldsmar, FL 34677

PERMIT/INSPECTION INFORMATION: Permit Required? Yes NO

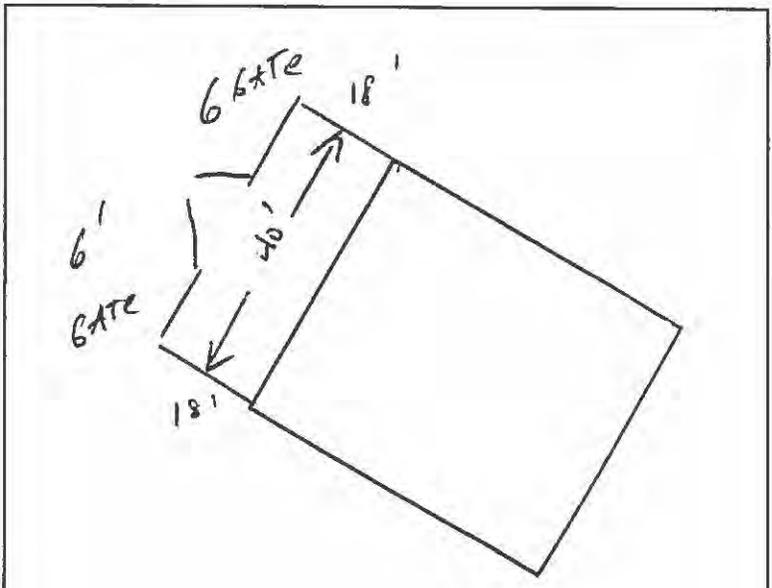
DATE WRITTEN UP: 11/16/18

Name Allison Cox Subdivision _____

Address 6995 17th Way N City ST Petersburg 33702

Phone # 386-366-1834 Fax # _____ E-mail: _____

- ALUM P.V.C. WOOD CHAIN LINK
- TYPE Dogwood Home COLOR White
- HEIGHT 6 FOOTAGE 76
- GATES 2 - 6' wide SELF-CLOSING
- TYPE _____ COLOR _____
- HEIGHT _____ FOOTAGE _____
- GATES _____ SELF-CLOSING
- TERM. POST _____
- IN GROUND CORE DRILL
- FLOOR FLANGE WALL MOUNT



PRICE: \$ 1900

GATES: \$ 850

TEARDOWN AND HAUL: \$ _____

PERMIT FEE: \$ _____

TOTAL: \$ 2,750

50% DEPOSIT: \$ 1375

BALANCE DUE UPON COMPLETION: \$ 1375

NOTES: _____
 * CUSTOMER TO Apply for
 VARIANCE with City
 (CORNER LOT)

ACCEPTED: The above prices, specifications and conditions are satisfactory and hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined. Purchaser is responsible for locating property lines. Purchaser takes sole responsibility for fence location. Fence Services of Florida LLC is not responsible for damage to sprinkler system. Purchaser agrees that all product delivered and/or installed per this contract remain the property of Fence Services of Florida LLC, until payment is made.

Customer Signature: _____ Date _____

Salesperson Signature: _____ Date _____

4307



4151 - 118th AVENUE NORTH, CLEARWATER, FL 33762
 Hillsborough (813)886-5097 License #: 104321.000
 Pinellas (727)631-0092 License #: C-8464
 Pasco (727)815-1533 License #: 606459
 Manatee (941)739-5745 License #: MC01032
 Fax (813)886-5849
 Website: www.alliedfencetampa.com
 Email: estimating@wctampa.com

Phonebook
 Referral
 Repeat Customer
 Online
 Date: 11-16-18
 P.O. #: _____

CUSTOMER INFORMATION

Name: Alli Cox
 Address: 6995 17 Way N
 City: St. Pete State _____ Zip 33702
 ATTN: _____
 Phone: 386-366-1834
 Email: _____

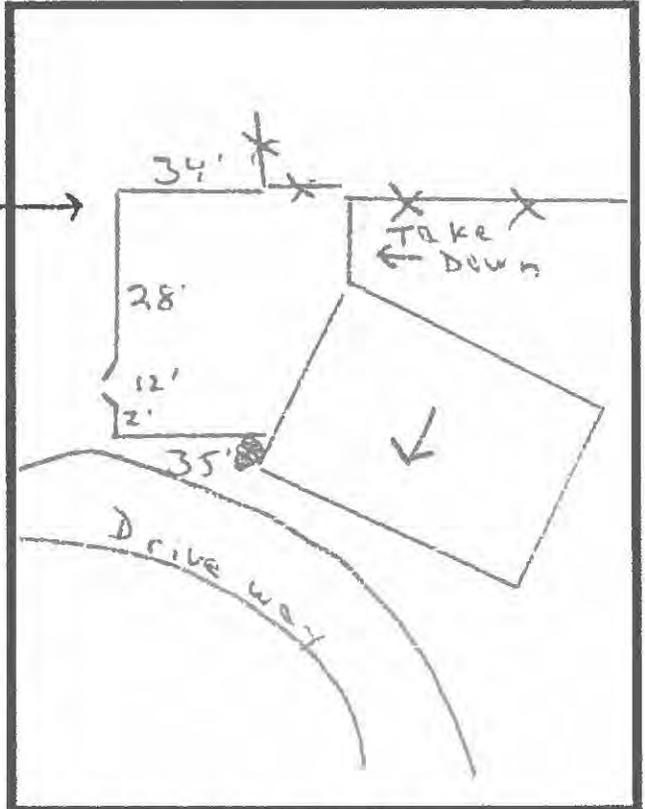
Installation promised within 15-20 working days

CHECK TYPE OF FENCE

- Chain Link - Gal / VC 9ga / 11.5ga P.T. Pine Wood
 Cypress Wood Custom Fence PVC Fence - White / Tan
 Ornamental Steel or Aluminum Other _____

SPECIFICATION OF MATERIALS

Diameter T Posts 5x5 Diameter L Posts 5x5
 Top Rail 1 1/2 x 5 1/2 Barb Wire _____
 Bottom Wire _____ Concrete All post
 Walk Gate _____ Drive Gate 6x12
 Roll Gate _____ Gate Post _____
 Height 6 Overall Length 101'
 Other Specifications _____



ALL POWER AND CONDUIT FOR GATE OPERATOR TO BE PROVIDED BY THE CUSTOMER
ALLIED FENCE OF TAMPA INSTALLERS ARE NOT RESPONSIBLE FOR UNDERGROUND SEWER, ELECTRIC, TELEPHONE, WATER OR SPRINKLER LINES

TYPE OF TERRAIN

Level Earth / Hilly / Asphalt / Concrete / Rock
 Who moves obstruction: Customer / Allied Fence
 Type of Obstructions: Old Fence / Trees / Branches / Shrubs

Did estimator mark all fence lines?
 Centers 6 Face: IN / OUT
 Follow Grade / Split Grade / High Grade / Trench
 Special Equipment Necessary? _____

1st QUALITY WOOD FENCE: RESIDENTIAL - 2 YEAR LIMITED WARRANTY ON LABOR AND MATERIAL; CHAIN LINK: RESIDENTIAL - 5 YEAR LIMITED WARRANTY ON LABOR AND MATERIAL; ALL COMMERCIAL FENCE - 1 YEAR LIMITED WARRANTY (SEE WARRANTY CARD)

Special Instructions: 101' Gal White PVC 1-6x12 gate \$ 3254.00

Materials	<u>All included</u>
Misc.	
Tax	
Permit	
Labor	
Removal	
Total	
Deposit	<u>50%</u>
Balance	

Visa MasterCard Discover

Card Number _____ Exp. Date _____ V-Code _____
 APPROVED & ACCEPTED BY CUSTOMER
 (Including all standard terms on revers side hereof)

Customer Signature _____ Date _____
Doug 813-784-5717
 Salesperson Signature _____ Date _____

The sadness of poor quality material and workmanship will last much longer than the sweetness of a cheap price.



PHONE / FAX:
545-4961

RESIDENTIAL
COMMERCIAL
PCCLB # C-10479

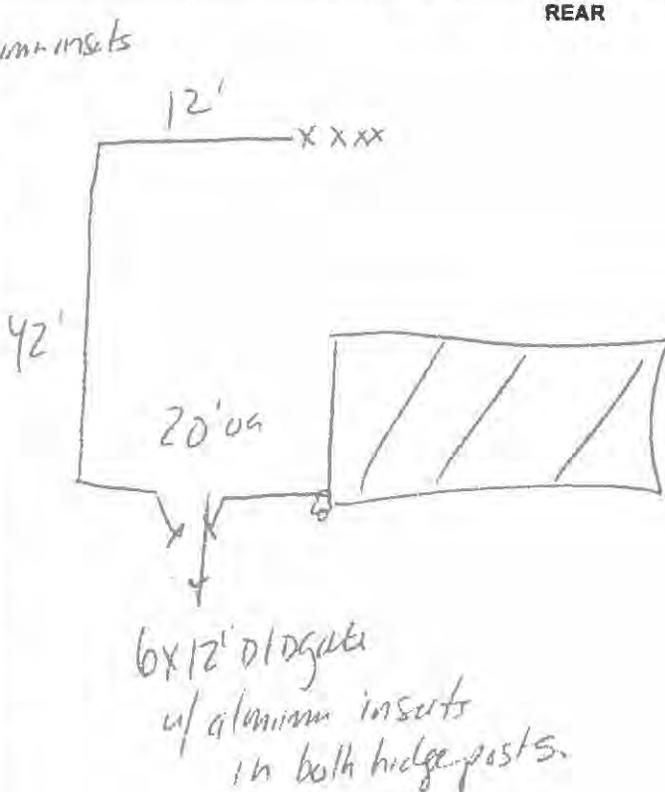
A-1 FENCE INC.

Mailing Address:
4321 63rd Way N.
Kenneth City, FL 33709
bestdefence01@yahoo.com



DATE <u>11/15/18</u>		
CUSTOMER <u>Allison Cox</u>		
STREET <u>6995 17th Way N</u>		
CITY <u>Steele</u>	STATE	ZIP
JOB ADDRESS		
HOME	WORK	CELL <u>386 366 1836</u>
CONTACT		FAX

WALK GATES	DRIVE GATES
	<u>16x12" w/ aluminum inserts</u>
ROLL GATES	LATCH TYPE
	<u>Deluxe</u>
<input type="checkbox"/> WOOD LENGTH	<input type="checkbox"/> PVC HEIGHT
<u>74'</u>	<u>6'</u>
TYPE	STYLE
<u>PVC white</u>	<u>7+6</u>
PICKET SIZE	STRINGER
<u>7/8x6"</u>	<u>1 1/2x5 1/2</u>
TYPE TOP	
<input type="checkbox"/> DOG EAR	<input type="checkbox"/> POINTED
<input type="checkbox"/> CLIP CORNER	<input type="checkbox"/> FLAT TOP
<input type="checkbox"/> BARB UP	<input type="checkbox"/> KNUCKLE-UP
PVC CAPS	
STYLE	QUANTITY
<u>Flat</u>	
POSTS	
<u>5x5x9. 130 wall</u>	
CHAIN LINK	
LENGTH	HEIGHT
GAUGE	
<u>11 1/2</u>	<u>9 6</u>
DIAM TOP RAIL	DIAM GATE FRAME
TOTAL VINYL SYSTEM <input type="checkbox"/>	
VINYL COLOR	
VINYL WIRE ONLY <input type="checkbox"/>	TENSION WIRE <input type="checkbox"/>
DIAM LINE POST	DIAM TERM POST
GAUGE FRAMEWORK	
BARBED WIRE	
# STRANDS	BARB ARMS IN OUT VERT
<u>0 3 6</u>	
<input type="checkbox"/> ALUMINUM LENGTH	<input type="checkbox"/> STEEL HEIGHT
STYLE	COLOR
TAKE DOWN	
LENGTH	HEIGHT
<input type="checkbox"/> CUSTOMER TO TRIM AND CLEAR	
A <input type="checkbox"/> TO BE SET TOP STRAIGHT	
B <input type="checkbox"/> TOP OF FENCE TO FOLLOW GROUND	



CHECK HERE IF CUSTOMER IS ACCEPTING RESPONSIBILITY FOR GETTING PERMITS AND ANY RELATED FEES, FINES, ETC.

CHECK CASH VISA MASTERCARD

PLEASE READ AND BE SURE YOU UNDERSTAND THE TERMS AND CONDITIONS ON THE REVERSE SIDE BEFORE SIGNING THIS CONTRACT. MANY OF THEM WILL BE IMPORTANT TO YOU.

TOTAL PRICE INCLUDES
 MATERIAL TEAR-OUT & HAUL LABOR
 PERMIT NOTICE OF COMMENCEMENT

TOTAL \$ 2506.00

40% DEPOSIT

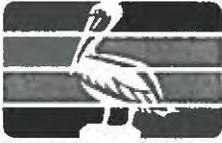
BALANCE

AUTHORIZED SIGNATURE [Signature] DATE 11/15/18

CUSTOMER SIGNATURE X _____ DATE _____

PRINT NAME CLEARLY _____

BALANCE TO BE PAID TO CREW WHEN JOB IS COMPLETE
A-1 FENCE IS NOT RESPONSIBLE FOR SPRINKLERS OR ANY UNDERGROUND UTILITIES



st.petersburg
www.stpete.org

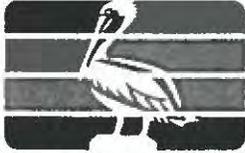
VARIANCE

NARRATIVE (PAGE 1)

All applications for a variance must provide justification for the requested variance(s) based on the criteria set forth by the City Code. It is recommended that the following responses be typed. Illegible handwritten responses will not be accepted. Responses may be provided as a separate letter, addressing each of the six criteria.

ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE	
Street Address: 6995 17 th Way North	Case No.:
Detailed Description of Project and Request:	
I would like to extend my existing back yard fence around the side yard (considered the front yard by the city because I live on a corner lot) to store my boat year round.	
1. What is unique about the size, shape, topography, or location of the subject property? How do these unique characteristics justify the requested variance?	
Because I live on a corner lot my side yard is considered part of my front yard. The city does not permit fences left or more in height to be build in front yards. However, to comply with code enforcement, I have to store my boat behind a fence at least left tall. Unfortunately, because my home was built diagonally on my lot, I cannot fit my boat in my small backyard. This leaves the side (front) yard as my only option.	
2. Are there other properties in the immediate neighborhood that have already been developed or utilized in a similar way? If so, please provide addresses and a description of the specific signs or structures being referenced.	
Yes! 7000 17 th Lane North has a left side (front) yard fence. 1780 70 th Circle North, 1785 70 th Circle North, 7001 17 th Lane North, and 7000 17 th Way North (who signed the Neighborhood Worksheet) all have left fences on their side (front) yards. Additionally, 6596 17 th Street North, 6595 17 th Street North, and 6597 17 th Way North not only have left fences on their side (front) yards, all three of these properties have a boat or RV/Camper parked (enclosed) by said fence.	
3. How is the requested variance not the result of actions of the applicant?	
I purchased the house already built on the lot in the unique orientation that prevents me from parking the boat in the backyard and requires me to park it in the true front or side front yard.	



st.petersburg
www.stpete.org

VARIANCE

NARRATIVE (PAGE 2)

All applications for a variance must provide justification for the requested variance(s) based on the criteria set forth by the City Code. It is recommended that the following responses be typed. Illegible handwritten responses will not be accepted. Responses may be provided as a separate letter, addressing each of the six criteria.

ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE
<p>4. How is the requested variance the minimum necessary to make reasonable use of the property? In what ways will granting the requested variance enhance the character of the neighborhood?</p> <p>Because my house was built diagonally on my lot, there is not much of a backyard. Therefore, I am unable to park and store my boat back there. I do have a very large true front yard and side (front) yard. Building a 6ft fence around the side (front) yard would provide storage for my boat. It would also serve as an attractive solution to hiding the eyesore that is the boat from view. Finally, because my true front yard is so large, it wouldn't take away from the greenery and mature landscaping because they would still be visible from the street.</p>
<p>5. What other alternatives have been considered that do not require a variance? Why are these alternatives unacceptable?</p> <p>I have looked into storage of the boat at marinas and at storage facilities. These alternatives can be very costly. Also, I am working on the boat mechanically. Having the boat at home allows me to work on it at anytime - something not always permitted at the other alternatives.</p>
<p>6. In what ways will granting the requested variance enhance the character of the neighborhood?</p> <p>Granting the request will allow me to hide the boat from street view. This will make my property look clean and neat - as a boat can be considered an eyesore by some. Additionally, because there is a lot of street traffic that passes my front (side) yard, drivers tend to litter in my yard. I am outside picking up garbage regularly. Perhaps having a fence instead of a sprawling grassy lawn may discourage littering in my yard.</p>



VARIANCE

NEIGHBORHOOD WORKSHEET

Applicants are strongly encouraged to obtain signatures in support of the proposal(s) from owners of property adjacent to or otherwise affected by a particular request.

NEIGHBORHOOD WORKSHEET	
Street Address: <u>6995 17th Way N</u>	Case No.:
Description of Request: <u>Build a left PVC fence on side yard (facing 70th Ave N) to store boat from line of sight.</u>	
The undersigned adjacent property owners understand the nature of the applicant's request and do not object (attach additional sheets if necessary):	
1. Affected Property Address: <u>7000 17th Way N 33702</u>	
Owner Name (print): <u>LYNDSEY McHARY - Roads</u>	
Owner Signature: <u>[Signature]</u>	
2. Affected Property Address: <u>7070 17th Way N. St. Pete, FL 33702</u>	
Owner Name (print): <u>ELIZABETH KIRCHNER</u>	
Owner Signature: <u>[Signature]</u>	
3. Affected Property Address: <u>6945 17th Way N. ST PETE 33702</u>	
Owner Name (print): <u>SUZANNE CROCIETTI</u>	
Owner Signature: <u>Suzanne M. Crocetti</u>	
4. Affected Property Address: <u>1700 70th AVE N</u>	
Owner Name (print): <u>CHANDRA LEKRAM</u>	
Owner Signature: <u>C. Lekram</u>	
5. Affected Property Address: <u>6988 17th Way N, St Petersburg 33702</u>	
Owner Name (print): <u>Genevieve Shepherd</u>	
Owner Signature: <u>[Signature]</u>	
6. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
7. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
8. Affected Property Address:	
Owner Name (print):	
Owner Signature:	



Related Cases And Inspection Selection

Property address, location ID: 6995 17TH WAY N
Parcel Identification Nbr: 253016567720500300/
Old account number: 14802150

Number	Status	Date	Insp	Description
18 00029301	ACTIVE	11/06/18	JDS	CIVIL CITATION - DOM. EQ
02 00016936	CASE CLOSED	8/15/02	SL	ZONING VIOLATIONS
95 00027868	VOIDED	9/11/95	PS	NONE

- ✓ OK
- ✗ Exit
- < Cancel
- Display open
- Cases only
- View 2

Feb 25, 2019 8:36:05 AM EST

File Edit Commands Help

SECTOR

Case 18-00029361

Property Information
Address: 6995 17TH WAY N SAINT PETERSBURG, FL

Case General Information
Case status: AC ACTIVE
Status date: 11/06/2018

Case narrative

November 6, 2018 2:52:27 PM 1dsummer.
noted domestic parking on unapproved days/time, not limited to: the boat

Violation comments

DOMESTIC EQUIPMENT - ACTIVE

noted domestic parking on unapproved days/time, not limited to: the boat

as of 1/2/2019 violation remains, boat parked in the driveway area on unapproved days/times.

** homeowner was told by supervisor Andrea brown and codes compliance Jeff summers that while waiting on a variance boat needed to be parked where the fence would be and not in the driveway area**

Inspection comments

001 - INITIAL INSPECTION
Results status INSPECTION...

November 6, 2018 2:55:42 PM 1dsummer.
noted domestic parking on unapproved days/time, not limited to: the boat

002 - REINSPECTION
Results status INSPECTION...

December 5, 2018 6:52:10 AM 1dsummer.
boat moved to side of the residence, per codes waiting on variance

003 - REINSPECTION
Results status INSPECTION...

January 2, 2019 2:07:57 PM 1dsummer.

Print
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Feb 25, 2019 8:06:27 AM EST

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PROPERTY SECTOR

Case 18-00029361

All Actions
 Board Meetings
 Data Actions
 Fees
 Inspections
 Liens
 Names
 Notices
 Other Actions
 Receipts
 Text
 Work Requests

Property Information

Address: 6995 17TH WAY N
SAINT PETERSBURG, FL

Case General Information

Case status: AC ACTIVE
Status date: 11/06/2018

Type	Text
003 - REINSPECTION	
Results status	INSPECTION...
	January 2, 2019 2:07:57 PM jdsommer.
	as of 1/2/2019 violation remains, boat parked in the driveway area on unapproved days/times.
	** homeowner was told by supervisor Andrea brown and codes compliance Jeff summers that while waiting on a variance boat needed to be parked where the fence would be and not in the driveway area**
004 - REINSPECTION	
Results status	INSPECTION...
	January 24, 2019 4:51:27 PM jdsommer.
	no domestic parking
006 - REINSPECTION	
Results status	INSPECTION...
	February 14, 2019 10:14:11 AM jdsommer.
	applied for variance xi per supervisor ab
007 - REINSPECTION	
Board meeting comments	
Other action comments	
001 - RECORD CHECK	
	November 6, 2018 2:58:14 PM jdsommer.
	no ownership change
002 - TELEPHONE CONVERSATION	
	November 27, 2018 9:12:19 AM jdsommer.
	filled for variance for fence
003 - LETTER RECEIVED	
	December 5, 2018 6:50:26 AM jdsommer.
	received letter for extension while working with zoning for

- Case 18-00029361
- All Actions
- Board Meetings
- Data Actions
- Fees
- Inspections
- Liens
- Names
- Notices
- Other Actions
- Receipts
- Test
- Work Requests

Property Information

Address: 6995 17TH WAY N
SAINT PETERSBURG, FL

Case General Information

Case status: AC ACTIVE
Status date: 11/06/2018

Type	Date
003 - LETTER RECEIVED	December 5, 2018 6:50:26 AM jdsommer. received letter for extension while working with zoning for a variance, granted
004 - TAKE PHOTOGRAPHS	January 2, 2019 2:11:28 PM jdsommer. took photo for civil citation
005 - RECORD CHECK	January 2, 2019 2:11:48 PM jdsommer. COX, ALLISON COX, ANNE GRACE 6995 17TH WAY N ST PETERSBURG FL 33702-6541
006 - SUPERVISOR DECISION/ RE...	January 3, 2019 7:32:20 AM a4brown. First civil citation approved to owner.
007 - CITATION SENT CERTIFIED...	January 3, 2019 8:03:29 AM jdsommer. sent certified mail
008 - RETURN RECEIPT REC'D / ...	RETURNED RECEIPT RECEIVED FOR CIVIL CITATION ADDRESSED TO: ALLISON COX SIGN BY: NOT LEGIBLE. January 26, 2019 12:45:21 PM vmmunper.
Land Management information	
Legal description	MEADOW LANN 9TH ADD BLK 50, LOT 30 LESS S 2FT
Lien information	

- Print
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- Refresh
- Land Inquiry
- Call Inquiry
- Print History
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- Display in des...

SUBDIVISION	MEADOW LAWN 9th Addition		LOT 30	Less S.2' BLOCK 50
BUILDING	ELECTRICAL	30-30-16	PLUMBING H-36	
<p>Location: 6995 - 17th Way North #38131A-D1 - 3/18/58 - \$6500 Owner Florida Bldrs. - Four room and bath residence with garage (Type V) (24'8" x 46')</p> <p>#74176A-R2 - 12/13/61 - \$100 Owner J. A. Gould - Coat roof of existing residence (Type V) D. W. Heine, Contractor.</p> <p>#B8317A - 3/3/70 - \$4,500.00 - Owner Ronald R. Murphy - Erect add. to rear of residence for family room, bath, closet, and bedroom - (Type V) (14.8' x 39.4') - By owner.</p>	<p>#6030A - 5/19/58 - Fla. Bldrs. Baker Elec. - 9c 10sw 12p 3ws 95amp #2 1-meter 1-range 1-w.h. 1-kit.fan</p> <p>#E4397B - 4/17/70 - R. R. Murphy Betts Electric - 1-phase 1-meter 5-sw 14-recp 1-bath fan 1-room A/C</p>		<p>#13992E - 4/7/58 - Fla. Bldrs. Macbeth Plbg. - c-1-s-b-ewh-washer</p> <p>#P9459 - 3/3/70 - R. Murphy By Owner - 1-closet 1-lavatory 1-shower</p>	
	<p style="text-align: center;">INSTALLATION</p> <p>#3226A-6/24/58-Florida Bldrs., Inc. J. C. Pressly I 5682 - 41,500 BTU Duo Therm - 100 gal. tank on stand Exist. Vitroliner</p>		<p style="text-align: center;">GAS</p>	
<p style="text-align: center;">SIGNS</p>	<p style="text-align: center;">SEWER</p>		<p style="text-align: center;">SEPTIC TANK</p>	
	<p>#13992E - 4/7/58 - Fla. Bldrs. Macbeth Plbg. - \$5.00 tap</p>			



Global Location Inquiry - Building Permit Applications

Property address: 6995 17TH WAY N

Parcel Identification Nbr 25/30/16/56772/050/0300/

Application				Tenant		
Year	Number	Type	Status	Date	Number	Name
15	02000147	MECH	AP	2/04/19		
17	08000846	ORR2	CL	8/14/17		
12	01000698	BALT	CL	1/24/12		
00	01000264	FLBG	AB	1/07/00		
99	07000518	ROOF	CL	7/13/99		
91	06201068	OLD	AC	6/20/91		

- OK
- Exit
- Cancel
- Display location L

16.40.100.5. - Domestic equipment parked, placed, or stored on neighborhood zoned property.

- A. No person shall park, allow to be parked, place, allow to be placed, store, or allow to be stored more than two pieces of domestic equipment on neighborhood zoned property outside a legally constructed fully enclosed structure. Any domestic equipment parked, placed, or stored on neighborhood zoned property outside a fully enclosed structure shall not exceed 35 feet in overall length, shall not exceed eight feet in width and shall not exceed 12 feet in overall height. Whenever a piece of domestic equipment is parked, placed or stored on a trailer specifically designed to transport or carry the domestic equipment, this condition shall be counted as one piece of domestic equipment for purposes of this subsection.
- B. Domestic equipment may be parked, placed or stored inside any legally constructed fully enclosed structure which meets the regulatory requirements of the zoning district.
- C. A person may park, place or store up to two pieces of domestic equipment outside a fully enclosed structure provided all of the following conditions are met:
 1. The equipment is parked, placed or stored in the rear yard, in the interior side yard, or in the allowable buildable area for a principal or accessory structure; however, it shall not be parked, placed or stored in the front yard, in the street side yard, or in the buildable area to the front of the principal structure.
 2. When parked, placed or stored within any buildable area between the street side yard and the side of the principal structure, or within 50 feet of any street right-of-way, measured from the edge of the traveled road bed, equipment must be shielded from view from the street right-of-way by a solid six-foot high fence. Any portion of the required six-foot high shielding may also be accomplished with maintained vegetation forming a solid hedge. Any gate used to comply with this shielding requirement must also be solid, six feet high, and be kept closed whenever the equipment is not being moved through the gate. When any shielding is required, it must be located on the property where the equipment is stored, and the location, height and construction of the shielding must comply with all applicable ordinances and laws.
 3. When parked, placed or stored adjacent to an alley, the equipment must not impede the visibility for vehicles entering the alley from adjacent driveways.
 4. No equipment shall be in a waterfront yard except one boat is allowed to be placed or stored within any waterfront yard only when provisions exist to place

the boat directly in the water from its location or storage place.

5. Equipment cannot obstruct any door, window or other opening of a dwelling which provides light, air, entrance to or exit from a dwelling.
 6. Equipment must be in sound condition, good repair and free of deterioration or damage.
- D. Limited exceptions: On the following days and times, domestic equipment may be temporarily parked or placed to the front of the principal structure or outside of any required shielding on private property, provided the equipment does not impede visibility for motorists and does not block any portion of the public sidewalk or roadway:
1. From Monday 8:00 a.m. through Thursday 4:00 p.m. for no more than four consecutive hours, and
 2. From Thursday, 4:00 p.m. until Monday 8:00 a.m.
- E. Each item of domestic equipment observed in violation of this section is a separate violation subject to a separate fine and each day that the observed violation continues to exist is a separate violation subject to a separate fine.
- F. If any piece of domestic equipment is fitted with liquefied petroleum gas or other volatile liquid containers, such containers shall meet all local, state, and federal standards. In the event that leakage is detected from such container, immediate corrective action must be taken by the property owner or equipment owner to make proper and safe repairs.

(Code 1992, § 16.40.100.5; Ord. No. 287-H, § 36, 7-20-2017)

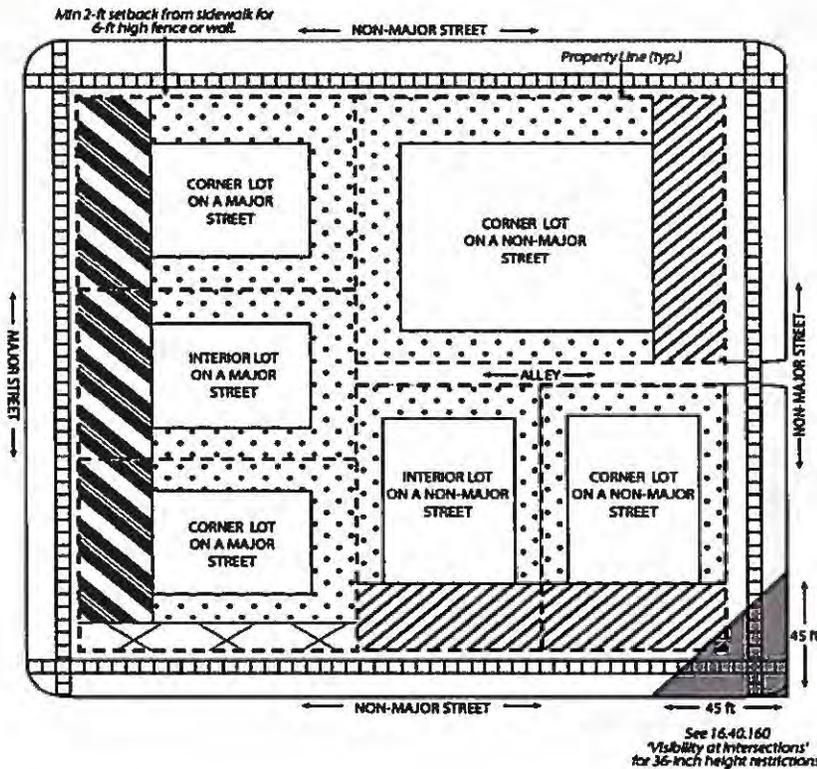


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**CITY OF ST. PETERSBURG
PLANNING & DEVELOPMENT SERVICES DEPT.
DEVELOPMENT REVIEW SERVICES DIVISION**

FENCE, WALL, AND HEDGE REGULATIONS
For one- and two-unit residential properties

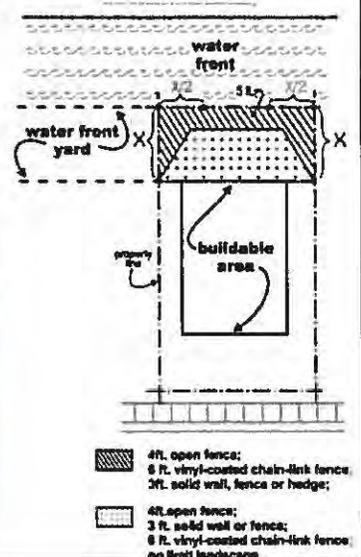
Where can I put my fence, wall, or hedge, and how tall can it be? Fences, walls, and hedges may be installed as shown in the diagrams below. To determine your yards, go to www.StPete.org/LDR and use the **GIS Zoning Map Lookup** to determine your zoning district; then scroll down Table of Contents and click on your district (NT/NS), go to "Minimum Building Setbacks" table. A survey of your property will determine the exact location of your property lines. Email your survey to DevRev@StPete.org with questions. See Section 16.40.040 of the Land Development Regulations.



- 
INTERIOR SIDE YARDS, STREET SIDE YARDS, AND REAR YARDS
 6-ft maximum height for a fence or wall of any style
 10-ft maximum height for a hedge, within 5 ft of property line
- 
FRONT YARD ON A NON-MAJOR STREET
 4-ft maximum height for a fence or wall of any style
 5-ft maximum height for a hedge, within 5 ft of property line
 6-ft maximum height for a decorative fence or wall which is landscaped and which is on a property with more than 150 lineal feet of street frontage
- 
FRONT YARD ON A MAJOR STREET
 4-ft maximum height for a fence or wall of any style
 5-ft maximum height for a hedge, within 5 ft of property line
 6-ft maximum height for a decorative fence or wall which is landscaped
- 
STREET SIDE YARD ABUTTING NEIGHBOR'S FRONT YARD
 4-ft maximum height for a fence or wall of any style
 5-ft maximum height for a hedge, within 5 ft of property line

Waterfront yards

Fences, walls, and hedges located in a waterfront yard have different height, location, and design requirements than typical rear yards. The intent of this portion of the code is to preserve views while providing privacy and security to property owners.



Definitions:

Decorative Fences

A fence that is made of PVC fence material, wrought iron, or aluminum pickets, or is a painted or stained shadow-box or board-on-board type fence.



Decorative Walls

A wall that is masonry with a stucco finish; has a finish of natural materials, such as brick, stone, or glass block; or has a finish which is accepted for use in the industry and approved by the Zoning Official.



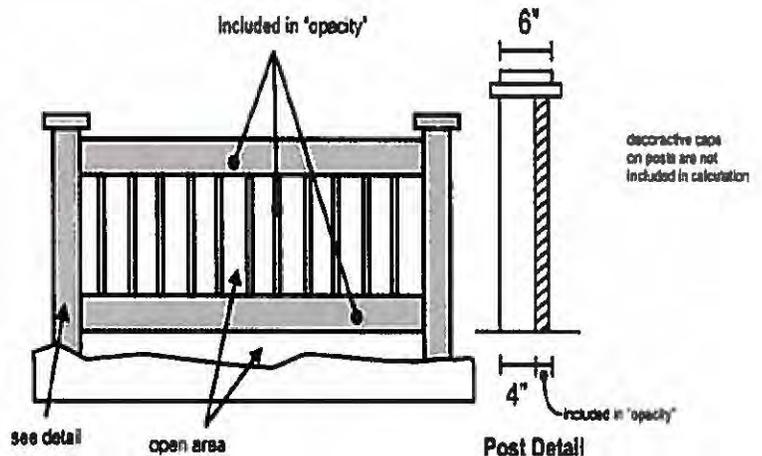
Hedges

A continuous arrangement of three or more shrubs which are planted and maintained to create an open space less than two feet wide by six feet high between each shrub.



Measuring the height of your fence, wall, or hedge: The height of a fence, wall, or hedge is measured from the existing natural grade at the location of the fence, wall or hedge.

What is an open fence? An *open fence* includes all fence and wall sections which have opacity of 25 percent or less, excluding vertical support posts up to four inches wide.



A *section* is a segment of fence including vertical pickets, any horizontal rails, and one supporting post, except that a post with horizontal dimensions of four inches by four inches or less shall be excluded from the calculations to determine opacity. For a post having dimensions greater than four inches on a side, that part of the dimension greater than four inches shall be included in the calculations to determine opacity.

Design requirements: Fences and walls are required to be installed with the finished side facing towards the exterior or adjoining properties and all adjacent streets (excluding alleys). For fences and walls located between adjoining properties, this requirement may be waived by the Zoning Official upon written approval by the adjoining property owners. Notarized letters from the adjoining owners need to be submitted to DevRev@StPete.org for review and approval.

Do I Need a Permit ? Permits are not required for fences and hedges that meet all zoning district requirements ([Section 16.40.040 of the Land Development Regulations](#)), and do not have a footer (subject to building code requirements). Walls and columns require a building permit. Contact Construction Services and Permitting at 727-893-7231 or permits@stpete.org for more information.

For more information, contact the Zoning Division at (727) 893-7471, DevRev@StPete.org, or visit our webpage at <http://www.stpete.org/ldr>



**CITY OF ST. PETERSBURG, FLORIDA
 PLANNING & DEVELOPMENT SERVICES DEPT.
 DEVELOPMENT REVIEW SERVICES DIVISION**

STAFF REPORT

DEVELOPMENT REVIEW COMMISSION - VARIANCE REQUEST PUBLIC HEARING

For **Public Hearing** and **Executive Action** on **May 1, 2019** beginning at 2:00 P.M.,
 Council Chambers, City Hall, 175 Fifth Street North, St. Petersburg, Florida

According to Planning & Development Services Department records, **no Commission member** resides or has a place of business within 2,000 feet of the subject property. All other possible conflicts should be declared upon the announcement of the item.

CASE NO.: 19-54000011 **PLAT SHEET:** F-8

REQUEST: Approval of a reduced side yard setback from 5-feet required to 3-feet proposed for a pool.

OWNER: Richard McGinniss
 Modern Tampa Bay Homes, Inc.
 2250 Central Avenue
 Saint Petersburg, Florida 33712

ADDRESS: 600 12th Avenue North

PARCEL ID NO.: 18-31-17-25218-000-0310

LEGAL DESCRIPTION: On File

ZONING: Neighborhood Traditional Single-Family-2 (NT-2)

Structure	Required	Requested	Variance	Magnitude
Pool located within Interior Side Yard				
Pool	5-feet	3-feet	2-feet	40%

BACKGROUND: The subject property consists of one plated lot (Lot 31, Edgewood Court Subdivision) and is located within the Historic Uptown Neighborhood Association boundaries. The property has a lot width of 47.75-feet and a lot depth of 110-feet with approximately 5,252 square feet of lot area. There is a new single-family residence on the subject property that was built in 2018 by the applicant of this variance request.

REQUEST: The applicant is requesting a variance to the minimum interior side yard setback requirements in order to construct an in-ground swimming next to a new single-family residence

that was constructed in 2018. The minimum required interior side yard setback is 5-feet and the applicant's request is to place the pool 3-feet from the side property line.

CONSISTENCY REVIEW COMMENTS: The Planning & Development Services Department staff reviewed this application in the context of the following criteria excerpted from the City Code and found that the requested variance is **inconsistent** with these standards. Per City Code Section 16.70.040.1.6 Variances, Generally, the DRC's decision shall be guided by the following factors:

1. *Special conditions exist which are peculiar to the land, building, or other structures for which the variance is sought and which do not apply generally to lands, buildings, or other structures in the same district. Special conditions to be considered shall include, but not be limited to, the following circumstances:*

a. *Redevelopment. If the site involves the redevelopment or utilization of an existing developed or partially developed site.*

The request does not involve redevelopment of an existing site.

b. *Substandard Lot(s). If the site involves the utilization of an existing legal nonconforming lot(s) which is smaller in width, length or area from the minimum lot requirements of the district.*

The site has a lot width of 47.75-feet and approximately 5,252 square feet of lot area. The minimum lot width and area requirements for property zoned NT-2 are 50-feet and 5,800 square feet, respectively. Therefore, the lot is considered substandard in terms of the minimum zoning district requirements.

c. *Preservation district. If the site contains a designated preservation district.*

This site is located within the Round Lake National Register of Historic Districts.

d. *Historic Resources. If the site contains historical significance.*

There are no historic resources on the site.

e. *Significant vegetation or natural features. If the site contains significant vegetation or other natural features.*

The request does not directly involve significant vegetation or other natural features. However, there are mature shade trees located within the abutting public sidewalk as shown on the Edgewood Court Subdivision plat that may be affected by the excavation work involved with installing the pool.

f. *Neighborhood Character. If the proposed project promotes the established historic or traditional development pattern of a block face, including setbacks, building height, and other dimensional requirements.*

The proposed setback variance and related pool installation does not promote the established neighborhood development pattern. The Land Development Regulations

require a 5-foot setback, which attempts to set the standard development pattern for these accessory structures.

- g. Public Facilities. If the proposed project involves the development of public parks, public facilities, schools, public utilities or hospitals.*

There are no public facilities involved in this application.

- 2. The special conditions existing are not the result of the actions of the applicant;*

The applicant is the developer of the new single-family residence on this property. While the property is substandard in terms of minimum lot size requirements for the district the new single-family residence could have been designed with a pool that conforms to required setbacks. It is also possible for the applicant to redesign the proposed pool to conform with required setbacks.

- 3. Owing to the special conditions, a literal enforcement of this Chapter would result in unnecessary hardship;*

Enforcement of the code would not result in an unnecessary hardship. The applicant is permitted to construct a pool provided it meets the required 5-foot side setback. The existing conditions of the property, including the new single-family residence, provide for a sufficient area for a pool that conforms to required setbacks.

- 4. Strict application of the provisions of this chapter would provide the applicant with no means for reasonable use of the land, buildings, or other structures;*

A strict application of the setback requirements of the zoning district would not provide the applicant with no means for reasonable use of the land as the applicant could reduce the width of the proposed pool or they could move it 2-feet further away from the property line to comply with required setbacks.

- 5. The variance requested is the minimum variance that will make possible the reasonable use of the land, building, or other structure;*

The requested variance is not necessary to make possible the reasonable use of the property. The pool could be relocated closer to the residence or redesigned without necessitating a variance.

- 6. The granting of the variance will be in harmony with the general purpose and intent of this chapter;*

The granting of the variance would not be consistent with the purpose and intent of the code to provide sufficient setbacks from adjacent properties for accessory structures. There is no hardship present to warrant a divergency from the code.

-
7. *The granting of the variance will not be injurious to neighboring properties or otherwise detrimental to the public welfare; and,*

If granted the construction of the pool could have a detrimental effect on the trees located in the adjacent platted sidewalk.

8. *The reasons set forth in the application justify the granting of a variance;*

The reasons set forth in the application do not justify the granting of a variance. The applicant is the builder of the home on the property. There are design options that would not require the passing of a variance.

9. *No nonconforming use of neighboring lands, buildings, or other structures, legal or illegal, in the same district, and no permitted use of lands, buildings, or other structures in adjacent districts shall be considered as grounds for issuance of a variance permitting similar uses.*

This criterion is not applicable.

PUBLIC COMMENTS: The subject property is within the boundaries of the Historic Uptown Neighborhood Association. The president of the association spoke with Staff over the phone to ask for more information about the case. She did not lend support to the case, nor did she express any objection.

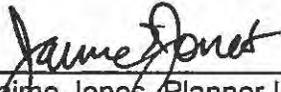
STAFF RECOMMENDATION: Based on a review of the application according to the stringent evaluation criteria contained within the City Code, the Planning and Development Services Department Staff recommends **DENIAL** of the requested variance.

CONDITIONS OF APPROVAL: If the variance is approved consistent with the site plan submitted with this application, the Planning and Development Services Department Staff recommends that the approval shall be subject to the following:

1. The plans submitted for permitting should substantially resemble the plans submitted with this application.
2. A report shall be provided by a certified arborist on the impact any excavation would have on the trees in the platted alley. If significant damage is possible, the applicant shall provide a plan for preserving these trees or apply for their removal.
3. This variance approval shall be valid through May 1, 2022. Substantial construction shall commence prior to this expiration date. A request for extension must be filed in writing prior to the expiration date.
4. Approval of this variance does not grant or imply other variances from the City Code or other applicable regulations.
5. Maximum impervious surface on the site must not exceed 65%, all plans submitted for permitting on this site must show the extent of all improvements on site and the Impervious Surface Ratio.

ATTACHMENTS: Map, aerial, site plan, floor plan, photographs, applicant's narrative, signatures of support, Neighborhood Participation Report,

Report Prepared By:


Jaime Jones, Planner I
Development Review Services Division
Planning & Development Services Department

4/24/19
Date

Report Approved By:


Jennifer Bryla, ACIP, Zoning Official (POD)
Development Review Services Division
Planning & Development Services Department

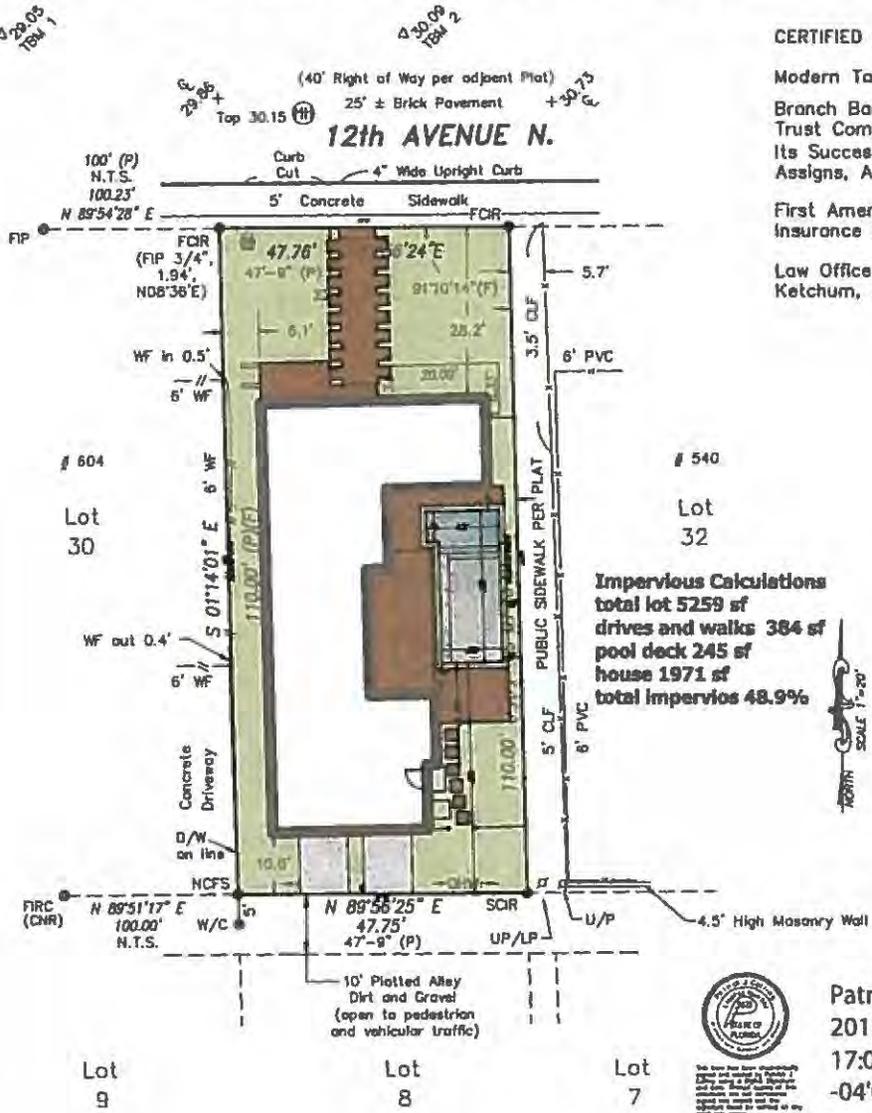
4.23.19
Date



Project Location Map
City of St. Petersburg, Florida
Planning and Development Services
Department
Case No.: 19-54000011
Address: 600 12th Avenue North



SECTION 18, TOWNSHIP 31 SOUTH, RANGE 17 EAST PINELLAS COUNTY, FLORIDA



CERTIFIED TO:

Modern Tampa Bay Homes
 Branch Banking and Trust Company
 Its Successors and/or Assigns, ATIMA

First American Title Insurance Company

Law Offices of Scott M. Ketchum, PA

DESCRIPTION:

LOT 31, EDGEWOOD COURT, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 18, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA

Impervious Calculations
 total lot 5259 sf
 drives and walks 384 sf
 pool deck 245 sf
 house 1971 sf
 total impervious 48.9%

LEGEND:

UP/LP	EXISTING SPOT ELEVATION	W/C	WITNESS CORNER;
U/P	UTILITY POLE & LIGHT POLE	NCFS	SET CAPPED IRON ROD 5/8"
WF	UTILITY POLE	FIP	SURVEYOR NO. 5523
WF	WOOD FENCE	(P)	FALLS ON EDGE OF DRIVEWAY;
CLF	CHAIN LINK FENCE	(F)	UNABLE TO SET NAIL & DISK
PVC	POLYVINYL FENCE	(H)	FOUND IRON PIPE
OWH	OVERHEAD WIRE(S)	GL	PLAT DATA
N.T.S.	NOT TO SCALE	T&B EL	FIELD DATA
FIRC	FOUND CAPPED IRON ROD (CAP NOT READABLE)		MANHOLE; TYPE UNKNOWN
FCIR	SET CAPPED IRON ROD 5/8"		CENTERLINE OF PAVEMENT
SCIR	LICENSED BUSINESS NO. 107		TOP OF BLOCK ELEVATION
	SURVEYOR NO. 5523		

SURVEYOR'S NOTES:

- This is to certify that a survey has been made under my supervision of the property described herein and that this drawing is a true and accurate representation thereof and that this survey meets or exceeds the minimum technical standards as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 61G17-8 of the Florida Administrative Code, pursuant to Chapter 472.027, Florida Statutes.
- Bearings are based on the North Boundary of subject property bearing N 89°56'24" E, an assumed bearing.
- This survey was conducted for the purposes as stated herein only, and is not intended to delineate the regulatory jurisdiction of any federal, state, regional or local agency, board, commission or other similar entity.
- This survey was conducted without the benefit of an abstract of title, therefore, there may be other easements, rights-of-way, setback lines, agreements, reservations, restrictions, or other similar matters of public record, not depicted on this survey.
- No underground utilities, underground encroachments, building foundations were observed as a part of this Survey, unless otherwise shown. Shrubs, if any, were not located.
- This survey not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper.
- The property shown herein falls within Flood Zone "X", per Federal Emergency Management Agency Flood Map No. 12103C 0217 G, dated 9-03-03.
- Bearings and distances are from the field unless noted otherwise.
- Elevations shown herein are based on City of St Petersburg Benchmark 73, Elevation 41.79, North American Vertical Datum of 1988.



Patrick Collins
 2017.06.22
 17:07:21
 -04'00"

Patrick J. Collins
 Registered Land Surveyor and Mapper
 State of Florida No. 5523

Date Signed: _____
 Last Date of Field Survey: 5-22-2017

Select Surveying, Inc.
 Licensed Business Number 7318
 912 W CANDLEWOOD AVE
 Tampa, Florida 33603
 PH. (813) 453-4408

BOUNDARY SURVEY (FOUNDATION TIE-IN)
 PARCEL NO. 18-31-17-25218-000-0310
 "0" 12TH AVENUE NORTH
 ST PETERSBURG, FLORIDA 33701

REVISIONS:

Certifications
 Revised 6-19-2017
 Revised 6-22-2017

DRAWN BY: SB

SCALE: 1"=20'

DATE: 5-24-2017

PARTY CHIEF: SLB

FIELD BOOK: 1
 PAGE: 4

DWG #: D 12th Ave N
 JOB #: 18-0823



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VARIANCE

NARRATIVE (PAGE 2)

All applications for a variance must provide justification for the requested variance(s) based on the criteria set forth by the City Code. It is recommended that the following responses be typed. Illegible handwritten responses will not be accepted. Responses may be provided as a separate letter, addressing each of the six criteria.

ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE

4. How is the requested variance the minimum necessary to make reasonable use of the property? In what ways will granting the requested variance enhance the character of the neighborhood?

The pool is currently 1020" wide. Anything less than that would be insufficient and/or functional.

5. What other alternatives have been considered that do not require a variance? Why are these alternatives unacceptable?

We are proceeding with vacating of "sidewalk area"

6. In what ways will granting the requested variance enhance the character of the neighborhood?

It will have no effect on the neighborhood.



VARIANCE

NARRATIVE (PAGE 1)

All applications for a variance must provide justification for the requested variance(s) based on the criteria set forth by the City Code. It is recommended that the following responses be typed. Illegible handwritten responses will not be accepted. Responses may be provided as a separate letter, addressing each of the six criteria.

ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE	
Street Address: 600 12 th Ave N	Case No.:
Detailed Description of Project and Request:	
<p>1. What is unique about the size, shape, topography, or location of the subject property? How do these unique characteristics justify the requested variance?</p> <p>property is adjacent to a public "sidewalk area" that is not utilized so providing desired buffer</p>	
<p>2. Are there other properties in the immediate neighborhood that have already been developed or utilized in a similar way? If so, please provide addresses and a description of the specific signs or structures being referenced.</p> <p>yes to other hosp with sidewalk area is fully using sidewalk area for other uses besides just a buffer</p>	
<p>3. How is the requested variance not the result of actions of the applicant?</p> <p>plat was done in 1920s we are working to vacate "sidewalk area" so it is regret that at that time setback would be perfected</p>	



VARIANCE

NEIGHBORHOOD WORKSHEET

Applicants are strongly encouraged to obtain signatures in support of the proposal(s) from owners of property adjacent to or otherwise affected by a particular request.

NEIGHBORHOOD WORKSHEET	
Street Address:	Case No.:
Description of Request:	
<i>Requesting a variance. Did not reach out to adjacent property owners.</i>	
The undersigned adjacent property owners understand the nature of the applicant's request and do not object (attach additional sheets if necessary):	
1. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
2. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
3. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
4. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
5. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
6. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
7. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
8. Affected Property Address:	
Owner Name (print):	
Owner Signature:	



PUBLIC PARTICIPATION REPORT

Application No. _____

In accordance with LDR Section 16.70.040.1.F. "It is the policy of the City to encourage applicants to meet with residents of the surrounding neighborhoods prior to filing an application for a permit requiring review and public hearing. The applicant, at his option, may elect to include neighborhood mediation as a preparatory step in the development process. Participation in the public participation process prior to required public hearings will be considered by the decision-making official when considering the need, or request, for a continuance of an application. It is not the intent of this section to require neighborhood meetings, but to encourage meetings prior to the submission of applications for approval and documentation of efforts which have been made to address any potential concerns prior to the formal application process."

APPLICANT REPORT

Street Address:

1. Details of techniques the applicant used to involve the public

(a) Dates and locations of all meetings where citizens were invited to discuss the applicant's proposal

knocked door to door to adjacent neighbors

(b) Content, dates mailed, and number of mailings, including letters, meeting notices, newsletters, and other publications

no mailings to date

(c) Where residents, property owners, and interested parties receiving notices, newsletters, or other written materials are located

no mailings to date

2. Summary of concerns, issues, and problems expressed during the process

none to date

3. Signature or affidavit of compliance - President or vice-president of any neighborhood associations

- Check one: Proposal supported
 Do not support the Proposal
 Unable to comment on the Proposal at this time
 Other comment(s):

sent email (enclosed)

Association Name

President or Vice-President Signature

If the president or vice-president of the neighborhood association are unavailable or refuse to sign such certification, a statement as to the efforts to contact them and (in the event of unavailability or unwillingness to sign) why they were unable or unwilling to sign the certification:

Jaime T. Jones

From: Richard <richard@moderntampabayhomes.com>
Sent: Friday, February 08, 2019 4:58 PM
To: historicuptown@gmail.com
Cc: Jaime T. Jones
Subject: Pool Variance Application
Attachments: Variance-Pool.pdf

Kristy

This is a variance request to reduce the side yard setback for a pool at 600 12th Ave N. The site is adjacent to a remnant patted sidewalk that is not used given it is only one block and goes no where . We are in the process of trying to vacate this area . The intent of the pool setback is to keep pools a pleasant distance from the neighbors so with the sidewalk in between the adjacent home we accomplish that . If and when the sidewalk gets vacated we will then be strict compliance .

Please call me with any questions

My cell is 727 674 5623

Thank you

BACKGROUND

The subject property includes a single platted lot, Lot 31, located in the Melrose Subdivision within the North Kenwood Neighborhood. The property is located in the southwest quadrant of the intersection of 13th Avenue North and 26th Street North (see Exhibit A). The zoning designation is Neighborhood Traditional (NT-2) (Exhibit B). The NT-2 district allows a single-family residence on each lot and an Accessory Dwelling Unit for parcels over 5,800 sf. The subject parcel has an existing single-family house and a 2-story accessory structure with a two-car garage on the first floor and the second story is an existing Accessory Dwelling Unit. The house has a front door facing 13th Avenue and a side door facing 26th Street North. The Accessory Dwelling Unit has a front door facing 26th Street North with a front porch and steps to the sidewalk at the ground level. The Accessory Dwelling Unit also has a door on the west side that may have serviced a second Accessory Dwelling Unit at one time. The steps leading to this door are dilapidated and have been in an irreparable and unusable state for many years (Exhibit C). These stairs are the subject of this variance request.

Within the surrounding NT-2 zoned properties (within 500 feet of the property) there are approximately 44 single family properties, of these 11 have an Accessory Dwelling Unit (Exhibit D). Of the existing Accessory Dwelling Units, none have two sets of stairs or a variance for their Accessory Dwelling Unit.

Section 16.50.010.5.2 Accessory Dwelling Units Building and Site Requirements indicates that sides of buildings containing second floor porches, or unenclosed staircases which face the interior side yard of an adjacent property shall comply with the minimum setback of the zoning district or ten feet, whichever is greater. There are currently a set of stairs that access the Accessory Dwelling Unit along 26th Street North. There is a set of dilapidated stairs at the side of the Accessory Dwelling Unit, though they have not been used in years due to safety issues. The owner has extended the single-family structure to the garage and added an arbor to the side of the single-family structure. Because of these additions, there is no room in the side yard or between the primary structure and Accessory Dwelling Unit to construct a set of stairs meeting the setback requirements.

A Property Card Interpretation in 1996 (PCI 96-0200) indicates that two (2) dwelling units (the primary residence and one Accessory Dwelling Unit) may lawfully exist on site "because the property is considered abandoned due to lack of occupational license for any other additional dwelling unit". The PCI further states that "additional dwelling units shall be eliminated unless reinstated by the Board of Adjustment". The Board of Adjustment upheld the decision and the applicant was given 30 days to appeal the decision from the March 11, 1997 BOA decision. No appeals were filed, and no other zoning actions have been approved for the property. Based on these statements, more than one Accessory Dwelling Units may have existed illegally at one time, thus having two sets of stairs to the second floor.

The existing stairs are considered to be nonconforming. **Section 16.60.030 Nonconforming and Grandfathered Situations** addresses nonconforming uses, nonconforming structures, nonconforming lots and sites, and grandfathered uses, and the extent to which property owners have a right to continue such uses, structures, lots and sites. The term "nonconforming" means that a use, structure, lot or site was lawful when the use commenced, the structure was constructed, or the lot or site was established but became unlawful by the adoption or amendment of this chapter, or of earlier regulations, or of earlier regulations in

effect when these regulations were adopted. A structure becomes nonconforming if the size, building setbacks, parking, or other characteristic does not comply with a requirement of this chapter. These regulations permit nonconformities to continue until they are removed by economic or other forces. These regulations do not encourage the survival of nonconformities and do not allow nonconformities to be enlarged upon, expanded, or extended. Existing nonconformities shall not be used to justify the addition of new uses or structures prohibited in the district.

It is important to note that pursuant to Section 16.60.030.1.C the term "grandfathered" is for uses and does not apply to a nonconforming structure, lot or site.

Section 16.60.030.1 of the Code addresses when a nonconforming structure can be reconstructed if damaged. The Code states:

"Should a nonconforming structure be damaged by any means to an extent of more than 75 percent of the current replacement value, it shall not be reconstructed or repaired except in conformity with the provisions of this chapter."

The existing stairs are rotted and dilapidated. These stairs should have been removed due to safety issues. The upper deck of the stairs is rotted and cannot hold any weight. The bottom 5-6 stairs are missing. The remaining frame consists of rotted wood which requires replacement. Based on the amount of rotted wood, it appears that no portion of the existing stairs can be salvaged.

CONSISTENCY REVIEW COMMENTS: The Planning & Development Department staff reviewed this application in the context of the following criteria excerpted from the City Code and found that the requested variance is **inconsistent** with these standards. Per City Code Section 16.70.040.1.6 Variances, the DRC's decision shall be guided by the following factors:

1. *Special conditions exist which are peculiar to the land, building, or other structures for which the variance is sought and which do not apply generally to lands, buildings, or other structures in the same district. Special conditions to be considered shall include, but not be limited to, the following circumstances:*

a. *Redevelopment. If the site involves the redevelopment or utilization of an existing developed or partially developed site.*

The single-family house and Accessory Dwelling Unit have existed since 1941. No redevelopment of uses is occurring on site. The Accessory Dwelling Unit has not used a second set of stairs for many years. The existing stairs are considered abandoned and unusable.

b. *Substandard Lot(s). If the site involves the utilization of an existing legal nonconforming lot(s) which is smaller in width, length or area from the minimum lot requirements of the district.*

The lot is conforming to the required NT-2 lot size requirements. The minimum lot width for NT-2 is 50 feet and the subject property width is 53.9 feet. The minimum lot area for NT-2 is 5,800 sf and the subject property lot area is 5,929 sf.

c. Preservation district. If the site contains a designated preservation district.

The lot does not contain a Preservation District.

d. Historic Resources. If the site contains historical significance.

There is no historical significance associated to this site.

e. Significant vegetation or natural features. If the site contains significant vegetation or other natural features.

The site does not contain significant vegetation or natural features.

f. Neighborhood Character. If the proposed project promotes the established historic or traditional development pattern of a block face, including setbacks, building height, and other dimensional requirements.

The development pattern of the house does not contribute to a historic or development pattern of the block face. The block face follows the NT-2 development requirement.

g. Public Facilities. If the proposed project involves the development of public parks, public facilities, schools, public utilities or hospitals.

The proposed project does not involve the development of public parks, public facilities, schools, public utilities or hospitals.

2. The special conditions existing are not the result of the actions of the applicant;

There is one set of stairs to the Accessory Dwelling Unit at the front entrance of the unit along 26th Street North. The requested second set of stairs are a replacement for a set of stairs located to the side of the lot and have been dilapidated and unusable for years. These stairs are considered abandoned.

It is not typical that an Accessory Dwelling Unit with 780 sf have a second set of stairs to the unit. The Florida Building Code does not require a second entrance or egress for one unit. The applicant has not provided an alternative solution.

The owner has extended the single-family structure into the garage and added an arbor to the side of the single-family structure. Because of these additions, there is no room in the side yard to construct a set of stairs meeting the setback requirements.

Because there exists one set of stairs to the unit, a second set of stairs is not required.

3. Owing to the special conditions, a literal enforcement of this Chapter would result in unnecessary hardship;

One set of stairs currently exist for access to the unit. Because one set of stairs exist, there

is not a need to provide a second set of stairs per the Land Development Regulations or Florida Building Code. In addition, according to the National Fire Protection Association National Fire Code (NFC) Chapter 24 which addresses egress from buildings, the Accessory Dwelling Unit meets access standards for one dwelling unit. The owner has not used the back set of stairs for many years due to the dilapidated condition. No hardship exists.

4. ***Strict application of the provisions of this chapter would provide the applicant with no means for reasonable use of the land, buildings, or other structures;***

The applicant currently uses a set of stairs to the Accessory Dwelling Unit along 26th Street North and has reasonable use of the land, buildings and structures.

5. ***The variance requested is the minimum variance that will make possible the reasonable use of the land, building, or other structure;***

The Accessory Dwelling Unit is accessible from an existing set of stairs. The Accessory Dwelling Unit meets the Florida Building Code Edition 2017 standards for access.

The applicant has requested the stairs because it would provide an easy access to the laundry room in the garage. Currently, the applicant has to walk around the garage to access the laundry room. Apparently, there is no access from within the garage to the laundry room. There are no other mitigating conditions that affect the design of the property.

6. ***The granting of the variance will be in harmony with the general purpose and intent of this chapter;***

There are no special reasons to grant a variance. The existence of one set of stairs to the accessory dwelling unit meets the intent of the Code to provide a reasonable and safe access to the property. The dilapidated and irreparable stairs should have been demolished and removed years ago.

The removal of the stairs allows for a nonconforming structure which is dilapidated to be removed from site. **Section 16.60.030 Nonconforming and Grandfathered Situations**, addresses nonconforming structures and the extent to which property owners have a right to continue such structures. The term "nonconforming" means that a structure was constructed but became unlawful by the adoption or amendment of this chapter, or of earlier regulations. A structure becomes nonconforming if the size, building setbacks, parking, or other characteristic does not comply with a requirement of this chapter. These regulations permit nonconformities to continue until they are removed by economic or other forces. These regulations do not encourage the survival of nonconformities and do not allow nonconformities to be enlarged upon, expanded, or extended. Existing nonconformities shall not be used to justify the addition of new uses or structures prohibited in the district.

7. ***The granting of the variance will not be injurious to neighboring properties or otherwise detrimental to the public welfare; and,***

The granting of the variance will affect the adjacent neighbor's privacy from the use of the Stairs. **Section 16.50.010.5.2 Accessory Dwelling Units Building and Site**

Requirements, require unenclosed staircases which face the interior side yard of an adjacent property to comply with the minimum setback of the zoning district or ten feet, whichever is greater to provide privacy to neighboring properties and to require these uses to occur between the Accessory Dwelling Unit and the single-family residence.

8. *The reasons set forth in the application justify the granting of a variance;*

The applicant has provided the justification that the additional stairs would provide an emergency exit. However, the Florida Building Code does not require an additional access nor does the Fire Department review single family homes for additional access.

The dilapidated stairs have been unsafe and missing treads for several years. It is safer to remove the stairs rather than have anyone fall through the stairs. This potential exit should have been maintained years ago. There has not been a usable secondary exit to this unit for years.

The present stairs are unsightly and detract from the neighborhood, removing them will enhance the neighborhood character. The reasons in this variance request do not justify the granting of a variance.

9. *No nonconforming use of neighboring lands, buildings, or other structures, legal or illegal, in the same district, and no permitted use of lands, buildings, or other structures in adjacent districts shall be considered as grounds for issuance of a variance permitting similar uses.*

No nonconforming uses or neighboring lands have been considered as grounds for issuance of a variance permitting similar uses.

PUBLIC COMMENTS: The subject property is within the boundaries of the North Kenwood Neighborhood Association. Staff has received one phone call requesting additional information. There have been no phone calls in opposition of the request.

STAFF RECOMMENDATION: Based on a review of the application according to the stringent evaluation criteria contained within the City Code, the Planning and Economic Development Department Staff recommends **DENIAL** of the requested variance.

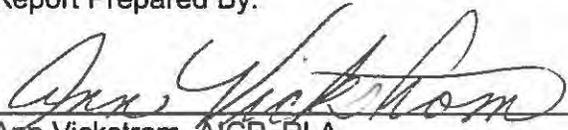
CONDITIONS OF APPROVAL: If the variance is approved consistent with the site plan submitted with this application, the Planning and Economic Development Department Staff recommends that the approval shall be subject to the following:

1. The plans and elevations submitted for permitting should substantially resemble the plans and elevations submitted with this application.
2. This variance approval shall be valid through May 1, 2022. Substantial construction shall commence prior to this expiration date. A request for extension must be filed in writing prior to the expiration date.
3. Approval of this variance does not grant or imply other variances from the City Code or other applicable regulations.
4. Maximum impervious surface on the site must not exceed 65%. All plans submitted for permitting on this site must show the extent of all improvements on site and the Impervious Surface Ratio.

5. Legal parking for three (3) vehicles must be provided on site and shown on plans submitted for permitting. The existing spaces along 26th Street North are partially located within the right-of-way and need to be removed. A site plan must be submitted identifying the number of bedrooms in the existing house. Required parking is two spaces for up to three bedrooms and one-half space for each additional bedroom as called out in 16.10.020.1 – Matrix: Use Permissions, Parking & Zoning and an additional space for the Accessory Dwelling Unit. The garage can provide 2 spaces and one space can be used behind or to the east of the garage.

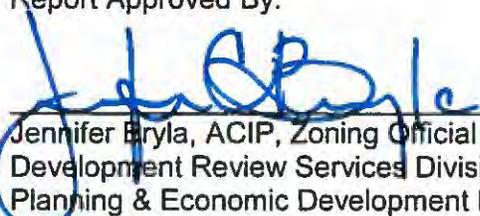
ATTACHMENTS: Location Map, Zoning Map, Existing Conditions, Variance application with the associated survey, elevation drawings, photographs, applicant's narrative, Neighborhood Participation Report.

Report Prepared By:


Ann Vickstrom, AICP, RLA
Development Review Services Division
Planning & Economic Development Department

4/23/19
Date

Report Approved By:


Jennifer Bryla, ACIP, Zoning Official (POD)
Development Review Services Division
Planning & Economic Development Department

4.23.19
Date

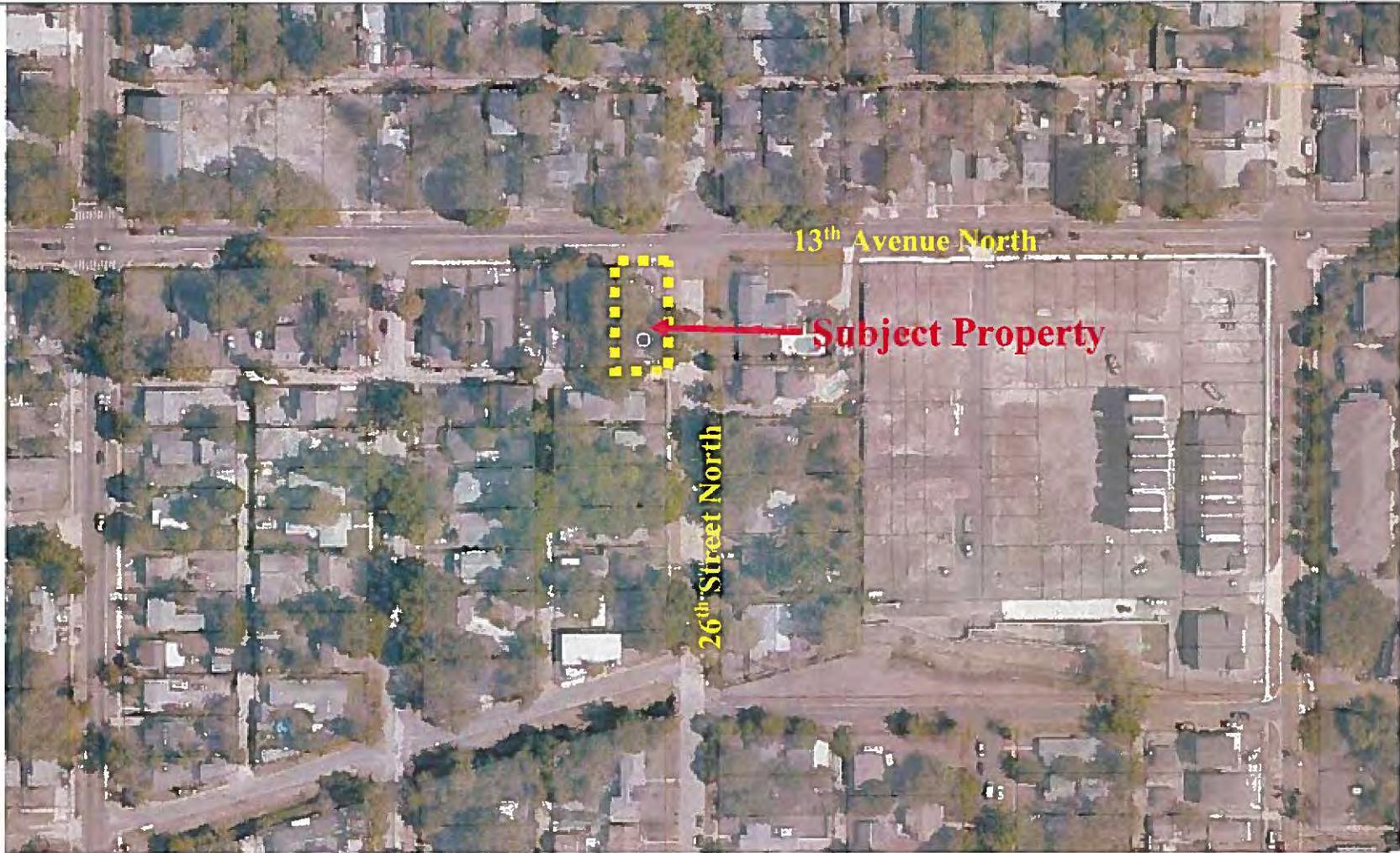
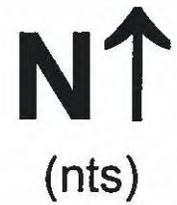


Exhibit A - Location Map
City of St. Petersburg, Florida
Planning and Development Services
Department
Case No.: 19-54000013
Address: 2600 ½ 13th Avenue North





LEGEND

- NT-1 Neighborhood Traditional – 1
- NT-2 Neighborhood Traditional – 2
- NSM-1 Neighborhood Suburban Multi-family -1



Exhibit B - Zoning Map
 City of St. Petersburg, Florida
 Planning and Development Services
 Department
 Case No.: 19-54000013
 Address: 2600 1/2 13th Avenue North



Looking at Stairs from back yard, only 3 treads remain. Wood is rotted.

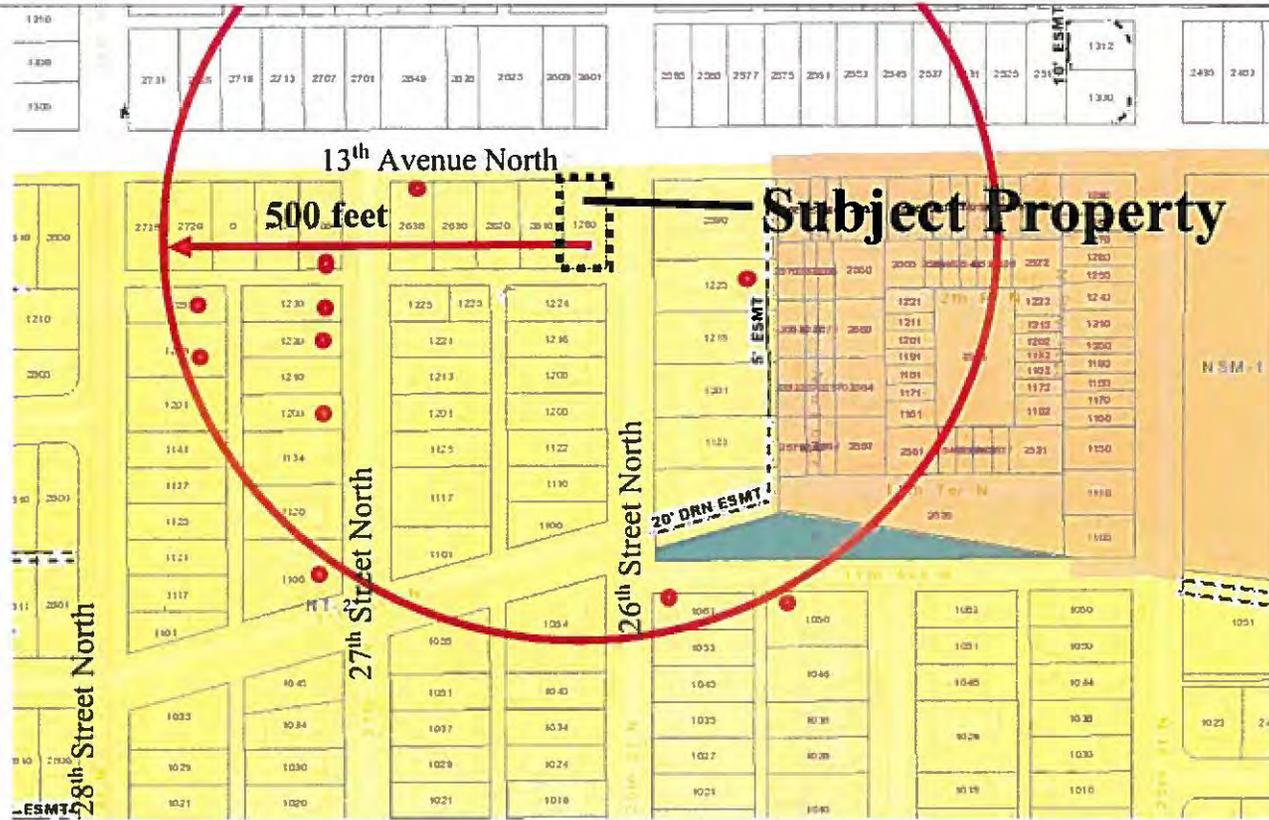


Looking down from the top of existing stairs. Rails are rotted through and the base of upper deck is rotted.



Exhibit C – Existing Conditions
City of St. Petersburg, Florida
Planning and Development Services
Department
Case No.: 19-54000013
Address: 2600 ½ 13th Avenue North





● Accessory Dwelling Units Within 500 feet of Subject Property



**Exhibit D - Accessory Dwelling Units Within
500 ft of Subject Property in Same
Zoning District**

City of St. Petersburg, Florida
Planning and Development Services
Department

Case No.: 19-54000013

Address: 2600 1/2 13th Avenue North





st.petersburg
www.stpete.org

VARIANCE

Application No. 19-54000012

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Development Review Services Division, located on the 1st floor of the Municipal Services Building, One Fourth Street North.

GENERAL INFORMATION	
NAME of APPLICANT (Property Owner): David Davis	
Street Address: Utilities Address: 2600 1/2 13th Ave. North Postal Address: 1280 1/2 26th St. North	
City, State, Zip: St. Petersburg, FL 33713	
Telephone No: (813) 309-3283	Email Address: live42dave@live.com
NAME of AGENT or REPRESENTATIVE: N/A	
Street Address: N/A	
City, State, Zip: N/A	
Telephone No: N/A	Email Address: N/A
PROPERTY INFORMATION:	
Street Address or General Location: 2600 1/2 13th Ave. N. -AKA- 1280 1/2 26th St. North	
Parcel ID#(s): 14-31-16-57240-000-0310	
DESCRIPTION OF REQUEST: Set back exception	
PRE-APPLICATION DATE: 12/14/2018	PLANNER: Ann O. Vickstrom, AICP (Planner II)

FEE SCHEDULE			
1 & 2 Unit, Residential – 1 st Variance	\$300.00	Each Additional Variance	\$100.00
3 or more Units & Non-Residential –		After-the-Fact	\$500.00
1 st Variance	\$300.00	Docks	\$400.00
		Flood Elevation	\$300.00
Cash, credit, checks made payable to "City of St. Petersburg"			

AUTHORIZATION

City Staff and the designated Commission may visit the subject property during review of the requested variance. Any Code violations on the property that are noted during the inspections will be referred to the City's Codes Compliance Assistance Department.

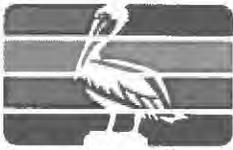
The applicant, by filing this application, agrees he or she will comply with the decision(s) regarding this application and conform to all conditions of approval. The applicant's signature affirms that all information contained within this application has been completed, and that the applicant understands that processing this application may involve substantial time and expense. Filing an application does not guarantee approval, and denial or withdrawal of an application does not result in remittance of the application fee.

NOTE: IT IS INCUMBENT UPON THE APPLICANT TO SUBMIT CORRECT INFORMATION. ANY MISLEADING, DECEPTIVE, INCOMPLETE, OR INCORRECT INFORMATION MAY INVALIDATE YOUR APPROVAL.

Signature of Owner / Agent*: _____ Date: _____

*Affidavit to Authorize Agent required, if signed by Agent.

Typed Name of Signatory: David Davis



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www.stpete.org

VARIANCE

NARRATIVE (PAGE 1)

All applications for a variance must provide justification for the requested variance(s) based on the criteria set forth by the City Code. It is recommended that the following responses be typed. Illegible handwritten responses will not be accepted. Responses may be provided as a separate letter, addressing each of the six criteria.

ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE	
Street Address: 2600 1/2 13th Ave. North, AKA- 1280 1/2 26th St. North	Case No.:
Detailed Description of Project and Request:	
I wish to replace an existing dangerous, dilapidated set of stairs that provide secondary/emergency second story egress on the west side of my property.	
1. What is unique about the size, shape, topography, or location of the subject property? How do these unique characteristics justify the requested variance?	
A variance is needed due to a 10 foot setback requirement listed in Section 16.50.010.5 .	
The relevant side of the structure is only 7 feet from the property line. Thusly, a 10 foot setback is not possible	
2. Are there other properties in the immediate neighborhood that have already been developed or utilized in a similar way? If so, please provide addresses and a description of the specific signs or structures being referenced.	
There appear to be no similar properties in the immediate neighborhood.	
3. How is the requested variance not the result of actions of the applicant?	
The location of the house and property line have not changed since I purchased the home in 2007.	
Presumably, they have not changed since construction in 1940.	



VARIANCE

NEIGHBORHOOD WORKSHEET

Applicants are strongly encouraged to obtain signatures in support of the proposal(s) from owners of property adjacent to or otherwise affected by a particular request.

NEIGHBORHOOD WORKSHEET	
Street Address: 2600 1/2 13th Ave. North--AKA--1280 1/2 26th St. North	Case No.:
Description of Request: Replacing stairs to second story on west side of structure.	
The undersigned adjacent property owners understand the nature of the applicant's request and do not object (attach additional sheets if necessary):	
1. Affected Property Address: 1224 26th Street North, FL 33713	
Owner Name (print): Michael Schlagheck	
Owner Signature:	
2. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
3. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
4. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
5. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
6. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
7. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
8. Affected Property Address:	
Owner Name (print):	
Owner Signature:	



PUBLIC PARTICIPATION REPORT

Application No. _____

In accordance with LDR Section 16.70.040.1.F.2. "It is the policy of the City to encourage applicants to meet with residents of the surrounding neighborhoods prior to filing an application for a permit requiring review and public hearing. The applicant, at his option, may elect to include neighborhood mediation as a preparatory step in the development process. Participation in the public participation process prior to required public hearings will be considered by the decision-making official when considering the need, or request, for a continuance of an application. It is not the intent of this section to require neighborhood meetings, but to encourage meetings prior to the submission of applications for approval and documentation of efforts which have been made to address any potential concerns prior to the formal application process."

APPLICANT REPORT	
Street Address: 2600 1/2 13th Avenue North, St. Petersburg, FL 33713 - AKA --1280 1/2 26th Street North, St. Petersburg, FL 33713	
1. Details of techniques the applicant used to involve the public	
(a) Dates and locations of all meetings where citizens were invited to discuss the applicant's proposal	
I was invited to discuss the proposal at a meeting that occurred on 1/15/19. Regretably, I could not attend due to my work schedule with the fire dept. On 1/14/19 I emailed the association president who subsequently involved the association's board members in the decision.	
(b) Content, dates mailed, and number of mailings, including letters, meeting notices, newsletters, and other publications	
The email included photos of the existing stairs, a copy of the property survey, and a brief description of the planned work.	
(c) Where residents, property owners, and interested parties receiving notices, newsletters, or other written materials are located	
I have copies of the email as do the president and the board members.	
2. Summary of concerns, issues, and problems expressed during the process	
As planned, the North Kenwood neighborhood Association has no concerns.	
3. Signature or affidavit of compliance - President or vice-president of any neighborhood associations	
Check one:	<input checked="" type="checkbox"/> Proposal supported
	<input type="checkbox"/> Do not support the Proposal
	<input type="checkbox"/> Unable to comment on the Proposal at this time
	<input type="checkbox"/> Other comment(s):
Association Name: North Kenwood N.A.	President or Vice-President Signature: <i>President Steven Herzfeld</i>
If the president or vice-president of the neighborhood association are unavailable or refuse to sign such certification, a statement as to the efforts to contact them and (in the event of unavailability or unwillingness to sign) why they were unable or unwilling to sign the certification.	



Pre-Application Meeting Notes

Meeting Date: December 14, Zoning District: NT-2
Address/Location: 2600 1/2 13th Ave N; 1280 1/2 26th St. N
Request: To provide a second set of stairs to the garage apartment
Type of Application: Variance - Setback of 3' for stairs
Staff Planner for Pre-App: Ann Vickstrom
Attendees: David Davis, John Crossgrove

Neighborhood Association(s) & Contact Info: North Kenwood Neighborhood Assoc.
Steven Herzfeld - steven.herzfeld@gmail.com

Notes: The second set of stairs on accessory dwelling unit need to be replaced. Stairs are not a grandfathered use. The stairs are 7' from the side setback, requiring a Variance for 3' from the side yard. See Sections 16.50.010.5 and Nonconforming Structures 16.60.030.4 of Code.



Pre-Application Meeting Notes

Meeting Date: December 14, 2018 Zoning District ????

Address/Location: Utilities Adress: 2600 1/2 13th Ave. North Postal Address: 1280 1/2 26th St. North

Type of Application: Variance Application for setback

Staff Planner: Ann O. Vickstrom (AICP Planner II)

Attendees: David Davis (Property Owner),

John Crossgrove (John Crossgrove Remodeling, Inc.)

Neighborhood Association(s) & Contact Info: North Kenwood Neighborhood Assoc.

Steven Herzfeld, President -- steven.herzfeld@gmail.com

Request: _____

Notes: The relevant details were discussed as related to the plan to
replace the dilapidated second story wooden stairs on the west side
of the property. The need for a variance due to setback concerns
was made clear.

Sec. 14, Twp. 31S, Rng. 16E

NORTH BASED
Assumed

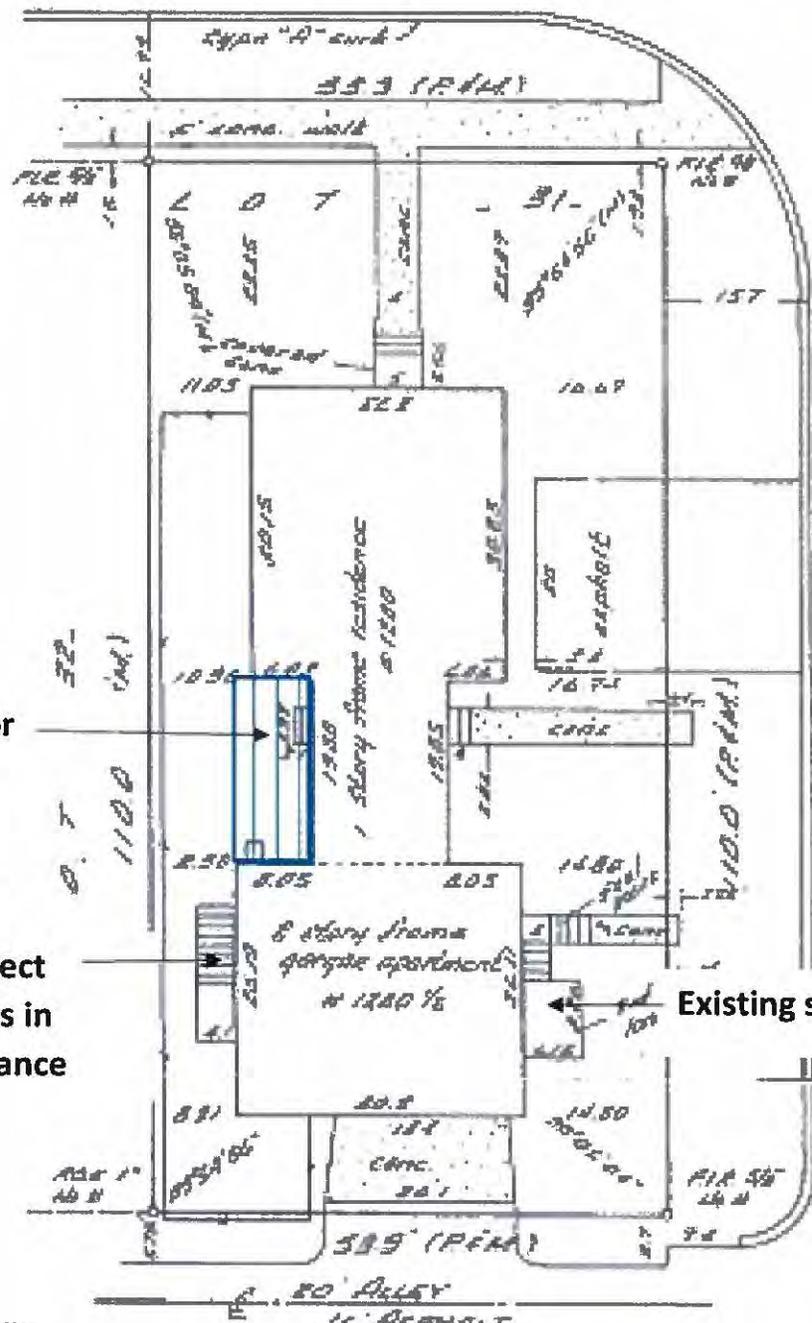
13th AVENUE NORTH
66' P.W. - 32' APPRNT



SCALE: 1" = 20'

Flood Zone C.,
Community Panel #12514B
ND14 R., Revised 11/2/94

Certified to David W
and Colleen J.
Crawford and Helen
Tuchey, Bank of
America, N.A.,
Crimmins Title Co.
and Fidelity National
Title Insurance
Company.



Arbor

Subject stairs in Variance

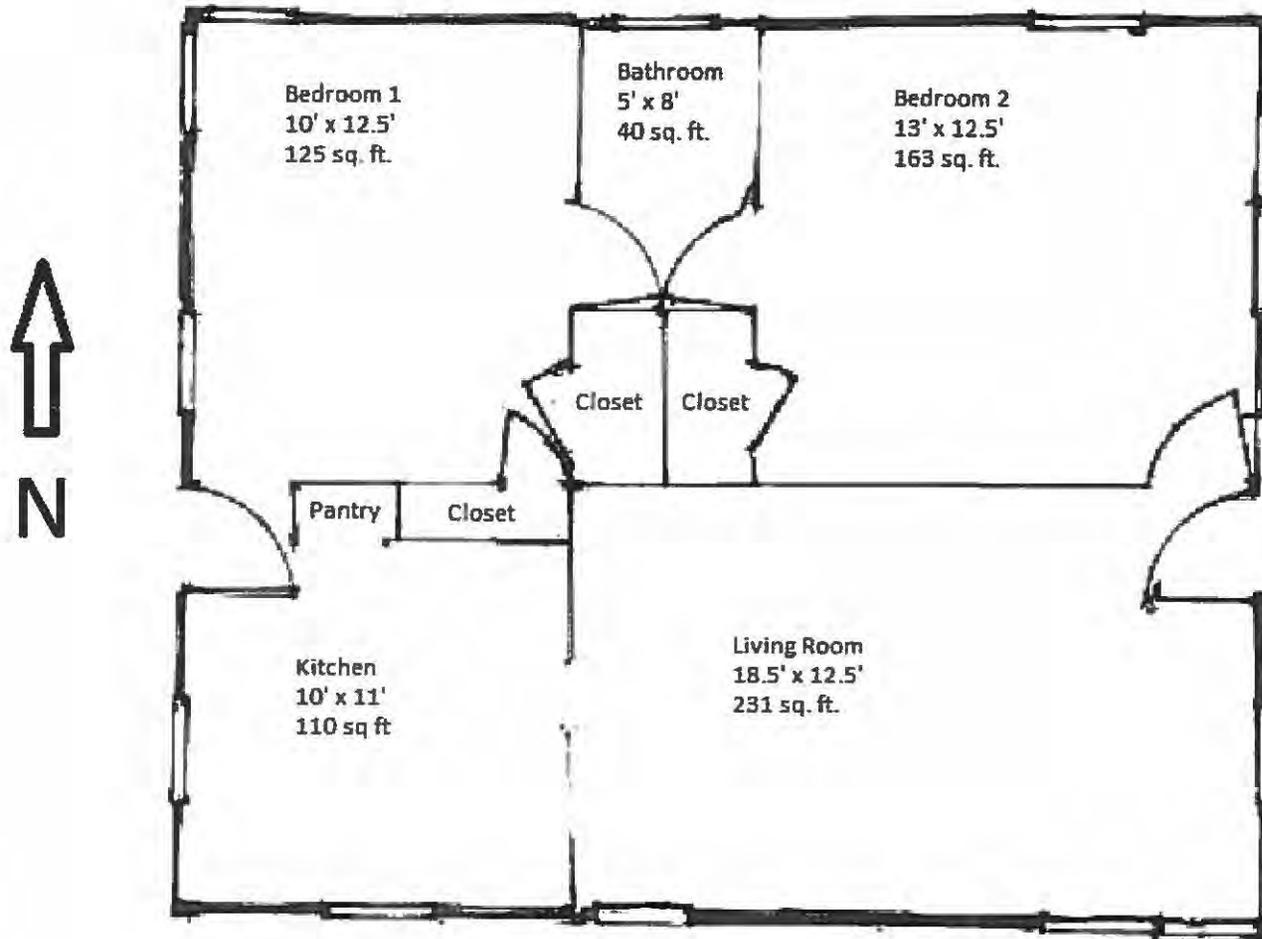
Existing stairs and deck

LEGEND:

- F.I.R. = FOUND IRON ROD
- F.O.E. = FOUND OPEN END PIPE
- CONC. = CONCRETE
- P. = PLAT
- M. = MEASURED
- B/W = RIGHT-OF-WAY

A BOUNDARY SURVEY OF

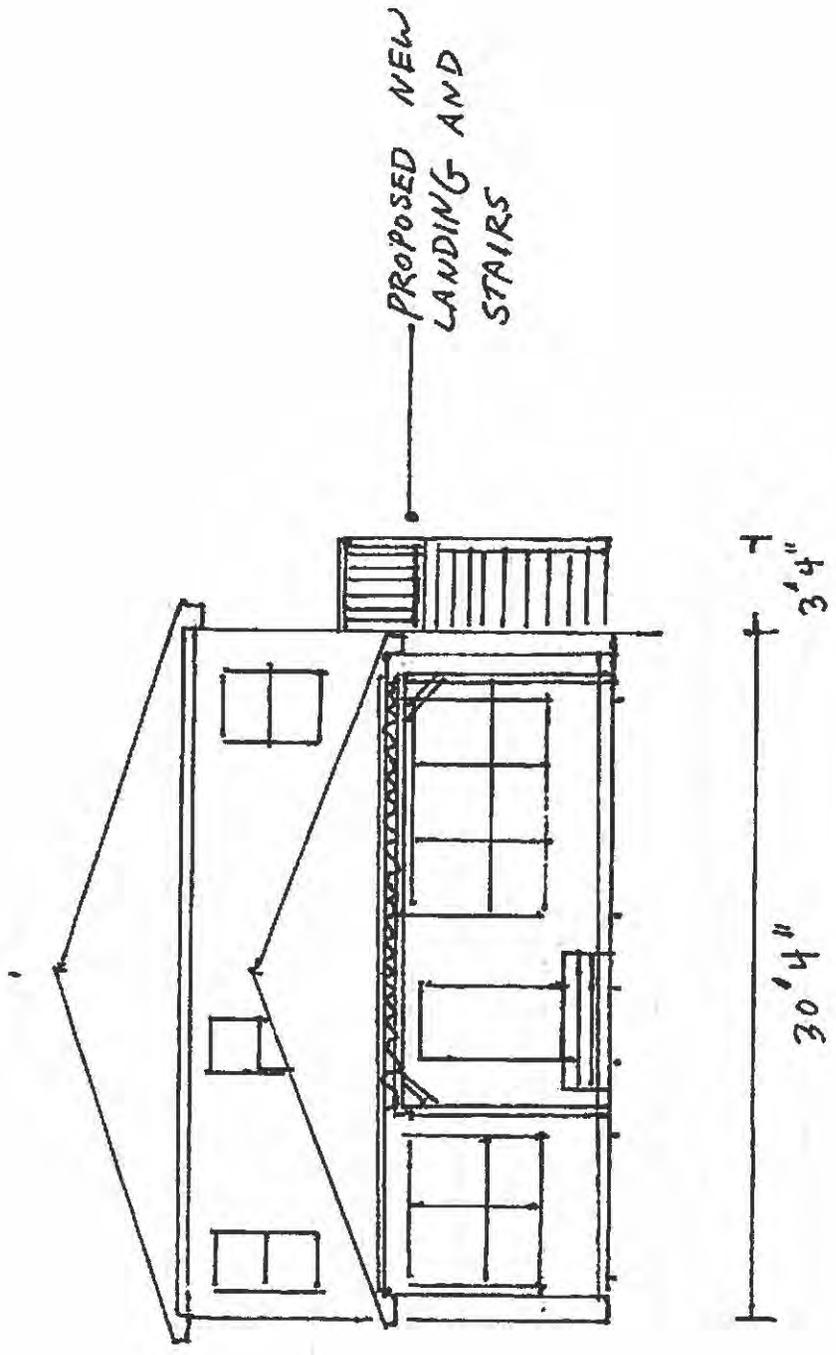
Lot 31, according to the Plat of
MELROSE SUBN.
as recorded in Plat Book 6, Page 53
of the Public Records of Pinellas County
Florida



1280 1/2 26th st N.

SCALE 1/8" = 1'

NORTH ELEVATION

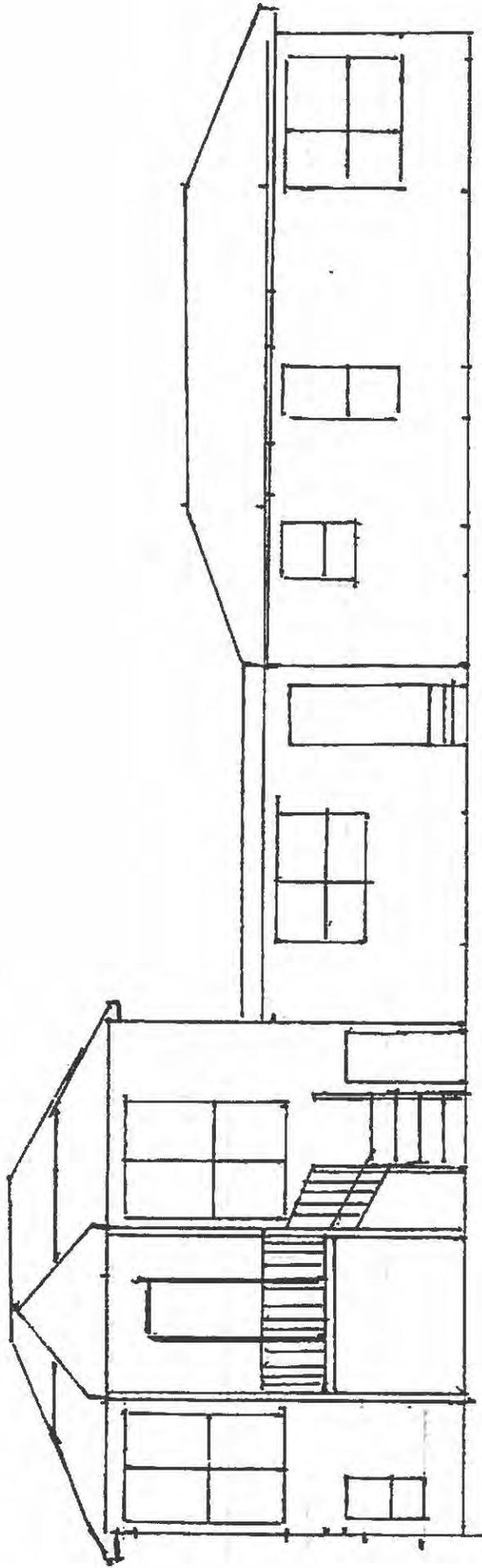


1280 1/2 26th st N

EAST ELEVATION



SCALE 1/8" = 1'



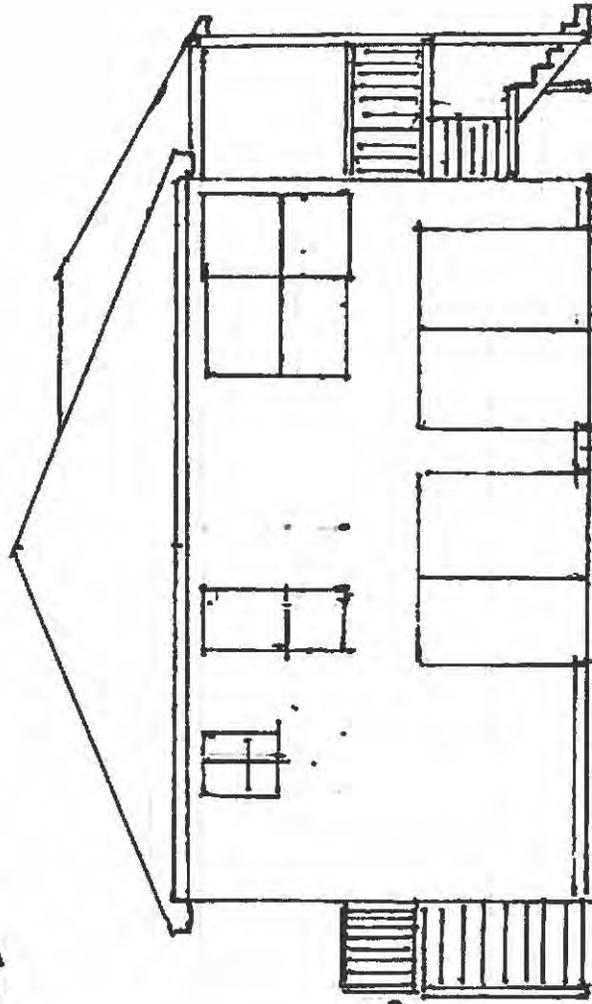
76' 3"

1280 1/2 26th St. N

SOUTH ELEVATION

SCALE. 1/8" = 1'

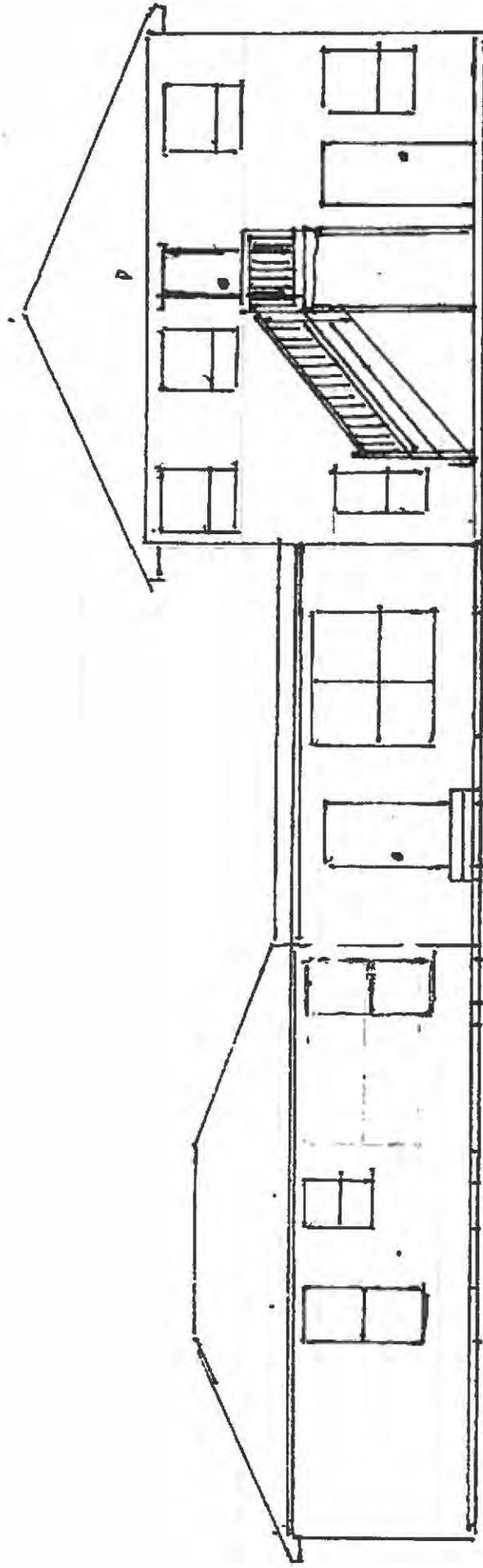
PROPOSED NEW
LANDING AND
STAIRS



3'4" 30'3" 6'4"

SCALE 1/8" = 1'

1280 1/2 26th ST N
WEST ELEVATION



PROPOSED NEW LANDING AND STAIRS



**CITY OF ST. PETERSBURG, FLORIDA
 PLANNING & DEVELOPMENT SERVICES DEPT.
 DEVELOPMENT REVIEW SERVICES DIVISION**

STAFF REPORT

DEVELOPMENT REVIEW COMMISSION - VARIANCE REQUEST PUBLIC HEARING

For **Public Hearing** and **Executive Action** on **May 1, 2019** beginning at 2:00 P.M.,
 Council Chambers, City Hall, 175 Fifth Street North, St. Petersburg, Florida

According to Planning & Development Services Department records, **no Commission member** resides or has a place of business within 2,000 feet of the subject property. All other possible conflicts should be declared upon the announcement of the item.

CASE NO.: 19-54000019 PLAT SHEET: G-26

REQUEST: approval of after-the-fact variances for a newly constructed single-family home to the required interior side yard setback for an HVAC system from 5-feet to 1.5-feet, to the required front yard setbacks for a front porch from 18-feet to 16-feet and for the residence's front façade from 25-feet to 23.5-feet.

OWNER: H 5 Investments, LLC
 Dan and Lydia Healy
 40 W Lyncrest Trail
 Sioux Falls, South Dakota 57108

ADDRESS: 1019 48th Avenue North

PARCEL ID NO.: 01-31-16-73584-000-0920

LEGAL DESCRIPTION: On File

ZONING: Neighborhood Traditional Single-Family-1 (NT-1)

Structure	Required Front Yard Setback	Requested Front Yard Setback	Variance	Magnitude
Front Porch	18-feet	16.6-feet	1.4-feet	8%
Residence	25-feet	23.5-feet	1.5-feet	6%

BACKGROUND: The subject property is located on 48th Avenue North between 12th Street North and 10th Street North in the Euclid Heights Neighborhood Association. The subject property is zoned NT-1 (Neighborhood Traditional Single Family) and was originally developed with a one-story single-family residence in 1951; which was demolished in 2017 according to permit records. The site received approval for new single-family residential construction in 2017.

Per the approved plans for the site, a residence was proposed to have a setback of 32-feet from the front property line, a porch 25-feet from the front property line and an HVAC condenser three-feet from the front property line (see attached copy of permit 17-09001367). All of which complied with the zoning districts required 25-foot front yard setback standard and interior side yard encroachment provided by section 16.60.050.2. Upon the completion of an as built survey identifying the locations of improvements, it had been discovered that all of the prior mentioned structures were install out of compliance with the setbacks for which they were both proposed and approved. The property is currently being occupied under a temporary Certificate of Occupancy and the building permit requires the requests within this application to be closed.

This application requests the approval of a variances to the NT-1 zoning districts required front yard and side yard setbacks for the residence, open front porch and, HVAC condenser to encroach into their respective setbacks. The property is not the subject of any active code enforcement violations. Based on review of this application, staff has determined that the application requires review by the commission.

CONSISTENCY REVIEW COMMENTS: The Planning & Development Services Department staff reviewed this application in the context of the following criteria excerpted from the City Code and found that the requested variance is **inconsistent** with these standards. Per City Code Section 16.70.040.1.6 Variances, Generally, the DRC's decision shall be guided by the following factors:

1. *Special conditions exist which are peculiar to the land, building, or other structures for which the variance is sought and which do not apply generally to lands, buildings, or other structures in the same district. Special conditions to be considered shall include, but not be limited to, the following circumstances:*

a. *Redevelopment. If the site involves the redevelopment or utilization of an existing developed or partially developed site.*

This application involves a site which was redeveloped for new single-family construction. According to building permit records, the subject property received both demolition and new single-family construction permits in 2017.

b. *Substandard Lot(s). If the site involves the utilization of an existing legal nonconforming lot(s) which is smaller in width, length or area from the minimum lot requirements of the district.*

This criterion does not apply as the subject property conforms to the NT-1 zoning districts required minimum lot width and lot area standards.

c. *Preservation district. If the site contains a designated preservation district.*

The site is not located within a preservation district.

d. Historic Resources. If the site contains historical significance.

The subject property has no contributing historical resources.

e. Significant vegetation or natural features. If the site contains significant vegetation or other natural features.

The existing vegetation on the property consists of two Red Maple trees, three clusters of Areca Palm trees and a host of shrubs lining both the front of the home down the sidewalk. The property is in compliance with the landscaping requirements for a new single-family residence.

f. Neighborhood Character. If the proposed project promotes the established historic or traditional development pattern of a block face, including setbacks, building height, and other dimensional requirements.

The subject property exhibits contextual compatibility with the subject block and other adjoining blocks within the neighborhood by providing an open entry porch, curb connecting walkway, alley loading garage and parking areas, concealed ancillary equipment, and by perpetuating a dominant single-story home character. The existing residence does not promote the established development pattern of the block face, but it also does not significantly diminish the established pattern.

g. Public Facilities. If the proposed project involves the development of public parks, public facilities, schools, public utilities or hospitals.

No public facilities are being proposed.

2. The special conditions existing are not the result of the actions of the applicant;

Although the special conditions existing are not the result of applicant action, they are the result of conditions created through independent actions beyond permit approval. Given the required setbacks of the NT-1 zoning district and the approved plans for the development demonstrating all affected structures would have otherwise have complied with all required setbacks; the request is considered self-imposed. The building permit for new home construction underwent both plan review approval and revision of the original approval; neither of which noted requests to reduce setbacks of any of the effected structures as proposed by this application. The proposal to accommodate this application's request which could be approved through plan review does require the granting of variances.

As the residence is occupied but no final Certificate of Occupancy has been issued, with no other reasonable alternative, the property shall undergo the necessary renovations to comply with code as approved by prior plan review or the variances requested must be granted to allow the existing conditions to remain subject to the conditions within this report.

3. *Owing to the special conditions, a literal enforcement of this Chapter would result in unnecessary hardship;*

With the property having exchanged ownership prior to the granting of a final Certificate of Occupancy, literal enforcement of the provisions of this chapter to make the required compliant corrections may appear to be somewhat of a hardship to the new homeowner.

4. *Strict application of the provisions of this chapter would provide the applicant with no means for reasonable use of the land, buildings, or other structures;*

Literal application of the provisions of this chapter would not result in unnecessary hardship as the property can continue the established single-family use.

5. *The variance requested is the minimum variance that will make possible the reasonable use of the land, building, or other structure;*

The variances requested are considered excessive as the redevelopment of the subject property was proposed and approved with both the residence and front porch complying with the minimally required setbacks of the district and the HVAC condenser successfully applying the minor encroachment provision. Existing landscape elements such as the Areca palms and shrubs assist in reducing the overall visual impact of the encroachment towards the left side of the property and the HVAC condenser remains shielded by a six-foot white PVC fence.

6. *The granting of the variance will be in harmony with the general purpose and intent of this chapter;*

The request is considered inharmonious with the general purpose and intent of this chapter.

7. *The granting of the variance will not be injurious to neighboring properties or otherwise detrimental to the public welfare; and,*

The granting of the variances requested do not appear to be injurious or otherwise impactful to neighboring properties given the existing conditions and documentation provided with this application. The request additionally appears to have no detrimental impact to public welfare.

8. *The reasons set forth in the application justify the granting of a variance;*

The reasons set within this application do not justify the granting of the variances requested.

9. *No nonconforming use of neighboring lands, buildings, or other structures, legal or illegal, in the same district, and no permitted use of lands, buildings, or other structures in adjacent districts shall be considered as grounds for issuance of a variance permitting similar uses.*

No other properties were considered.

PUBLIC COMMENTS: The subject property is within the boundaries of the Euclid Heights Neighborhood Association. The Association has provided a statement of support for the approval of this request. Staff received one email in support of the request.

STAFF RECOMMENDATION: Based on a review of the application according to the stringent evaluation criteria contained within the City Code, the Planning and Development Services Department Staff recommends **DENIAL** of the requested variance.

CONDITIONS OF APPROVAL: If the variance is approved consistent with the site plan submitted with this application, the Planning and Development Services Department Staff recommends that the approval shall be subject to the following:

1. Future development and maintenance permits shall comply with the provisions of this chapter and all other applicable codes that the time of permitting.
2. Maximum impervious surface on the site shall not exceed 65%, all plans submitted for permitting on this site must show the extent of all improvements on site and the Impervious Surface Ratio.
3. In the event a structure or structures shall undergo alterations, all existing code complaint or code equivalent landscaping shall be provided on site prior to the closing of any permits.
4. This variance approval shall be valid through May 1, 2022. Substantial construction shall commence prior to this expiration date. A request for extension must be filed in writing prior to the expiration date.
5. Approval of this variance does not grant or imply other variances from the City Code or other applicable regulations.

ATTACHMENTS: Aerial Map, Surveys, Site Plan, Floor Plan, Elevation Drawings, Photographs, Applicant's Narrative, Signatures of Support, Neighborhood Participation Report, Email in Support

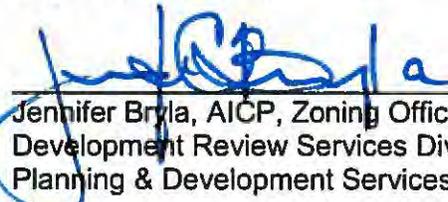
Report Prepared By:

Shervon Chambliss /  4/24/19

Shervon Chambliss, Planner I
Development Review Services Division
Planning & Development Services Department

Date

Report Approved By:

 Jennifer Bryla, AICP, Zoning Official (POD)
Development Review Services Division
Planning & Development Services Department

4.24.19
Date

JCB/SAC:iw

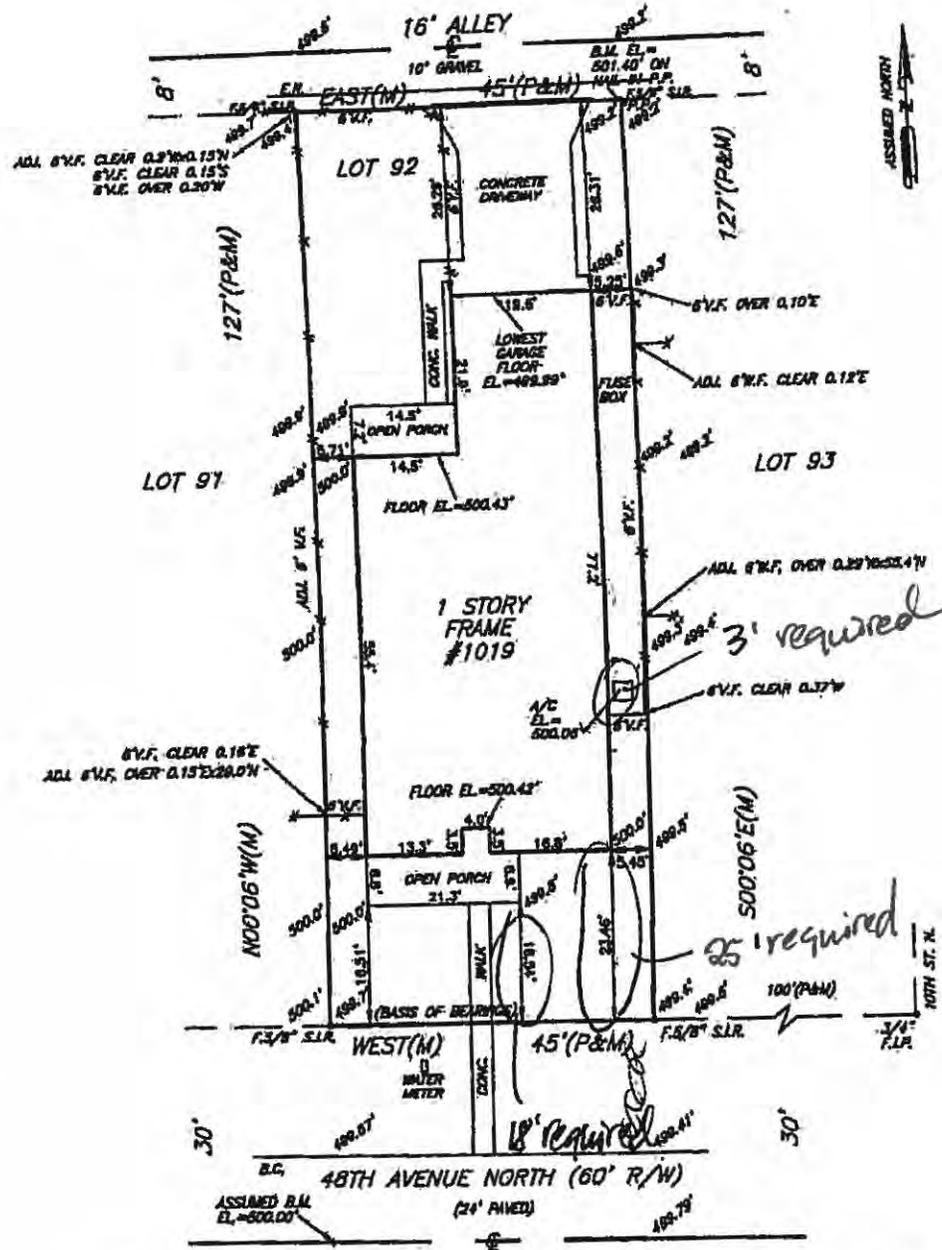


Project Location Map
City of St. Petersburg, Florida
Planning and Development Services
Department
Case No.: 19-5400019
Address: 1019 48th Avenue North



City Copy

1014-48- AVE. N. 11-07001367
 - Structure does not meet front setback requirements
 - A/C does not meet side setback



A BOUNDARY SURVEY OF LOT 92, RAVENSHOOD, AS RECORDED IN PLAT BOOK 10, PAGE 13, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA; WITH SPOT ASSUMED ELEVATIONS.

FINAL GRADE ELEVATIONS AS SHOWN HEREON INDICATE THAT THIS SITE MEETS THE CITY OF ST. PETERSBURG STANDARDS OF TYPE "B" DRAINAGE DETAIL REQUIREMENTS.

JOB NUMBER: MMXVIII149 TELEPHONE: (727) 380-0836 DATE OF FIELD SURVEY: 4/22/18 SCALE: 1 INCH = 20 FEET DRAWN BY: DCN	DAVID C. HARNER PROFESSIONAL LAND SURVEYOR 9825 GULF BOULEVARD TREASURE ISLAND, FL 33706 SECTION 1 TOWNSHIP 31 SOUTH RANGE 18 EAST	FLOOD ZONE: "X" FLOOD MAP DATE: 8/18/09 COMMUNITY NUMBER: 125148 PANEL NUMBER: 0209 G CHECKED BY: DCN
--	--	---

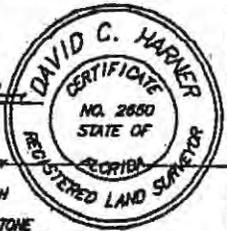
CERTIFIED TO:
 ALPHA ENGINEERING & CONSTRUCTION LLC

I HEREBY CERTIFY TO THE HEREON NAMED PARTY OR PARTIES, AND ONLY TO THOSE NAMED HEREON, THAT THE SURVEY REPRESENTED HEREON MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO FLORIDA STATUTE 472.002.

NOTES: UNDERGROUND FOUNDATIONS AND/OR IMPROVEMENTS, IF ANY, ARE NOT SHOWN. OTHER EASEMENTS AFFECTING THIS PROPERTY MAY EXIST IN THE PUBLIC RECORDS OF THIS COUNTY. ONLY THOSE EASEMENTS KNOWN TO ME OR SUPPLIED TO ME BY THE HEREON NAMED PARTY OR PARTIES ARE DEPICTED HEREON.

LEGEND:
 N.A.V.D. - NORTH AMERICAN VERTICAL DATUM OF 1988 B.F.E. - BASE FLOOD ELEVATION
 A - ARC LENGTH ADJ - ADJACENT B.C. - BASE OF CURB G - GROUND LAMPEN B.L.F. - SHAWLANK FENCE G.W. - RIGHT OF WAY
 CONC - CONCRETE M.H. - MANHOLE C.C. - COVERED CONC CL - CENTERLINE C.B. - CHORD BEARING V.F. - VINYL FENCE
 EL - ELEVATION FT - FINISHED FLOOR F.I.P. - FOUND IRON PIPE S.L.P. - SET IRON PIPE WITH CAP ASSES O.P. - OPEN PORCH
 F.I.R. - ROUND IRON ROD F.C.M. - FORMING CONCRETE ELEMENT H - HATCHED U.S. - METAL SHEET B.L.L. - POINT ON LINE
 D - DEED R - RADIUS W/M - WING WALL W.F. - WOOD FENCE DR - DRAINAGE UT - UTILITY EASE - EASEMENT P/S - PAVERSTONE
 B.M. - BENCHMARK P.I. - POINT OF INTERSECTION P.R.M. - PERMANENT REFERENCE MONUMENT P - PLAT E.P. - EDGE OF PAVEMENT

4/23/18 D.C.N.
 DAVID C. HARNER P.L.S.
 REGISTRATION NUMBER 2850



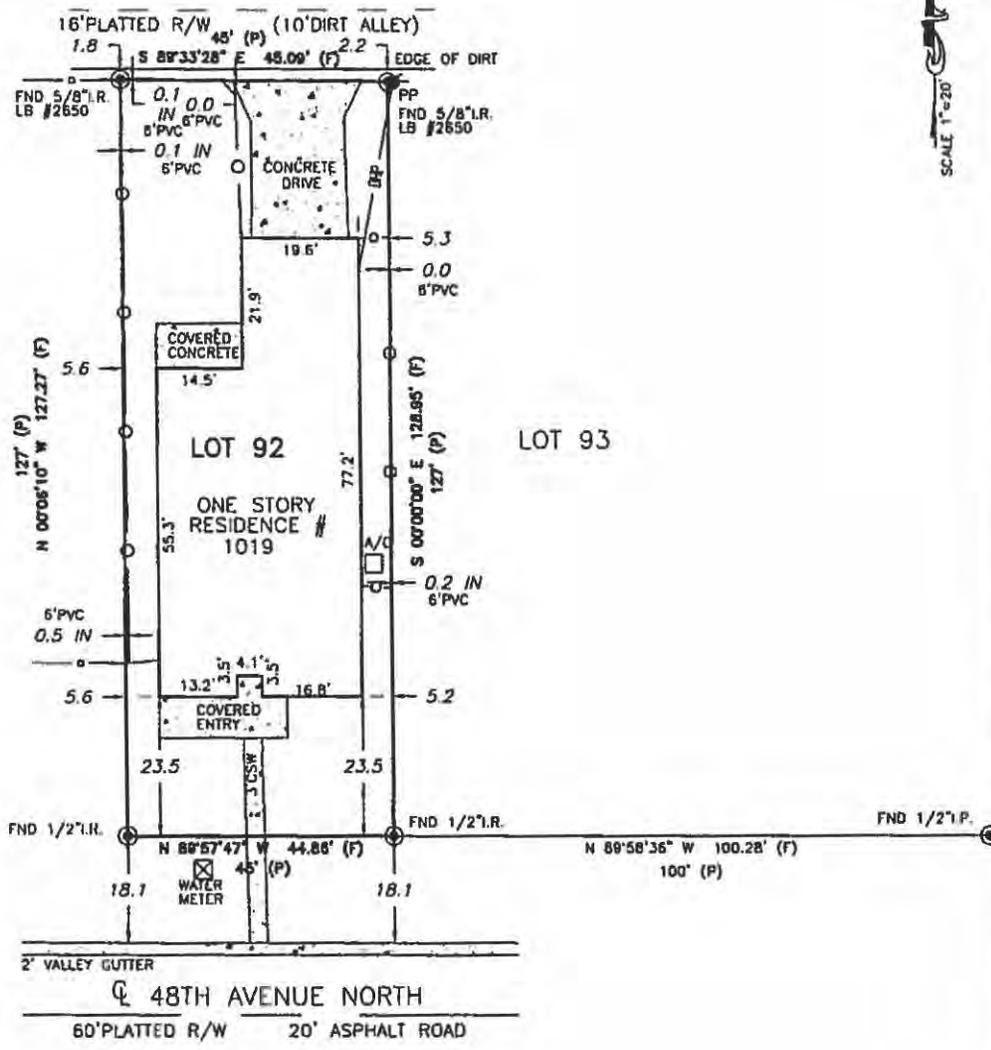
"NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER"

Title Co.
COPY

SECTION 1, TOWNSHIP 31 SOUTH, RANGE 18 EAST, PINELLAS COUNTY, FLORIDA.

BOUNDARY SURVEY

LEGAL DESCRIPTION:
LOT 92,
RAVENSWOOD,
ACCORDING TO THE
PLAT THEREOF, AS
RECORDED IN PLAT
BOOK 10, PAGE 13,
OF THE PUBLIC
RECORDS OF
PINELLAS COUNTY,
FLORIDA.



- NOTES:**
- BEARINGS ARE BASED UPON THE EASTERLY LINE LOT 92, S 00°00'00" E ASSUMED BEARING
 - PROPERTY APPEARS TO BE IN FLOOD ZONE "X" PANEL #12103C0209 SUFFIX "C" ACCORDING TO NATIONAL FLOOD INSURANCE RATE MAP, REVISED 9-3-2003
 - ELEVATIONS ARE BASED ON NAVD 88 DATUM
 - LEGAL DESCRIPTION FURNISHED BY TITLE COMPANY
 - ALL MEASUREMENTS ARE IN U.S. FEET
 - THIS SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE, THEREFORE, THERE MAY BE OTHER EASEMENTS, RIGHT-OF-WAY, SETBACK LINES, AGREEMENTS, RESERVATIONS, OR OTHER SIMILAR MATTERS OF PUBLIC RECORD, NOT DEPICTED ON THIS SURVEY
 - FENCE LOCATION DOES NOT DETERMINE OWNERSHIP, OFF MEANS THE FENCE IS OFF OF THE PROPERTY, IN MEANS FENCE IS INSIDE THE PROPERTY.

Certificate of Authorization "LB #6945"

LEGEND:
 A/C = AIR CONDITIONER
 C = CALCULATED
 C/L = CHAIN LINK FENCE
 C.M. = CONCRETE MOUNTMENT
 CONC = CONCRETE
 CSW = CONCRETE SIDEWALK
 (C) = DEED MEASUREMENT
 (F) = FIELD MEASURED
 NO. I.D. = NO IDENTIFICATION
 PERM = PERMANENT REFERENCE MONUMENT
 PSM = PROFESSIONAL SURVEYOR AND MAPPER
 RLS/PLS = REGISTERED/PROFESSIONAL LAND SURVEYOR
 PVC = PLASTIC VINYL FENCE
 PCP = PERMANENT CONTROL POINT
 LP = IRON PIPE
 LR = IRON ROD
 LB = LICENSED BUSINESS
 O.U. = OVER HEAD UTILITY
 P.K. = PARALLEL KAYLOH
 (P) = PLAT
 PP = POWER POLE
 R/W = RIGHT-OF-WAY
 ASPH = ASPHALT
 (A) = RADIAL
 FHD = FINE HYDRANT
 FND = FOND
 (H/R) = NON-RADIAL
 (TYP) = TYPICAL
 W/F = WOOD FENCE
 S.P.X.D. = SET P.K. NAIL
 B. DRK LB#045
 B.L.R.C. = SET 3/8" I.R.
 & CAP LB#045

CERTIFIED TO:
 H5 INVESTMENTS, LLC
 VAUGHN LAW, PLLC
 OLD REPUBLIC NATIONAL TITLE
 INSURANCE COMPANY

MARK A. JOHNSON
 Digitally signed by MARK A. JOHNSON
 DN: cn=MARK A. JOHNSON, o=WAL, ou=WAL, email=MARK.A.JOHNSON@WAL.COM, c=US
 Date: 2018.04.27 09:11:47 -0400

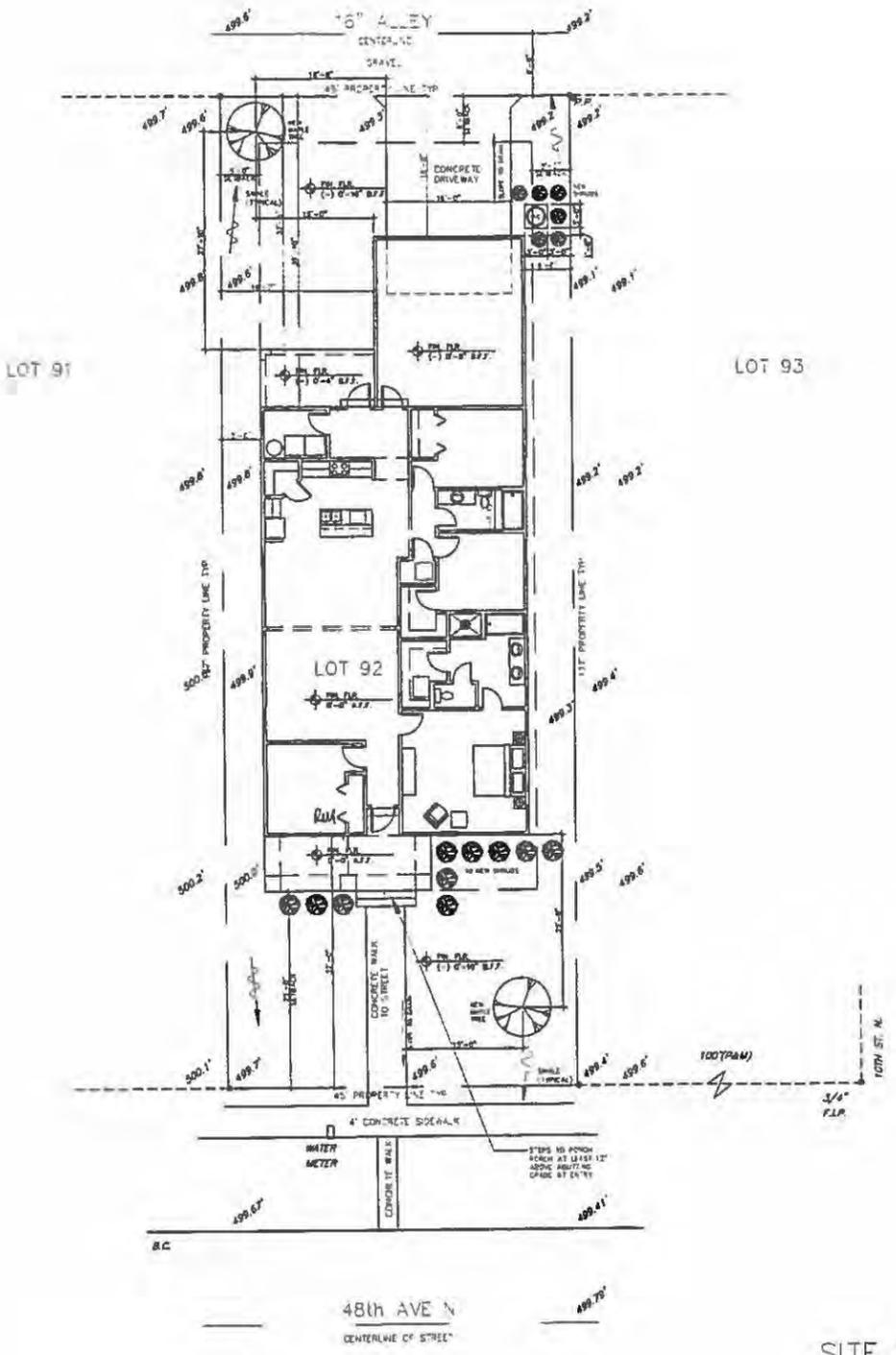


CERTIFICATION
 I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE FLORIDA STANDARDS OF PRACTICE AS SET FORTH BY THE BOARD OF PROFESSIONAL LAND SURVEYORS. THE SEAL AND UNIQUE SIGNATURE APPEARING ON THIS DOCUMENT IS AUTHORIZED BY MARK A. JOHNSON PSM 6572 AND IS COMPLIANT WITH F.S. 81617-7.0025(3) (a) (b) (c) (d)

FIELD WORK BY:	J.W.	DATE:	3-5-2018	F.R. / PG.	20 / 2
DRAFTED BY:	R.P.	DATE:	3-6-2018	JOB #	18-224

DON WILLIAMSON & ASSOCIATES, INC.
 PROFESSIONAL SURVEYORS & MAPPERS LB # 6945
 5020 GUNN HIGHWAY SUITE 220 A
 TAMPA, FL 33624
 (813) 285-4795
 FAX (813) 264-6062
 WILLIAMSONSURVEYING@YIPTEL.COM

Healy Variance
1019 48th Ave N



SITE PLAN
SCALE: 1/8" = 10'-0"

SHEET INDEX:

- SP1.1 SITE PLAN
- CS SHEET INDEX, SQUARE FOOTAGE, NOTES
- A1.1 FLOOR PLAN 'A'
- A1.2 FLOOR PLAN 'B'
- A2.1 ELEVATIONS
- S0.1 STRUCTURAL NOTES
- S1.1 FOUNDATION PLAN
- S2.1 ROOF FRAMING/WALL SECTION
- E1.1 ELECTRICAL PLAN

LANDSCAPE LEGEND

- SCHEFFLERA ARBORICOLA - 10' HIGH SHRUB
- FLORIDA ELM - 10' HT - 2" DIA AT BREAST HT (DBH)

SITE WILL COMPLY WITH IRRIGATION REQUIREMENTS OF SECTION 10.106.4 D-4

ST. AUGUSTINE TURF IS LIMITED TO A MAX. OF DATE OF THE PERMEABLE AREA OF THE LOT

2.056 / 451127 - 4511 F.A.R.

FENESTRATION CALCULATION

Elevation	Face Length in Feet	Total Sq. Ft. of Face	Percentage of Total Area	Actual Area	Percentage of Total Area	Actual Area
Front Elevation	24.00	24.00	100%	24.00	100%	24.00
Left Side Elevation	18.00	18.00	100%	18.00	100%	18.00
Right Side Elevation	18.00	18.00	100%	18.00	100%	18.00
Roof Elevation	24.00	24.00	100%	24.00	100%	24.00

Alpha Engineering and Construction LLC

MASTERPLAN "RIO"

1019 48th Ave. N
NEW CONSTRUCTION
St. Petersburg, FL 33703

Site Plan

Project No.	
Revision	

PRIVATE PROVIDER PROJECT

CITY OF ST. PETERSBURG
APR 20 2018
CONSTRUCTION DEPT.

Approved
DEVELOPER'S REVIEW
MAY 02 2018
By:

4-20-18

ARCHITECT CERTIFIES, TO THE BEST OF HIS KNOWLEDGE, THAT ALL PLANS AND SPECIFICATIONS COMPLY WITH THE MAJOR BUILDING CODES

CITY OF PETERSBURG
NOT REVIEWED FOR CODE VARIANCE
PRIVATE PROJECT APPROVED
MAY 02 2018

BOB L. DUNN, P.E.

SP1.1

Healy Variance
019 48th Ave N

SHEAR WALL NOTES:

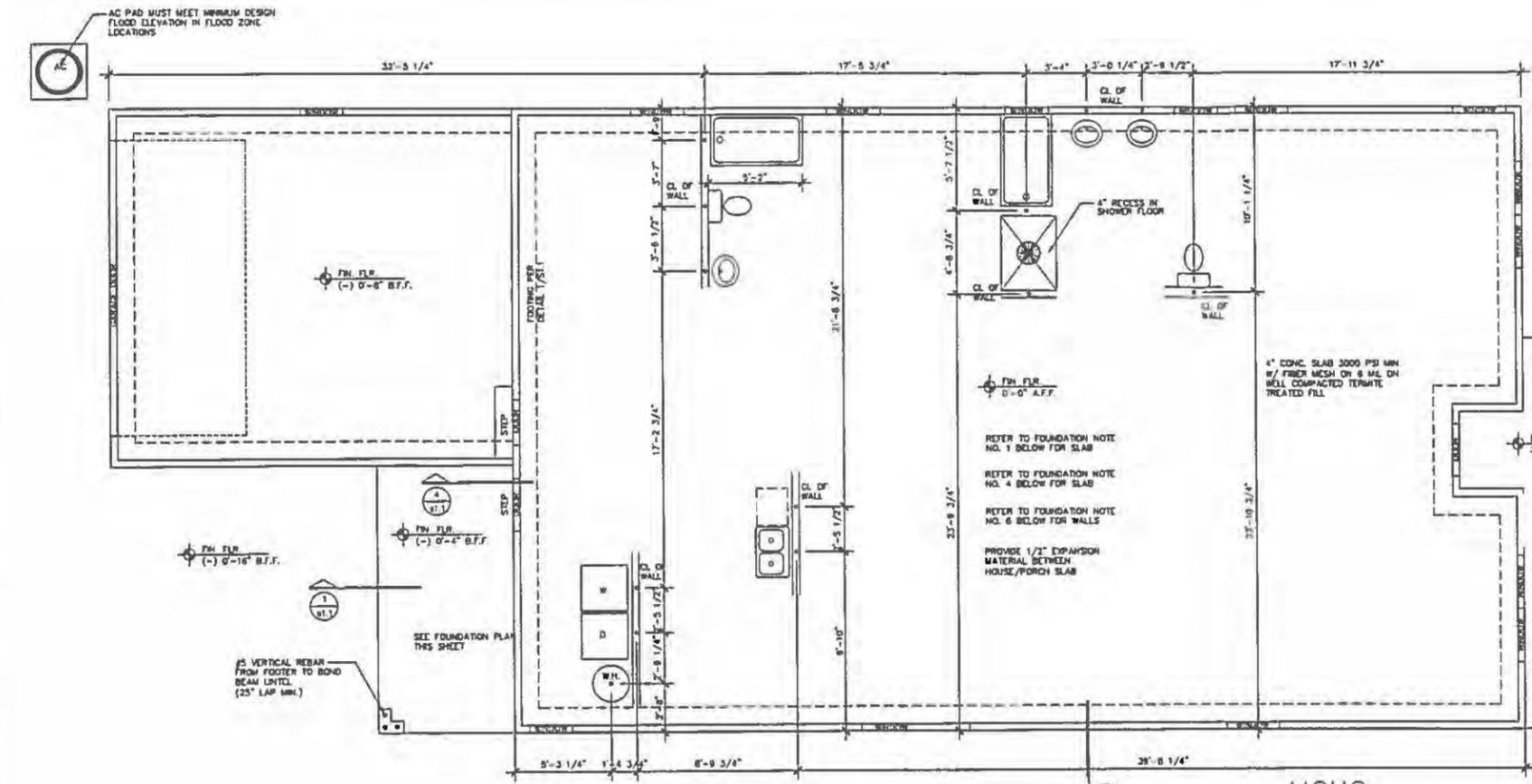
- 1/2" CDX SHEATHING ON EXTERIOR SIDE OF WALL.
- 60 NAILS @ 4" O.C. AT ALL PANEL EDGES.
- 60 NAILS @ 6" O.C. AT ALL PANEL INTERMEDIATE MEMBERS.
- 1/2" GYPSUM BOARD AT INTERIOR SIDE OF WALL.

TERMITE PROTECTION NOTES:

- APPROVED TERMITE PROTECTIVE TREATMENT SHALL BE USED AND PROVIDED. (PER FBC RESIDENTIAL FIFTH EDITION (2014), SECTION R318.1)
- PERMANENT SIGNAGE FOR TREATMENT SHALL BE POSTED NEAR WATER HEATER OR ELECTRICAL PANEL. (PER FBC RESIDENTIAL FIFTH EDITION (2014), SECTION R318.1)
- A 6" MINIMUM CLEARANCE SHALL BE PROVIDED BETWEEN EXTERIOR WALLS AND GRADE FOR TERMITE INSPECTION (4" MINIMUM FOR GARAGE/PATIO SLABS). (PER FBC RESIDENTIAL FIFTH EDITION (2014), SECTIONS R318.4, R318.6)
- A 1'-0" MINIMUM CLEARANCE SHALL BE PROVIDED BETWEEN THE STRUCTURE'S SIDEWALLS AND CONDENSATE LINES, ROOF DOWNSPOUTS, SPRINKLER SYSTEMS AND RISERS FOR SPRAY HEADS. (PER FBC RESIDENTIAL FIFTH EDITION (2014), SECTION R318.14)
- APPROVED TERMITE PROTECTION SHOULD BE PLACED/PROTECTED W/ 6 MIL VAPOR BARRIER. IT SHALL BE DONE AFTER EXCAVATION, BACKFILLING AND COMPACTION. ANY SOIL DISTURBANCE AFTER TREATMENT SHALL BE PROTECTED BY PERMANENT PLASTIC OR METAL FORMS IN CONCRETE FLOORS BOXED OUT OR CONSTRUCTED FOR THE INSTALLATION OF PLUMBING LINES AND THE LIKE. IF SOIL IS DISTURBED AFTER TREATMENT, SOIL SHOULD BE RETREATED. (PER FBC RESIDENTIAL FIFTH EDITION (2014), SECTIONS R318.1.1, R318.1.2, R318.1.3, R318.1.4)
- ELIMINATE OVERPOUR OR MORTAR ACCUMULATION ALONG THE EXTERIOR FOUNDATION PERIMETER BEFORE TREATMENT TO ENHANCE VERTICAL PENETRATION OF CHEMICALS. (PER FBC RESIDENTIAL FIFTH EDITION (2014), SECTION R318.1.5)
- TREATMENT SHALL BE APPLIED TO ALL EXTERIOR CONCRETE ON GRADE WITHIN 1'-0" OF SIDEWALLS (W/ 6 MIL VAPOR BARRIER AFTER CONSTRUCTION) (PER FBC RESIDENTIAL FIFTH EDITION (2014), SECTION R318.1.6)
- NON-CELLULOSE MATERIAL W/ TERMITICIDE SHALL BE USED FOR PROTECTIVE SLEEVES AROUND METAL PIPES PENETRATING ON SLAB-ON-GRADE FLOORS. (PER FBC RESIDENTIAL FIFTH EDITION (2014), SECTION R318.2)
- POST CONSTRUCTION, ALL LOOSE WOOD AND DEBRIS SHALL BE COMPLETELY REMOVED FROM UNDER THE BUILDING WITHIN 1'-0" EXCEPT FOR NATURALLY DURABLE OR P.T. WOOD FOR GROUND CONTACT AND INSTALLED 8" MIN. FROM THE STRUCTURE FOR TERMITE INSPECTION. (PER FBC RESIDENTIAL FIFTH EDITION (2014), SECTION R318.3)

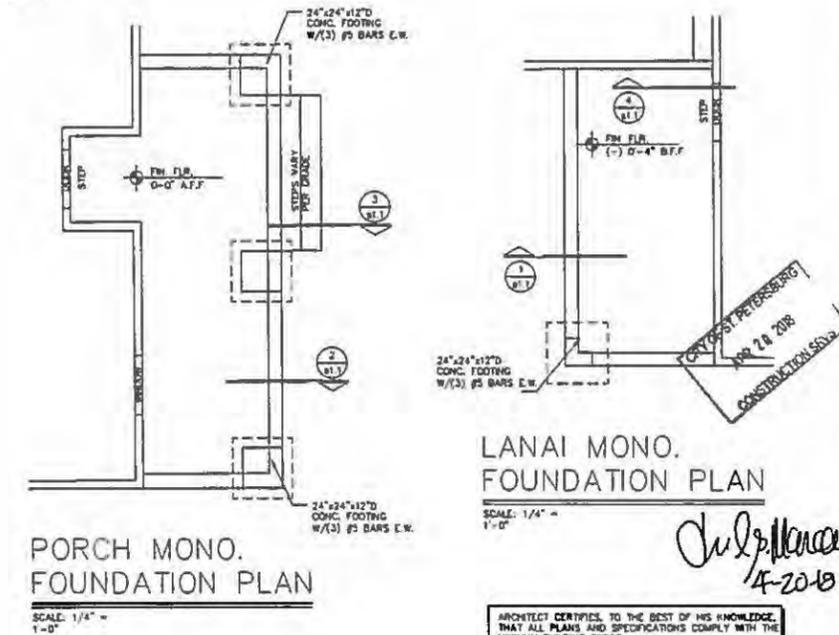
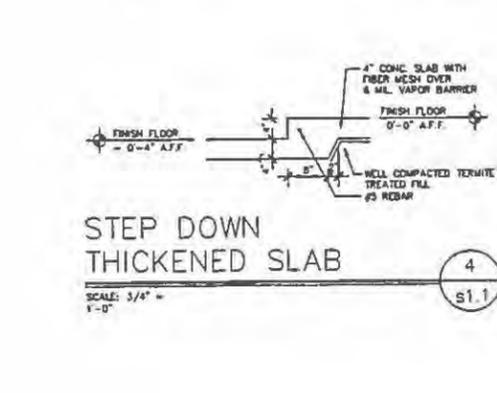
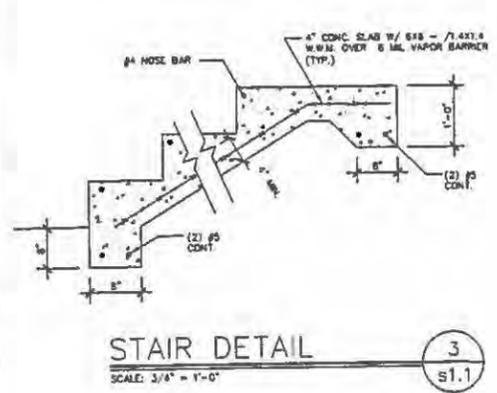
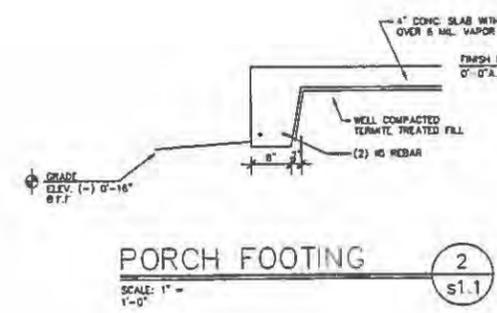
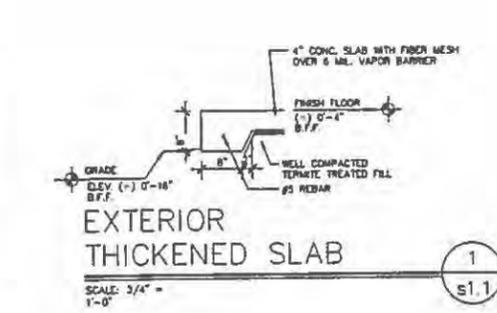
FOUNDATION NOTES:

- SLAB-ON-GRADE TO BE 4" THICK W/ FIBER MESH ON 6 MIL VAPOR BARRIER (SLAPPED AND TAPED)
- TOP OF SLAB ELEV. = 0'-0" EXCEPT WHERE NOTED.
- CS = 3/16" W. x 1" OR SAW CUT CONTROL JOINT CUT SAME DAY AS POUR.
- PROVIDE TERMITE TREATED CLEAN WELL WELL COMPACTED FILL UNDER FLOOR SLAB.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH APPLICABLE CODES AND ORDINANCES
- REINFORCE ALL MASONRY WALLS W/ #5V @ 48" OC MAX. & ALL CORNERS + JAMBS



MONO FOUNDATION PLAN

SCALE: 1/4" = 1'-0"
DO NOT SCALE DRAWINGS. USE DIMENSIONS SHOWN ON THE DOCUMENTS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. NOTIFY THE ARCHITECT REGARDING ANY DISCREPANCIES.



LANAI MONO. FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

ARCHITECT CERTIFIES, TO THE BEST OF HIS KNOWLEDGE, THAT ALL PLANS AND SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES.

Alpha Engineering and Construction LLC

MASTERPLAN "RIO"

1019 48th Ave. N
NEW CONSTRUCTION
St. Petersburg, FL 33703

FOUNDATION PLAN

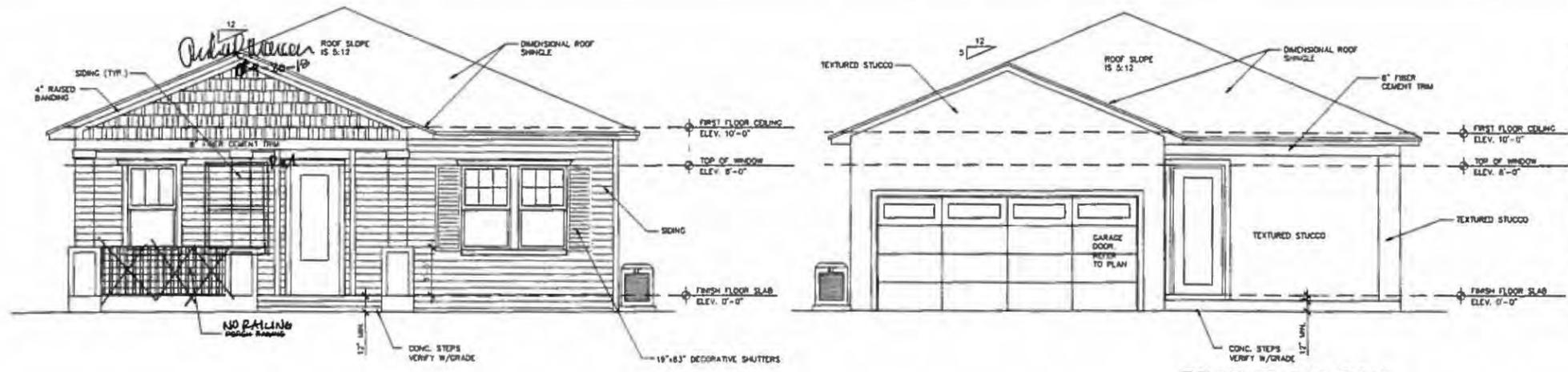
Revisions
Project No.

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S1.1

Handwritten signature
4-20-18

Healy Variance
1019 48th Ave N



REAR ELEVATION
SCALE: 1/4" = 1'-0"

DOOR/WINDOW PROTECTION:

TABLE R702.2.1.2 OF THE FLORIDA BUILDING CODE (FBC) EDITION (2014)

FASTENER TYPE	FASTENER SPACING (in.) ^{1,2}		
	PANEL SPAN ≤ 6 FT.	6 FT. < PANEL SPAN ≤ 8 FT.	8 FT. < PANEL SPAN ≤ 8 FT.
#8 WOOD SCREW BASED ANCHOR W/ 2" EMBEDMENT LENGTH	16	10	8
#10 WOOD SCREW BASED ANCHOR W/ 2" EMBEDMENT LENGTH	16	12	9
1/4" HIGH DIA. LAG SCREW BASED ANCHOR W/ 2" EMBEDMENT LENGTH	16	16	16

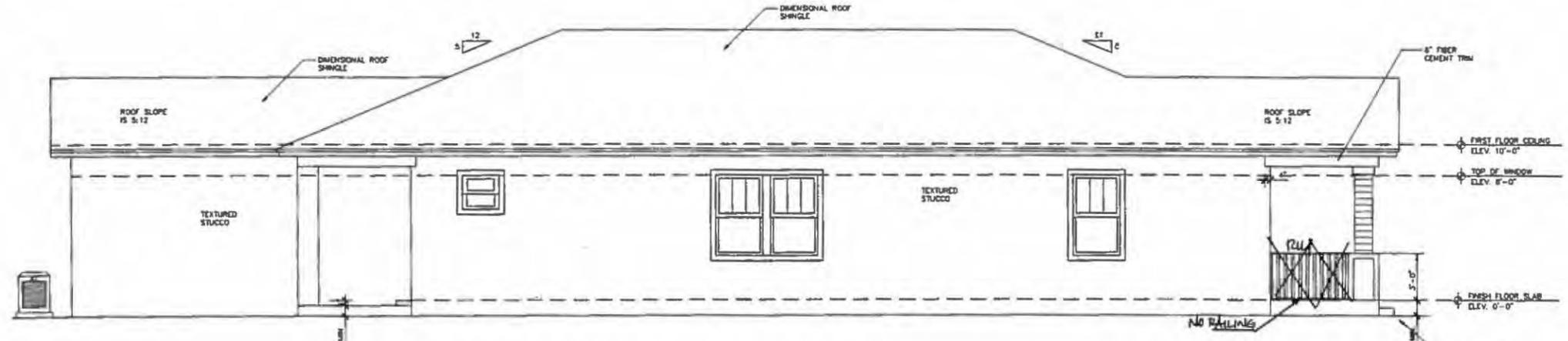
FOR S: 1 INCH = 25.4mm, 1 FT. = 304.8mm, 1 POUND = 4.448 N, 1 MILE PER HOUR = 0.447 m/s

1. THIS TABLE IS BASED ON A WIND DETERMINED IN ACCORDANCE WITH SECTION 1609.3.1 OF 140mph AND A 45- FOOT MEAN ROOF HEIGHT.

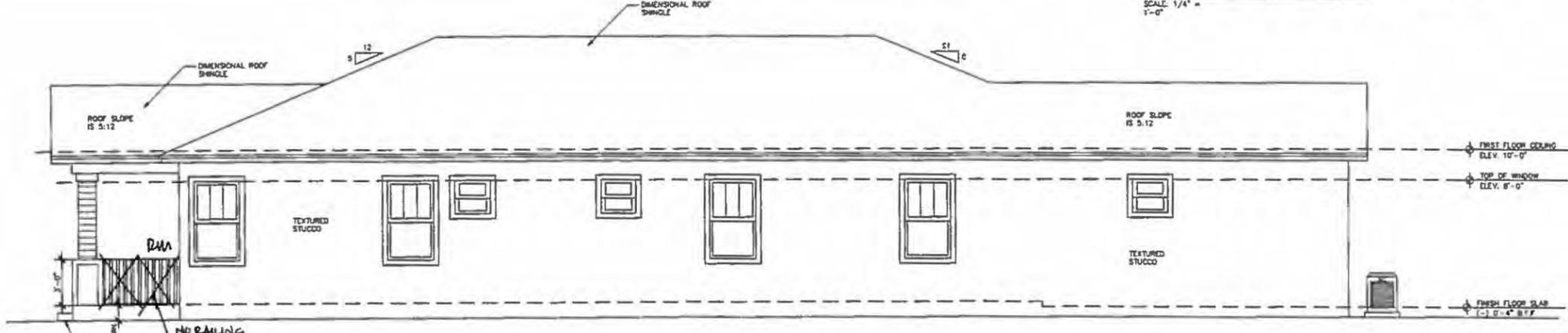
2. FASTENERS SHALL BE INSTALLED AT OPPOSITE ENDS OF THE WOOD STRUCTURAL PANEL. FASTENERS SHALL BE LOCATED A MINIMUM 1 INCH FROM THE EDGE OF THE PANEL.

3. ANCHORS SHALL PENETRATE THROUGH THE EXTERIOR WALL COVERING WITH AN EMBEDMENT LENGTH OF 2 INCHES MINIMUM INTO THE BUILDING FRAME. FASTENERS SHALL BE LOCATED A MINIMUM OF 2-1/2" INCHES FROM THE EDGE OF CONCRETE BLOCK OR CONCRETE.

4. WHERE PANELS ARE ATTACHED TO MASONRY OR MASONRY/STUCCO, THEY SHALL BE ATTACHED USING VIBRATION-RESISTANT ANCHORS HAVING A MINIMUM ULTIMATE WITHDRAWAL CAPACITY OF 1,500 POUNDS.



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

STUCCO NOTES

- 1- R703.6.2 Plaster. Plastering with portland cement plaster shall be not less than three coats when applied over metal lath or wire lath and shall be not less than two coats when applied over masonry, concrete, pressure-preservative treated wood or decay-resistant wood as specified in Section R317.1 or gypsum backing. If the plaster surface is completely covered by veneer or other facing material or is completely concealed, plaster application need be only two coats, provided the total thickness is as set forth in Table R702.1(1).
- 2- R703.6.3 Water-resistive barriers. Water-resistive barriers shall be installed as required in Section R703.2 and, where applied over wood-based sheathing, shall include a water-resistive vapor-permeable barrier with a performance at least equivalent to two layers of Grade D paper. The individual layers shall be installed independently such that each layer provides a separate continuous plane and any flashing installed in accordance with Section R703.8) intended to drain to the water-resistive barrier is directed between the layers.

ELEVATION NOTES:

- 1. VERIFY WINDOW OPENING DIMENSIONS W/ MANUFACTURER SIZES
 - 2. DOOR AND WINDOW OPENINGS THAT READ 3000, 20140, ETC ARE 3'-0" x 8'-0", 2'-0" x 4'-0", ETC.
- ARCHITECT CERTIFIES, TO THE BEST OF HIS KNOWLEDGE, THAT ALL PLANS AND SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES.

Alpha Engineering and Construction LLC

MASTERPLAN "RIO"

1019 48th Ave. N
NEW CONSTRUCTION
St. Petersburg, FL 33703

ELEVATIONS

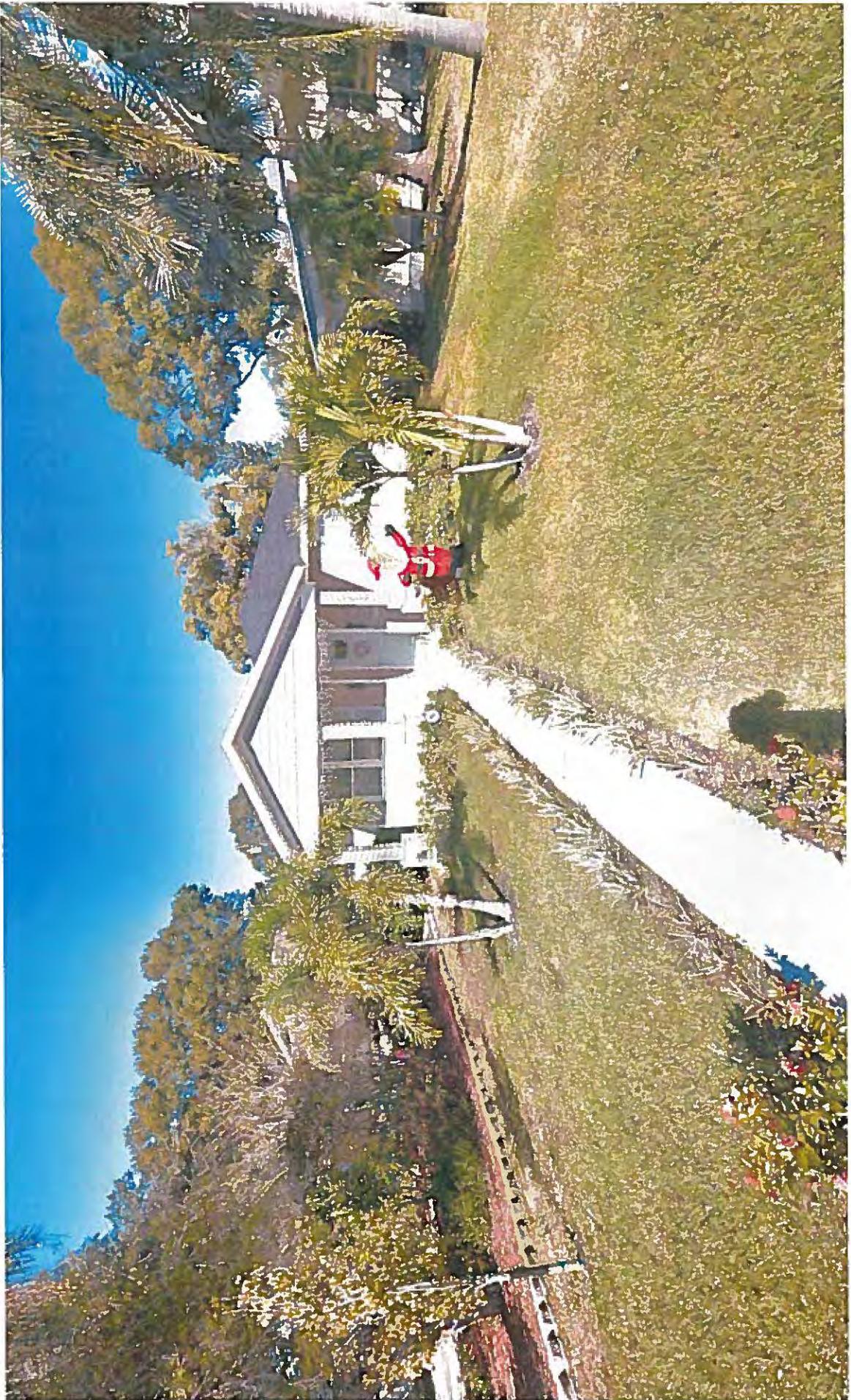
Project No.

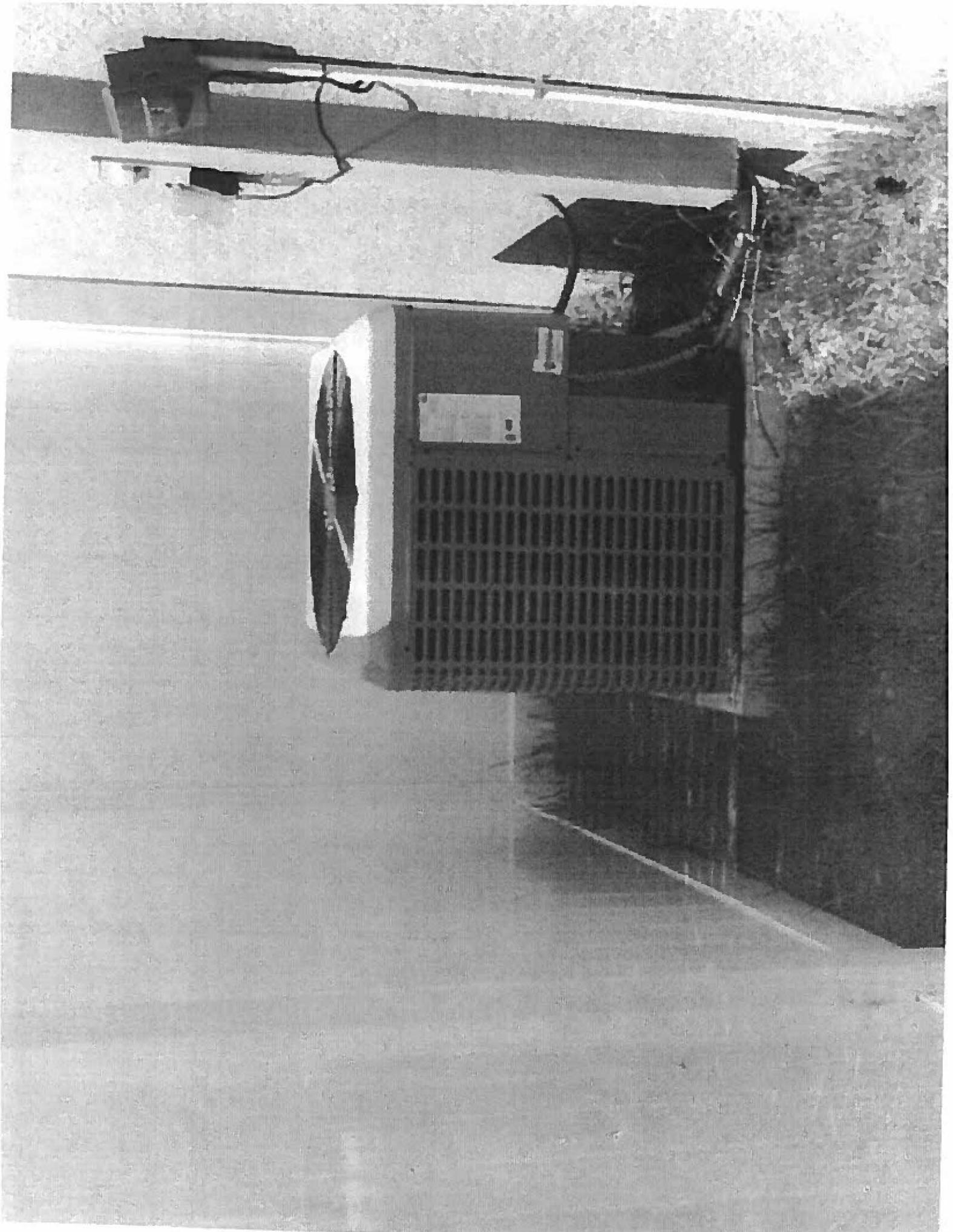
CITY OF ST. PETERSBURG
APR 28 2018
CONSTRUCTION DEPT.

Chris Wenzel
4-20-18

APPROVED DEVELOPMENT REVIEW
MAY 02 2018
BY [Signature]

A2.1







VARIANCE

NARRATIVE (PAGE 1)

All applications for a variance must provide justification for the requested variance(s) based on the criteria set forth by the City Code. It is recommended that the following responses be typed. Illegible handwritten responses will not be accepted. Responses may be provided as a separate letter, addressing each of the six criteria.

ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE	
Street Address: 1019 48 TH AVE N	Case No.:
Detailed Description of Project and Request:	
Zoning Variance for Pre existing, New Built Home Purchased by home owner	
1. What is unique about the size, shape, topography, or location of the subject property? How do these unique characteristics justify the requested variance?	
This is a newly constructed house purchased by Home owners. This house fits nicely with the existing neighborhood and does not have any characteristics that would be considered unique	
2. Are there other properties in the immediate neighborhood that have already been developed or utilized in a similar way? If so, please provide addresses and a description of the specific signs or structures being referenced.	
All other properties in the immediate neighborhood have been developed in a similar way	
3. How is the requested variance not the result of actions of the applicant?	
This house was purchased by the Home owner after it had been built. The owners were assured during the closing process that all codes and variances were adhered to, only after the purchase did the Home owner become aware of any potential problems	



VARIANCE

NARRATIVE (PAGE 2)

All applications for a variance must provide justification for the requested variance(s) based on the criteria set forth by the City Code. It is recommended that the following responses be typed. Illegible handwritten responses will not be accepted. Responses may be provided as a separate letter, addressing each of the six criteria.

ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE
4. How is the requested variance the minimum necessary to make reasonable use of the property? In what ways will granting the requested variance enhance the character of the neighborhood?
This Property has Already Been Completed. In order to comply with occupancy ordinances The Homeowner must Receive a Variance
The Variance will have NO negative effect on The Neighborhood But AS A New build will ONLY increase Property values and Spur For The Redevelopment
5. What other alternatives have been considered that do not require a variance? Why are these alternatives unacceptable?
This House has Already been built and Sold. Any other Alternatives are cost Prohibitive
6. In what ways will granting the requested variance enhance the character of the neighborhood?
As A New build This house will increase property values and help Spur Further Redevelopment.
AS The Property has Already Been built These effect can be Seen by other Builds in The Neighborhood



st.petersburg
www.stpete.org

VARIANCE

NEIGHBORHOOD WORKSHEET

Applicants are strongly encouraged to obtain signatures in support of the proposal(s) from owners of property adjacent to or otherwise affected by a particular request.

NEIGHBORHOOD WORKSHEET	
Street Address:	1019 48 th Avenue N Case No.:
Description of Request:	Variance for home setback and AC unit
The undersigned adjacent property owners understand the nature of the applicant's request and do not object (attach additional sheets if necessary):	
1. Affected Property Address:	1026 48 th Ave. N.
Owner Name (print):	Alice Lundy ALICE LUNDY
Owner Signature:	<i>Alice Lundy</i>
2. Affected Property Address:	1101 48 th Ave N, St. Petersburg FL 33703
Owner Name (print):	ERIC RUSO-ALISI, FRANK RUSO-ALISI
Owner Signature:	<i>Eric Ruso</i>
3. Affected Property Address:	1115 48 Ave N ST. Pete FL 33703
Owner Name (print):	Jessica Bentley
Owner Signature:	<i>Jessica Bentley</i>
4. Affected Property Address:	1130 48 th Ave. N.
Owner Name (print):	JACK STANFORD
Owner Signature:	<i>Jack Stanford</i>
5. Affected Property Address:	1010 48 th Ave. No.
Owner Name (print):	JOAN WRIGHT
Owner Signature:	<i>Joan Wright</i>
6. Affected Property Address:	1011 48 th Ave N
Owner Name (print):	JAMES STILES
Owner Signature:	<i>James Stiles</i>
7. Affected Property Address:	1001 - 48 th Ave North
Owner Name (print):	Charles Caswell
Owner Signature:	<i>Charles Caswell</i>
8. Affected Property Address:	1034 48 th Ave N
Owner Name (print):	Robert Dixon
Owner Signature:	<i>Robert Dixon</i>



VARIANCE

NEIGHBORHOOD WORKSHEET

Applicants are strongly encouraged to obtain signatures in support of the proposal(s) from owners of property adjacent to or otherwise affected by a particular request.

NEIGHBORHOOD WORKSHEET	
Street Address: 1019 48 th Ave N	Case No.:
Description of Request: Variance for home/porch setback and AC unit	
The undersigned adjacent property owners understand the nature of the applicant's request and do not object (attach additional sheets if necessary):	
1. Affected Property Address: 1018 48 th Ave N	
Owner Name (print): Ralph Kitzmiller	
Owner Signature:	<i>[Signature]</i>
2. Affected Property Address: 1027 48 th Ave N.	
Owner Name (print): Christien M. Cilles	
Owner Signature:	<i>[Signature]</i>
3. Affected Property Address: 1155 48 th Ave N, NO SPRT 33703	
Owner Name (print): Brenda Pulver	
Owner Signature:	<i>[Signature]</i>
4. Affected Property Address: 4800 12TH ST. N, ST. PETERSBURG, FL 33703	
Owner Name (print): MARIA PLANASAN	
Owner Signature:	<i>[Signature]</i>
5. Affected Property Address: 1131 - 48 th Ave N.	
Owner Name (print): JERMAN CONLEY	
Owner Signature:	<i>[Signature]</i>
6. Affected Property Address: 1119 - 48 th Ave N.	
Owner Name (print): Tammi A. Everett	
Owner Signature:	<i>[Signature]</i>
7. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
8. Affected Property Address:	
Owner Name (print):	
Owner Signature:	

2 of 2 page 8's



PUBLIC PARTICIPATION REPORT

Application No. _____

In accordance with LDR Section 16.70.040.1.F.2. "It is the policy of the City to encourage applicants to meet with residents of the surrounding neighborhoods prior to filing an application for a permit requiring review and public hearing. The applicant, at his option, may elect to include neighborhood mediation as a preparatory step in the development process. Participation in the public participation process prior to required public hearings will be considered by the decision-making official when considering the need, or request, for a continuance of an application. It is not the intent of this section to require neighborhood meetings, but to encourage meetings prior to the submission of applications for approval and documentation of efforts which have been made to address any potential concerns prior to the formal application process."

APPLICANT REPORT	
Street Address:	1019 48th Ave N
1. Details of techniques the applicant used to involve the public	Door to Door Conversations
(a) Dates and locations of all meetings where citizens were invited to discuss the applicant's proposal	
(b) Content, dates mailed, and number of mailings, including letters, meeting notices, newsletters, and other publications	
(c) Where residents, property owners, and interested parties receiving notices, newsletters, or other written materials are located	
2. Summary of concerns, issues, and problems expressed during the process	Variances on setback and AC unit.
3. Signature or affidavit of compliance - President or vice-president of any neighborhood associations	
Check one:	<input checked="" type="checkbox"/> Proposal supported
	<input type="checkbox"/> Do not support the Proposal
	<input type="checkbox"/> Unable to comment on the Proposal at this time
	<input type="checkbox"/> Other comment(s):
Association Name:	Euclid Heights
President or Vice-President Signature:	
If the president or vice-president of the neighborhood association are unavailable or refuse to sign such certification, a statement as to the efforts to contact them and (in the event of unavailability or unwillingness to sign) why they were unable or unwilling to sign the certification.	

See email from Becky Copeland attached.

Page 9 of 9
 Becky Copeland
 561-352-6531
 Beckylynn@gmail.com

Lydia Healy

From: Becky Copeland <beckylynn28@gmail.com>
Sent: Tuesday, February 26, 2019 2:01 PM
To: Lydia Healy
Subject: Re: HOA input

Ok not a problem. Thanks for the info.

The Euclid Heights Neighborhood Association would support your variance request.

Anything you need feel free to reach out.

Becky Copeland
Euclid Heights President
561-352-6531

On Feb 26, 2019, at 2:52 PM, Lydia Healy <lhealy@dieselmachinery.com> wrote:

Thanks Becky. The city planners require that I email you my status and ask whether you would support or oppose my variance request.

If you could respond with your vote, I am able to attach this email to my request for the variance.

I am also required to reach out to my direct neighbors which I have and they have been very agreeable in our conversations.

Thanks so much for your time.

Sent from my iPhone
Lydia

On Feb 26, 2019, at 1:31 PM, Becky Copeland <beckylynn28@gmail.com> wrote:

Good afternoon. Sorry to hear of your troubles. Looks like the builder has put you in rough position.

We are transitioning to new board but I'd be happy to help you till we officially have new president. I don't know how I can help but I certainly will help how I can. We are not an HOA we are just a neighborhood association under the community involvement initiative under Saint Petersburg.

If I can help let me know. We really don't have any rules on stuff like this. I have helped for putting in speed pumps and trying to help when one homeowner put in driveway without pulling permit and broke some variations. If I can help I will.

Let me know.

Becky

On Feb 25, 2019, at 2:00 PM, Lydia Healy <lhealy@dieselmachinery.com> wrote:

Shervon A. Chambliss

From: Michelle Kitzmiller <wdwcrzy@gmail.com>
Sent: Monday, April 15, 2019 9:08 AM
To: Shervon A. Chambliss
Cc: Ralph Kitzmiller
Subject: Response to Public Hearing on 1019 48th Ave N

Good morning Shervon!

My name is Michelle Kitzmiller. My husband and I live at 1018 48th Ave N, right across the street from 1019 48th Ave N that is needing the after-the-fact variance.

Both my husband - Ralph - and I are very supportive of the request for the variance. The house is very nicely done and does not impact us with these after-the-fact variance requests. We are very happy to give our support to Dan & Lydia Healy in their request.

Our only question was how did the house get built without anyone noticing the issue? And also how was it sold without anyone noticing the issue? It gives us pause to do anything to our own house as we are concerned that the same situation could happen to us.

If you have any further questions or need anything further from us, please don't hesitate to reach out.

Best regards,
Ralph & Michelle Kitzmiller
1018 48th Ave N
St Petersburg, FL 33703